

City of Carlisle, Iowa
Planning and Zoning Commission
Regular Meeting
October 17, 2022

7:00 P.M.

City Council Chambers – 100 N. 1st Street

Join Zoom Meeting - <https://zoom.us/j/9951930479>

Meeting ID: 995 193 0479

One tap mobile – Call 1-312-626-6799, enter 995 193 0479# when prompted

We encourage all videoconferencing or calling in to let staff know who you are for the record and then mute your microphone or phone until you would like to speak to provide a better overall experience.

Call to order

Determine quorum

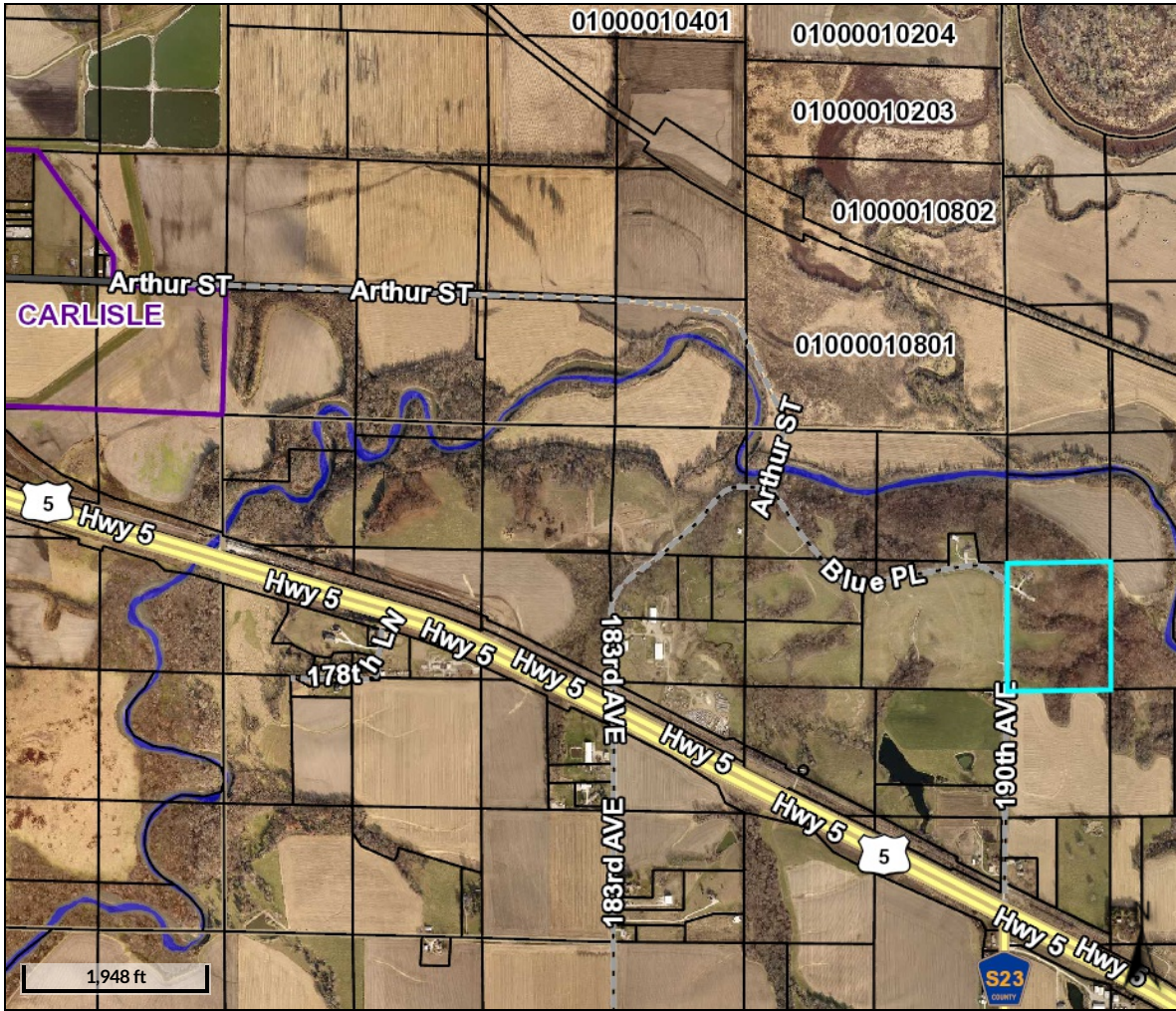
New Business and Action Items

1. Discussion and Possible Action on Final Plat for Ridge View Estates (Tabled Item)
2. Discussion and Possible Action on Site Plan for Carlisle Area Historical Society
3. Discussion and Possible Action on Public Improvements for Carlisle Methodist Church
4. Discussion and Possible Action on M-1 Light Industrial Rezoning Request by McGough for Scotch Ridge Industrial Park

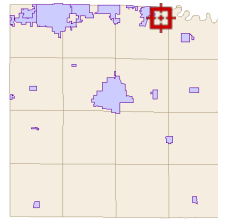
Administrator/Engineer/Commission Reports

Adjournment

**** PLEASE NOTE THAT THIS AGENDA MAY CHANGE UP TO 24 HOURS PRIOR TO THE MEETING ****



Overview



Legend

Roads

- <all other values>
 - Interstate
 - Highway
 - Ramp
 - County Gravel
 - County Level B
 - County Level C
 - City Gravel
 - City Street
 - Private Street
 - Corporate Limits
 - Parcels
 - Political Township
- Major Roads**
- County Hwy
 - State Hwy
 - US Hwy
 - Interstate
 - Water

Parcel ID	21000070460	Alternate ID	n/a	Owner Address	BARTHOLOMEW FARMS LTD
Sec/Twp/Rng	7-77-22	Class	A		2379 183RD AVE
Property Address	18999 BLUE PL	Acreage	31.79		CARLISLE, IA 50047
	CARLISLE				
District	21152				
Brief Tax Description	7-77-22 SW NW				

(Note: Not to be used on legal documents)

Disclaimer:

The maps included in this website do not represent a survey and are compiled from official records, including plats, surveys, recorded deeds, and contracts, and only contain information required for government purposes. No warranties, expressed or implied, are provided for the data herein, its use or its interpretation. Warren County assumes no responsibility for use or interpretation of the data. Any person that relies on any information obtained from this site does so at his or her own risk. All critical information should be independently verified.

The 2,000 Foot Buffers layer is for law enforcement guidance only, and is based on the best information available at the time it was prepared. This layer should not be considered to be a complete and accurate representation of the locations of every school or child care facility, and will be changed as new information is available. The registered offender is responsible for ensuring that proposed residence is in compliance with the law, and may not rely solely on this layer. The registered offender should seek legal advice from a licensed attorney if needed.

Date created: 8/23/2022
 Last Data Uploaded: 8/23/2022 1:20:53 AM

RIDGE VIEW ESTATES - FINAL PLAT

INDEX LEGEND

LOCATION: SW 1/4 OF SE 1/4 OF SECTION 16
T 77N, R 23W, WARREN COUNTY, IOWA

OWNER: ZACHERY & PAIGE MOORMAN
6320 SE 60TH ST., CARLISLE IA 50047

SUBDIVIDER: ZACHERY & PAIGE MOORMAN
6320 SE 60TH ST., CARLISLE IA 50047

PREPARED BY CHAD A. DANIELS
DANIELS LAND SURVEYING, 22470 18TH LN, NEW VIRGINIA IA 50210
RETURN TO: 515-577-2583

SURVEY LEGEND

- () - Recorded Distance/Bearing
- — — — 35' Road Right of Way
- · — · — Section line
- x — x — Fence line

Monuments

- ▲ - Found section corner
- - Set 1/2" red plastic capped rebar, #17532
- - Set 12" spike w/ brass washer, #17532
- - Found 1/2" red plastic capped rebar, #17532
- - Found 12" spike w/ brass washer, #17532

BASIS OF BEARINGS IS IA RCS ZONE 8

SUBDIVISION DESCRIPTION:

Parcel P, recorded 2022-07478, of the Southwest Quarter of the Southeast Quarter of Section 16, Township 77 North, Range 23 West of the 5th P.M., Warren County, Iowa. Said tract contains 27.00 Acres including 0.56 Acres of Road Easement.

Building Setback line

50' front and back
15' sides

Current Zoning - A-1

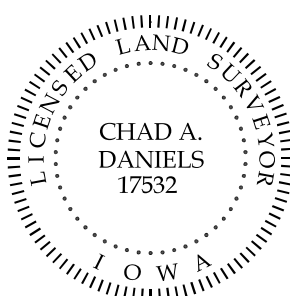
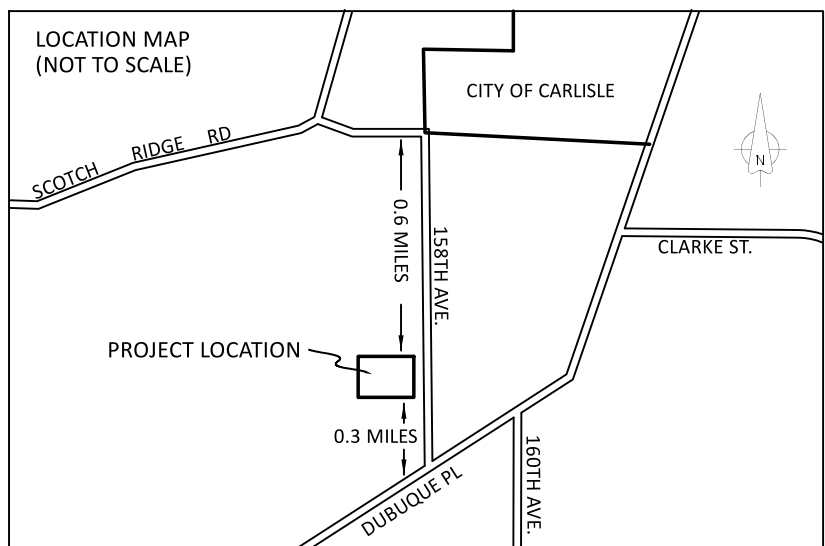
Water service - Warren Water

Sanitary service - Individual systems

DESCRIPTION - LOT 'A':

The East 35 feet of Ridge View Estates

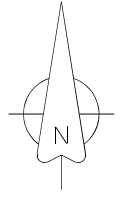
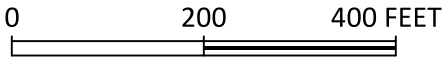
Lot 'A' shall be dedicated to Warren County for public right of way.



I hereby certify that this surveying document was prepared by me and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

Signed  26 SEP 22
Chad A. Daniels Date

Iowa License No. 17532
My license renewal date is 12-31-2022
Page No.'s covered by this seal: 1 and 2



CENTER, SEC. 16
 1/2" yellow plastic
 cap rebar, #13286

ADJACENT LAND OWNERS (NUMBERS IN A BOX):
 1 - DENNIS & PATRICIA VANRYSWYK, 15018 SCOTCH RIDGE RD., CARLISLE IA 50047
 2 - JIM GOODHUE & SONS, 18725 CLEVELAND PL., CARLISLE IA 50047
 3 - IOWA DEPARTMENT OF NATURAL RESOURCES

NE COR. SW 1/4
 SE 1/4 SEC. 16
 1/2" yellow plastic
 cap rebar, #6808

158TH AVENUE (66')

S 00°26'43" E 749.52'

S 00°26'43" E

N 00°31'20" W
 1674.22'

N 00°31'20" W 971.57'

S 00°26'43" E
 345.60'

LOT 'A' (0.60 Acres)
 S 00°26'43" E 598.18'

S 00°26'43" E
 225.01'

1

2

3

S 87°40'01" E 1345.27'

835.42'

Building Setback Lines (Typ.)

LOT 1
 2.17 Acres

LOT 3
 2.17 Acres

LOT 4
 19.88 Acres

LOT 4
 2.17 Acres

Parcel P
 2022-07478

Parcel Q
 2022-07478

Right of Way line

Building Setback Lines (Typ.)

10' P.U.E.

N 87°32'20" W 580.80'

N 87°32'18" W
 763.32'

N 87°32'18" W
 580.80'

SE COR. SW 1/4
 SE 1/4 SEC. 16
 1/2" yellow plastic
 cap rebar, #6808

S 1/4 COR. SEC. 16
 1/2" yellow plastic
 cap rebar, #6808

150'

35.05'

225.00'

225.01'

S 00°26'44" E

S 00°26'43" E

1

1

Deven Markley

From: Holtz, Mitch <mitch.holtz@strand.com>
Sent: Tuesday, September 27, 2022 8:20 AM
To: Chad Daniels; Jake Sickels
Cc: Bob Stuyvesant; Deven Markley; Stumbo, Brad; Zachary Moorman
Subject: RE: Ridge View Estates

Thanks. We have no further comments.
-Mitch

From: Chad Daniels <pls17532@gmail.com>
Sent: Monday, September 26, 2022 6:44 PM
To: Jake Sickels <jake@peoplescompany.com>
Cc: Holtz, Mitch <mitch.holtz@strand.com>; Bob Stuyvesant <rlstuyvesant@qwestoffice.net>; Deven Markley <dmarkley@carlisleiowa.org>; Stumbo, Brad <brad.stumbo@strand.com>; Zachary Moorman <zrmoorman@gmail.com>
Subject: Re: Ridge View Estates

All

Attached is the revised Subdivision Plat with the changes requested made. I did not make changes to the linework as solid lines because the linetypes are shown in the legend. I've recorded thousands of surveys and this is how my linetypes are always shown. I believe it would cause confusion in the future.

Again, if this document is printed, please print it on legal paper. That is how it is drawn and how it will be recorded.
Thanks.

On Fri, Sep 23, 2022 at 10:06 AM Jake Sickels <jake@peoplescompany.com> wrote:

Thank you very much everyone. Chad is on vacation but will tend to this early next week I am sure.

Jake

On Fri, Sep 23, 2022 at 10:03 AM Holtz, Mitch <mitch.holtz@strand.com> wrote:

Chad,

We've reviewed the revised final plat and have the following plat comments:

1. The plat should contain the following note: "Lot A shall be dedicated to Warren County for public right of way purposes."
2. Consider using solid lines to define the entire boundary of the subdivision as well as all sides of the interior lots. This includes showing the entire bounds of Lot A as solid lines.
3. Darken the 10' PUE so it doesn't get lost when the plat is scanned and duplicated.

Other than these comments, we'll just need the covenant documents for review prior to recording.

Thanks,

-Mitch

From: Chad Daniels <pls17532@gmail.com>

Sent: Saturday, September 17, 2022 8:50 AM

To: Jake Sickels <jake@peoplescompany.com>

Cc: Deven Markley <dmarkley@carlisleiowa.org>; Zachary Moorman <zrmoorman@gmail.com>; Bob Stuyvesant <rlstuyvesant@qwestoffice.net>; Holtz, Mitch <mitch.holtz@strand.com>

Subject: Re: Ridge View Estates

Gentlemen

Attached is the Ridge View Estates subdivision plat for your review.

Thanks

On Fri, Sep 16, 2022 at 8:59 AM Jake Sickels <jake@peoplescompany.com> wrote:

That sounds great - I appreciate you making an effort to move it along quickly. Let me know if you need anything from me.

On Fri, Sep 16, 2022 at 8:57 AM Deven Markley <dmarkley@carlisleiowa.org> wrote:

I will have this on the P&Z agenda for Monday. The Board can decide if they are comfortable enough with where things are at to have it move on to Council.



Deven Markley, MPA

Carlisle City Administrator

[100 N. 1st Street, Carlisle, Iowa 50047](#)

[Ph: \(515\) 989-3224](#) [Fax: \(515\) 989-4395](#)

carlisleiowa.org



 Please consider the environment before printing this email

From: Jake Sickels <jake@peoplescompany.com>

Sent: Friday, September 16, 2022 8:53 AM

To: Chad Daniels <pls17532@gmail.com>; Deven Markley <dmarkley@carlisleiowa.org>

Cc: Bob Stuyvesant <rstuyvesant@qwestoffice.net>; Holtz, Mitch <mitch.holtz@strand.com>

Subject: Re: Ridge View Estates

Yes sir. Thanks for reaching out Deven. Chad is working on finalizing this and getting you a copy for review. We are currently marketing the lots but any sale or contract will be subject to your review and approval.

Have a great weekend!

On Fri, Sep 16, 2022 at 7:35 AM Deven Markley <dmarkley@carlisleiowa.org> wrote:

Jake,

Any response to the items in this email?



Deven Markley, MPA

Carlisle City Administrator

100 N. 1st Street, Carlisle, Iowa 50047

Ph: (515) 989-3224 Fax: (515) 989-4395

carlisleiowa.org



 Please consider the environment before printing this email

From: Holtz, Mitch <mitch.holtz@strand.com>
Sent: Monday, September 12, 2022 4:31 PM
To: Deven Markley <dmarkley@carlisleiowa.org>
Cc: Bob Stuyvesant <rlstuyvesant@qwestoffice.net>; 'Jake Sickels' <jake@peoplescompany.com>
Subject: RE: Ridge View Estates

Deven,

Here are my comments:

1. This plat should include all of Parcel P. The remainder should be labeled either as a numbered lot (Lot 4) or outlot (Outlot A). Identify a proposed use for the remainder if designated as an outlot.
2. Per 180.09(D): Building setback lines shall be labeled "Building Setback Line" and dimensioned. It should be noted that placement of setback will be affected by right of way lines (future comment).

[Simply embedding a number in the line does not satisfy this requirement and is potentially confusing]

3. Per 180.09(N): Label full ROW width of 158th Avenue.
4. For clarity, where dimensions span more than one segment (i.e.: span three lots or includes row width), add leader lines to the endpoints.
5. Label right of way line.
6. Remove driveway locations.

7. Add "LOT" to each lot number label.

8. Final Plats require dedication of right of way. Residential Collector Streets Require a 70-ft right of way dedication (35-ft each side of center) per 180.05, 5, U. Please create a lettered lot containing proposed public ROW for dedication. This will shift the front setback for the lots.

9. Final Plats require easements for utilities along rear or side lot lines or along alleys. In this case, it would be acceptable to provide a 10-ft PUE along the front lot line.

Other "non Final Plat" related items of note:

10. A preliminary Plat is required per 180.04. Deven and I should talk about whether we can waive this requirement since roadway/utility improvements are not proposed for this plat.

11. In lieu of public improvements, the City requires a covenant for assessment of costs of improvements. I've attached an example for the Developer's use.

12. Because the City is not providing water at this time, the City requires a covenant for water service. I've attached an example for the Developer's use.

13. Because the property is not currently in the City of Carlisle, but is within the City's future annexation plan, the City requires a covenant and agreement for annexation. I've attached an example for the Developer's use.

I think this covers it.

Thanks,

-Mitch

From: Deven Markley <dmarkley@carlisleiowa.org>

Sent: Monday, September 12, 2022 9:48 AM

To: Holtz, Mitch <mitch.holtz@strand.com>

Cc: Bob Stuyvesant <rlstuyvesant@qwestoffice.net>; 'Jake Sickels' <jake@peoplescompany.com>

Subject: FW: Ridge View Estates



Deven Markley, MPA

Carlisle City Administrator

100 N. 1st Street, Carlisle, Iowa 50047

Ph: (515) 989-3224 Fax: (515) 989-4395

carlisleiowa.org



 Please consider the environment before printing this email

From: Jake Sickels <jake@peoplescompany.com>

Sent: Friday, September 9, 2022 10:54 AM

To: Deven Markley <dmarkley@carlisleiowa.org>; Lindsey Baughman <lindseyb@warrencountyia.org>

Subject: Fwd: Ridge View Estates

Hi Deven and Lindsey,

Here is a new project I am working on for a client that is within both of your jurisdiction. Let me know if you need any further information. Would like to get this on your agenda's.

Thank you!

Jake

----- Forwarded message -----

From: Chad Daniels <pls17532@gmail.com>

Date: Fri, Sep 9, 2022 at 8:58 AM

Subject: Ridge View Estates

To: Jake Sickels <jake@peoplescompany.com>



October 13, 2022

Honorable Mayor, City Council and Plan and Zoning Commission
195 N. 1st Street
Carlisle, Iowa 50047
ATTN: Deven Markley

Re: Waiver Request
Carlisle Historical Society – Parking Addition (BE #220307)

Dear Honorable Mayor, City Council and Plan and Zoning Commission Members:

On behalf of the Carlisle Area Historical Society, Ltd, we respectfully request a waiver to allow parking lot paving within 10-feet of a residential lot as per 165.06, 5, F, 2 of the Code stating *Appropriate screening shall be provided to shield adjacent residential uses from the impacts of the parking lot. In addition, a minimum parking setback of 10 feet shall be required adjacent to any "R" District placement.*

The area of concern is at the NE portion of the property where one parking stall is located less than 5 foot from the property line. The majority of the proposed parking area is actually located more than 10 feet from adjacent residential lots and includes a row of continuous shrubs for parking lot screening.

We appreciate your time and consideration of this waiver request and look forward to any further discussion at your regular meetings. Please do not hesitate to contact me if you have any questions or concerns.

Respectfully Submitted,

A handwritten signature in blue ink, appearing to read "Brad Kuehl", is written over a light blue horizontal line.

Brad Kuehl, Project Manager
Bishop Engineering

Cc: Mike Kinter, Carlisle Historical Society



DATE: October 12, 2022

TO: Deven Markley
City Administrator, City of Carlisle
100 N. 1st Street
Carlisle, IA 50047

RE: Carlisle Historical Society Parking Addition–Site Plan Review
Project No. 7023.059
City of Carlisle, Iowa (City)

FOX Strand has completed the second review for the Carlisle Historical Society Site Plan dated October 6, 2022. Please address the following comments:

General Comments (for P&Z/Council):

1. This property is zoned R-1 One- and Two-Family Residential District. In Carlisle, typically, special use permits are required for buildings and uses that are operated for the social benefit or convenience of the public. This review assumes the existing Carlisle Historical Society building has been permitted and so an expansion of the parking is allowed with a site plan submittal/approval.

General Comments:

2. Please provide a waiver request to allow parking lot paving within 10-ft of a residential lot as per 165.06, 5, F, 2 of the Code - *Appropriate screening shall be provided to shield adjacent residential uses from the impacts of the parking lot. In addition, a minimum parking setback of 10 feet shall be required adjacent to any “R” District. placement*

Stormwater Management Plan

3. Please revise the two table 2.1s in the report. Please revise one of the tables to match the model and revise the other to be a comparison of allowed vs proposed discharge. The Table 2.1 which shows the existing conditions is a duplicate of Table 1.1 and may be a mistake. The note under the second table 2.1 doesn't seem to correlate with a pond discharge table. Please review and revise as necessary.
4. Please review the pond grading.
 - a. The top of berm is listed as 952, but that is also the elevation of the drop.
 - b. The TOC should be 952.50, but the adjacent curb to the north is 952.40.
 - c. The curb cut which drains most of the site is only 2' wide. Please review this width as it seems unlikely the water under any large event will make it into the pond as intended. Most likely this 2' curb cut and matching top of berm elevation will be overrun/ eroded and water will flow north over the toc bypassing the pond.
5. The City believes a stormwater discharge agreement should be entered into with the neighboring property to the east. 2.7cfs adjacent to their garage is likely to appear substantial. A drainage easement will assure that all properties understand the affects of this drainage on their properties

Deven Markley
Carlisle Historical Society Parking Addition
Page 2
October 12, 2022

Please provide a response letter addressing all comments from this review letter and/or state what was modified to address comments.

Site Plan Review Schedule

Planning & Zoning: October 17, 2022 at 7 P.M. at Carlisle City Hall

Council Meeting: October 24, 2022 at 6:30 P.M. at Carlisle City Hall

If you have any questions or concerns, please contact Mitch Holtz at 515-233-0000. FOX Strand reserves the right to modify and/or add to these comments.

Sincerely,

FOX Strand



Mitch Holtz, P.E.

Attachments: None

c: Deven Markley, City Administrator, City of Carlisle



FOX Strand
414 South 17th Street, Suite 107
Ames, IA 50010
(P) 515.233.0000
www.strand.com

DATE: October 11, 2022

TO: Deven Markley
City Administrator, City of Carlisle
100 N. 1st Street
Carlisle, IA 50047

RE: Carlisle Methodist Expansion (Public Parking)—Construction Drawing Review
Project No. 7023.053
City of Carlisle, Iowa (City)

FOX Strand has completed the second review for the Carlisle Methodist Church Expansion Public Improvements with date stamp of August 23, 2022, and have no further questions.

Construction Drawing Review Schedule

Planning & Zoning: October 17, 2022 at 7 P.M. at Carlisle City Hall

Council Meeting: October 24, 2022 at 6:30 P.M. at Carlisle City Hall

If you have any questions or concerns, please contact Mitch Holtz at 515-233-0000.

Sincerely,

FOX Strand

Mitch Holtz, P.E.

Attachments: none

c: Deven Markley, City Administrator, City of Carlisle

CARLISLE HISTORICAL SOCIETY

SITE PLAN

SHEET INDEX:

- C0.1 COVER SHEET
- C1.1 SITE SURVEY / REMOVALS
- C2.1 LAYOUT PLAN
- C3.1 GRADING PLAN

PROPERTY DESCRIPTION:

(WARRENTY DEED BOOK 2007, PAGE 9627)
 LOT 11, EXCEPT THE NE 100 X77.5' AND EXCEPT PARCEL A OF OUTLOT 26 PLAT OF A.W. KEENEY'S SUBDIVISION AN OFFICIAL PLAT IN THE CITY OF CARLISLE, WARREN COUNTY, IOWA. SEC 3-77-23

SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

AREA:

37,840 SQUARE FEET - 0.87 ACRES

ADDRESS:

245 PENNSYLVANIA STREET
 CARLISLE, IA 50047

PREPARED FOR OWNER:

CARLISLE AREA HIST SOCIETY LTD
 PO BOX 137
 CARLISLE, IA 50047

ZONING:

ZONED: R-1 (ONE AND TWO FAMILY RESIDENTIAL DISTRICT)
 BUILDING SETBACK REGULATIONS:

FRONT: 30 FEET
 SIDE: 7 FEET *MINIMUM COMBINED WITH 15 FEET
 REAR: 35 FEET

FOR AN OFFICIAL ZONING REPORT PLEASE CALL:
 THE CITY OF CARLISLE AT (515) 989-3224

USE:

EXISTING AND PROPOSED USE: SPECIAL USE OPERATED BY A NONPROFIT BENEVOLENT ORGANIZATION FOR THE SOCIAL BENEFIT OR CONVENIENCE OF THE PUBLIC. ASSEMBLY OR GATHERING

IMPERVIOUS AREA:

SITE AREA = 0.87 ACRES (37,840 SF)

EXISTING IMPERVIOUS = 8,638 SF

- BUILDINGS (2,432 SF)
- CONCRETE/SIDEWALK (1,730 SF)
- GRAVEL (4,476 SF)

PROPOSED IMPERVIOUS = 12,162 SF (+3,524 SF)

- BUILDINGS (2,432 SF)
- CONCRETE/SIDEWALKS (1,790 SF)
- PAVEMENT (7,940 SF)

TOTAL IMPERVIOUS = 12,162 SF (32%)

OPEN SPACE = 25,678 SF (68%)

DISTURBED AREA = 15,000 SF

PARKING:

REQUIRED PARKING:

ASSEMBLY
 1 SPACE PER EVERY 4 SEATS OF MAX CAPACITY(40) = 10 SPACES

PROPOSED PARKING SPACES = 14 SPACES

GENERAL NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CARLISLE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND SUDAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF CARLISLE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
2. IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
5. ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
6. BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
7. THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
8. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
9. LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
10. SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
11. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
12. THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF CARLISLE.
13. GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
14. THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
15. THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
16. DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.
17. ANY PROPOSED CHANGES TO THE PLAN SET SHALL BE APPROVED IN WRITING BY THE CITY OF CARLISLE DEVELOPMENT SERVICES DEPARTMENT.
18. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CHANGES MADE DURING CONSTRUCTION THAT HAVE NOT BEEN GRANTED APPROVAL IN WRITING BY THE CITY OF CARLISLE DEVELOPMENT SERVICES DEPARTMENT.
19. SURFACED ACCESS TO PAVEMENT WILL BE REQUIRED IF DEVELOPER DOES NOT PROVIDE PAVED ROAD PRIOR TO THIS SITE BEGINNING CONSTRUCTION.

PAVING NOTES:

1. THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SODDED IN ACCORDANCE WITH CITY OF CARLISLE STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SUDAS.
2. SUBGRADE PREPARATION AND PAVEMENTS WILL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUBASE PRIOR TO ANY PAVEMENT BEING PLACED.
3. SEE DETAILS FOR ALL PAVEMENT THICKNESS.
4. ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVELED PATH MUST HAVE A D.A. DETECTABLE WARNING PANEL(S) AS PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
5. ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

FIELD TILE NOTES:

1. ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE. CONNECT TO STORM SEWER WITH AN INSERT-A-TEE OR DIRECTLY TO A STORM STRUCTURE.
2. IT IS ANTICIPATED THAT THE SITE CONTAINS FIELD TILES, HOWEVER, LIMITED INFORMATION IS AVAILABLE.
3. THIS WORK WILL BE ELIGIBLE FOR A CHANGE ORDER IF, AND ONLY IF, PROPOSED SITE STORM SEWER IS NOT WITHIN 50 FEET OF THE FIELD TILE.
4. CONTRACTOR SHALL PROVIDE AS-BUILTS OF FIELD TILES TO BISHOP ENGINEERING.

SIDEWALK NOTE:

1. THE OWNER OF THE LOT IS RESPONSIBLE FOR THE COSTS ASSOCIATED WITH PLACING FUTURE SIDEWALKS. THE SIDEWALKS SHALL BE INSTALLED WITHIN 3 MONTHS OF NOTIFICATION BY THE CITY.

UTILITY CONFLICT NOTES:

1. UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
2. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION

SURVEY NOTES:

1. SURVEY WORK WAS COMPLETED BY BISHOP ENGINEERING ON 7/20/2022. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.

SITE CONTROL AND BENCHMARKS:

BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS DATUM = NAD 83, IOWA SOUTH BENCHMARK DATUM = NAVD88, GEOID 18

POINT 9000 5/8" IRON ROD WITH RED PLASTIC CAP
 NORTHING = 548149.41
 EASTING = 164349.19
 ELEVATION = 853.84
 DESCRIPTION: 18.3 FEET SOUTHEAST OF THE SOUTHWEST PROPERTY CORNER

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CITY OF CARLISLE NOTES:

1. GENERAL NOTES:
 - a. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF CARLISLE SUPPLEMENTAL SPECIFICATIONS.
 - b. A PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING WITH THE CITY OF CARLISLE. GENERAL CONTRACTOR AND MAJOR SUBS SHALL BE PRESENT AT THE MEETING. THE CITY OF CARLISLE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK. PLEASE CONTACT THE FOLLOWING STAFF:
 - i) TOMMY THOMPSON - PUBLIC WORKS SUPERINTENDENT - 515-505-4299; OR,
 - ii) TONY RHINEHART - WATER/SEWER FOREMAN - 515-249-2055
 - c. ALL PERMITS (IDNR, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
 - d. ALL UTILITY CONTRACTORS AND/OR OWNERS SHALL BE RESPONSIBLE TO PROVIDE THE CITY OF CARLISLE WITH "AS-BUILT" DRAWINGS OF ALL PUBLIC IMPROVEMENTS WHERE NECESSARY.
 - e. A SIGNAGE LIST SHOULD BE SUBMITTED BY THE CONTRACTOR TO THE CITY OF CARLISLE. PUBLIC WORKS WILL VERIFY THE LIST AND ORDER THE SIGNS FROM A LIST OF APPROVED VENDORS. THE CONTRACTOR WILL THEN BE RESPONSIBLE FOR PICKING UP THE SIGNS ONCE DELIVERED TO PUBLIC WORKS AND PLACING THEM IN THE LOCATIONS IDENTIFIED ON THE SIGNAGE PLAN. THE COST OF SIGNS AND RELATED HARDWARE WILL BE BILLED TO THE CONTRACTOR.
 - f. ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS.
 - g. WE ENCOURAGE YOU TO CONTACT THE CITY OF CARLISLE WITH INFORMATION ON ANY SIGNIFICANT WORK BEING DONE OR POTENTIAL ISSUES AS THEY GENERALLY GET THE FIRST CALLS FROM NEIGHBORS WITH QUESTIONS OR CONCERNS. KEEPING THE CITY INFORMED OF PROGRESS OR SIGNIFICANT ISSUES CAN HELP YOU AVOID POTENTIAL CONFLICTS OR ISSUES WITH SURROUNDING PROPERTY OWNERS.
 - h. A POST-CONSTRUCTION WALK-THRU IS REQUIRED BY CITY STAFF AND/OR THE CITY'S DESIGNATED ENGINEER. ALL ENGINEERING REVIEW FEES FOR THE WALK-THRU AND FOLLOW-UP CORRESPONDENCE MUST BE PAID FOR BY THE OWNER PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT.
 - i. A KNOX BOX IS REQUIRED BY THE FIRE DEPARTMENT AND SHALL BE OBTAINED BY THE OWNER.

2. SANITARY SEWER NOTES:

- a. THE CONTRACTOR IS REQUIRED TO PLACE A TEMPORARY PLUG IN THE EXISTING DOWNSTREAM SANITARY SEWER MANHOLE PRIOR TO THE START OF CONSTRUCTION. THE PLUG SHALL BE REMOVED FOLLOWING APPROVAL OF CONSTRUCTION BY THE CITY OF CARLISLE.
- b. SANITARY GRAVITY PIPE MATERIAL SHALL BE PVC SDR 26 OR TRUSS (8" TO 15").
- c. SANITARY GRAVITY SERVICE PIPE MATERIAL SHALL BE PVC SDR 23.5 (4" TO 6").
- d. ALL SANITARY SEWER MANHOLES CASTINGS SHALL BE SEALED WITH INTERIOR CHIMNEY SEALS.
 - i) 3-PIECE CASTINGS SHALL HAVE INTERIOR CHIMNEY SEALS.
 - ii) 2-PIECE CASTINGS SHALL HAVE ISI BARRIER (AKA TOP HAT) CHIMNEY SEALS, OR EQUAL.

IN ADDITION, THE MINIMUM SPACER RING SIZE IS 4-INCHES AND THE MAXIMUM NUMBER OF SPACER RINGS SHALL NOT EXCEED 12-INCHES.

- e. ALL SANITARY SEWER MANHOLES SHALL HAVE STEPS.
- f. ALL SANITARY SEWER MANHOLE CASTINGS LOCATED WITHIN PAVEMENT SHALL BE BOXED OUT.
- g. MANDREL AND PRESSURE TESTS ARE REQUIRED FOR ALL SANITARY SEWER LINES (8" AND ABOVE) PRIOR TO PAVING. IN ADDITION, ALL SANITARY SEWER LINES SHALL BE TELEVISED. THE SEWER SYSTEM SHALL BE FLUSHED WITH WATER PRIOR TO TELEVISIONING.

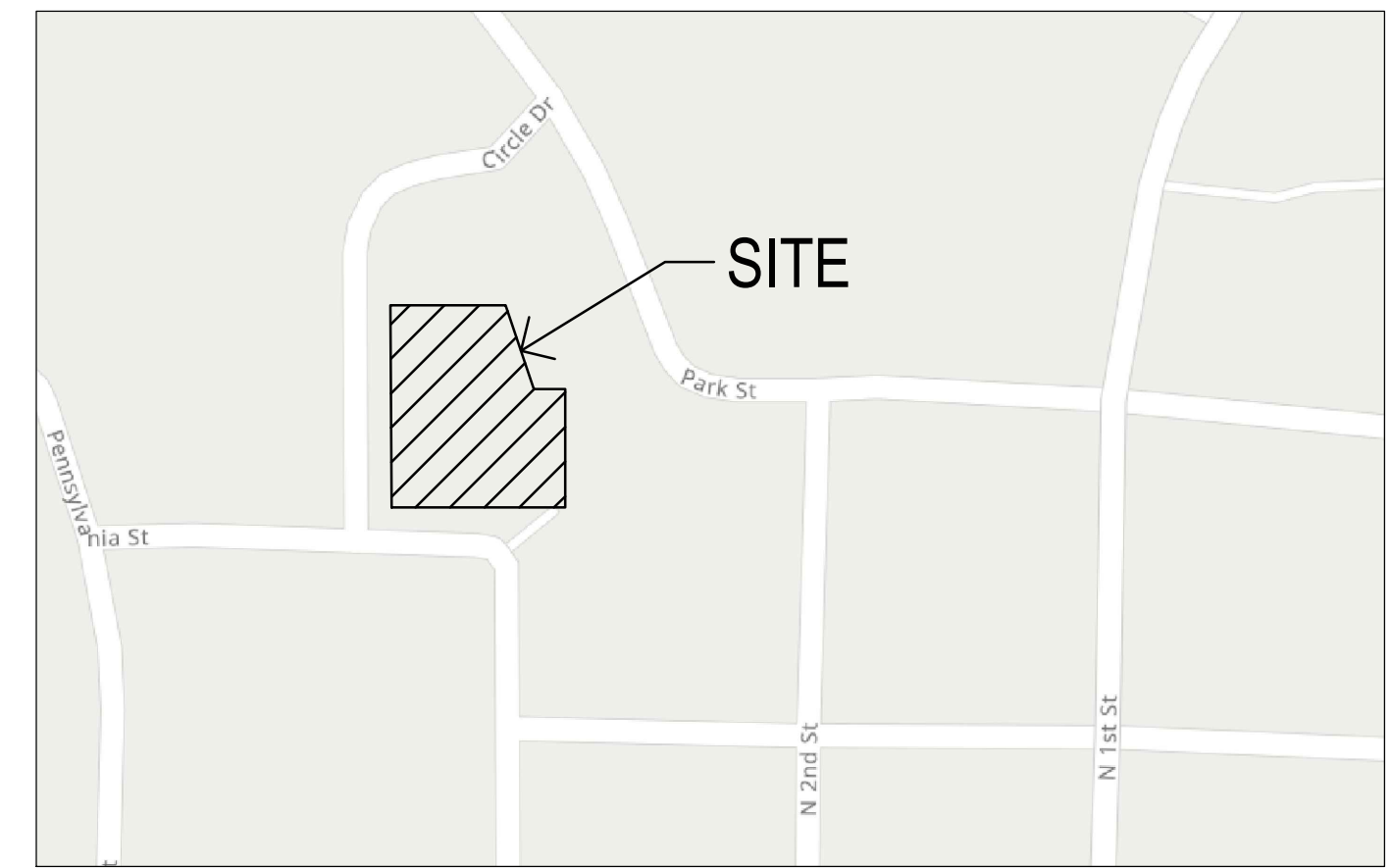
3. WATER MAIN NOTES:

- a. ALL FIRE HYDRANTS SHALL BE AMERICAN FLOW CONTROL-WATEROUS PACER WB-67-250, MUELLER SUPER CENTURION 250 (3-WAY A-423), OR CLOW MEDALLION F-2545. ALL HYDRANTS SHALL HAVE THE FOLLOWING: 6" NJ SHOE, 2-1/2" HOSE NOZZLE, 4-1/2" STEAMER NOZZLE, NST THREADS, PENTAGON OPERATING NUT, CHAIN ON CAP, OPEN LEFT, 5-1/2" BURY, AND FACTORY PAINTED RED. THE MINIMUM SPOOL PIPE LENGTH FROM AUXILIARY VALVE TO HYDRANT SHOE SHALL BE 2-0'.
- b. ALL HYDRANTS SHALL BE PAINTED RED.
- c. ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF CARLISLE WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- d. ALL HYDRANTS SHALL HAVE A 5" STORZ NOZZLE.
- e. A TRACER WIRE RECEPTACLE SHALL BE INSTALLED AT EACH HYDRANT (FLUSH MOUNT VALVCO OR APPROVED EQUAL). TRACER WIRE TESTING IS REQUIRED AND MUST BE WITNESSED BY CITY STAFF. TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN & HYDRANT LEADS.
- f. ALL VALVES SHALL BE RESILIENT WEDGE GATE VALVES.
- g. WATER SERVICE SHALL BE 1-INCH MINIMUM TYPE K COPPER WITHIN PUBLIC RIGHT OF WAY. WATER SERVICES BETWEEN CURB STOP AND STRUCTURE MAY BE 1-INCH TYPE K COPPER OR 1-INCH PEX. ANY PEX USED MUST ALSO HAVE TRACER WIRE ATTACHED.
- h. THE CONTRACTOR IS RESPONSIBLE FOR PRESSURE TESTING, CHLORINATION, AND BACTERIA TEST.

4. STORM SEWER NOTES:

- a. ALL STORM SEWER IN THE ROW SHALL BE RCP, UNLESS OTHERWISE APPROVED BY THE CITY.
- b. ALL FLARED END SECTIONS SHALL HAVE FOOTINGS AND APRON GRATES. THE LAST 3 PIPE SECTIONS AND THE FLARED END SECTION ON ALL CULVERTS SHALL BE TIED. ALL STORM SEWER JOINTS SHALL BE WRAPPED WITH ENGINEERING FABRIC.
- c. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY FIELD TILE DAMAGED DURING CONSTRUCTION. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES.
- d. ALL SUMP SERVICE LINES SHALL HAVE TRACER WIRE.
- e. ALL RIP-RAP SHALL BE UNDERLAIN WITH ENGINEERING FABRIC AS SPECIFIED IN THE URBAN SPECIFICATIONS.
- f. CONTRACTOR SHOULD DEVELOP AND COMMUNICATE THEIR PLAN AND TIMELINE TO THE CITY FOR BOTH INSTALLATION AND REMOVAL OF ALL SWPP PROTECTION.

UPDATED 5/12/22



VICINITY MAP
 NOT TO SCALE

ABBREVIATIONS:

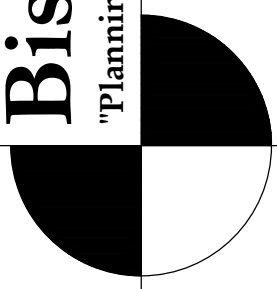
AC ACRES
 ASPH ASPHALT
 BK BOOK
 CONC CONCRETE
 D DEEDED DISTANCE
 EX EXISTING
 ENCL ENCLOSURE
 FF FINISHED FLOOR
 FL FLOW LINE
 FRAC FRACTIONAL
 M MEASURED DISTANCE
 MH MANHOLE
 OPC ORANGE PLASTIC CAP
 P PLATTED DISTANCE
 PG PAGE
 POB POINT OF BEGINNING
 POC POINT OF COMMENCEMENT
 PRA PREVIOUSLY RECORDED AS
 PUE PUBLIC UTILITY EASEMENT
 ROW RIGHT OF WAY
 RCP RED PLASTIC CAP
 SF SQUARE FEET
 SAN SANITARY
 TYP TYPICAL
 YPC YELLOW PLASTIC CAP
 N NORTH
 S SOUTH
 E EAST
 W WEST

LEGEND:

— SAN — SANITARY SEWER
 — ST — STORM SEWER
 — W — WATER LINE
 — G — GAS LINE
 — UE — UNDERGROUND ELECTRIC
 — OE — OVERHEAD ELECTRIC
 — TELE — TELEPHONE LINE
 — F/O — FIBER OPTIC
 — CATV — CABLE TV
 (B) STORM MANHOLE
 (I) CURB INTAKE
 (S) SURFACE INTAKE
 (F) FLARED END SECTION
 (SM) SANITARY MANHOLE
 (C) CLEANOUT
 (FH) FIRE HYDRANT
 (SP) SPRINKLER
 (ICV) IRRIGATION CONTROL VALVE
 (WM) WATER MANHOLE
 (W) WELL
 (WV) WATER VALVE
 (WS) WATER SHUT OFF
 (YH) YARD HYDRANT
 (EM) ELECTRIC MANHOLE
 (EM) ELECTRIC METER
 (ER) ELECTRIC RISER
 (EV) ELECTRIC VAULT
 (PP) POWER POLE
 (TP) TRANSFORMER POLE
 (LP) LIGHT POLE
 (EJ) ELECTRIC JUNCTION BOX
 (EP) ELECTRIC PANEL
 (TR) TRANSFORMER
 (GL) GROUND LIGHT
 (GW) GUY WIRE
 (EH) ELECTRIC HANDHOLE
 (GM) GAS METER
 (GV) GAS VALVE
 (AC) AIR CONDITIONING UNIT
 (TR) TELEPHONE RISER
 (TV) TELEPHONE VAULT
 (TM) TELEPHONE MANHOLE
 (TSM) TRAFFIC SIGNAL MANHOLE
 (FOR) FIBER OPTIC RISER
 (FOF) FIBER OPTIC FAULT
 (CTV) CABLE TV RISER
 (S) SIGN
 (B) BOLLARD
 (P) DENOTES NUMBER OF PARKING STALLS
 (PC) PROPERTY CORNER - FOUND AS NOTED
 (PWC) PROPERTY CORNER- PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID #14775
 (SC) SECTION CORNER - FOUND AS NOTED

Bishop Engineering
 "Planning Your Successful Development"

3501 104th Street
 Des Moines, Iowa 50322-3825
 Phone: (515)276-0467 Fax: (515)276-0217



Civil Engineering & Land Surveying
 Established 1959

CARLISLE HISTORICAL SOCIETY
 PARKING ADDITION

COVER SHEET

REFERENCE NUMBER:

DRAWN BY:

BK

CHECKED BY:

DB

REVISION DATE:

08/05/2022 CHECK
 08/18/2022 CHECK
 09/02/2022 CITY
 10/06/2022 CITY
 10/13/2022 CITY

PROJECT NUMBER:

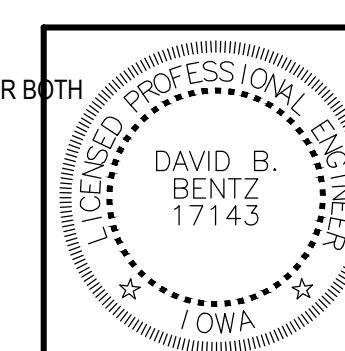
220307

SHEET NUMBER:

C0.1

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: DAVID B. BENTZ, PE. 17143 DATE: _____
 LICENSE RENEWAL DATE: DEC. 31, 2023
 PAGES OR SHEETS COVERED BY THIS SEAL: ALL SHEETS

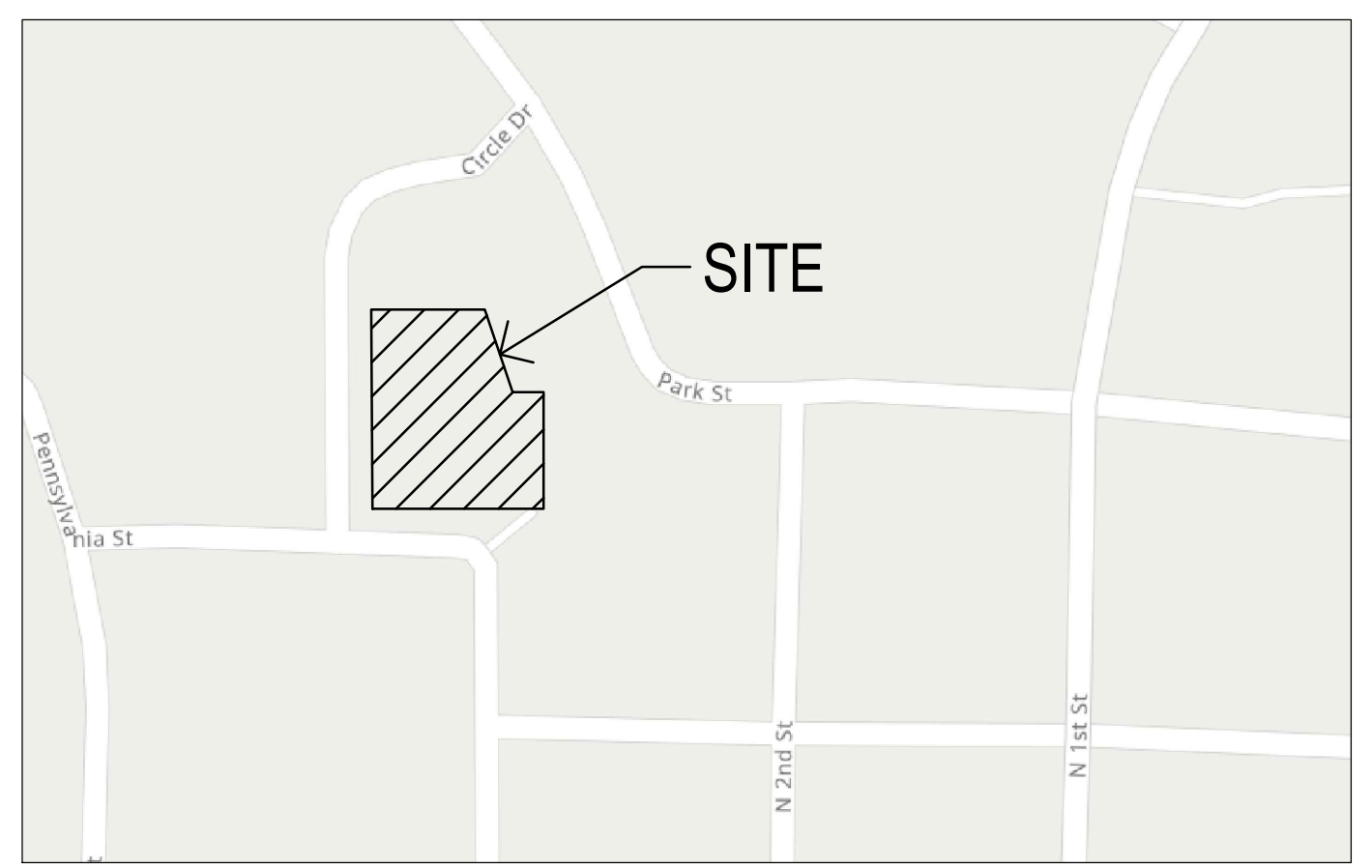


UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

PRELIMINARY- NOT FOR CONSTRUCTION

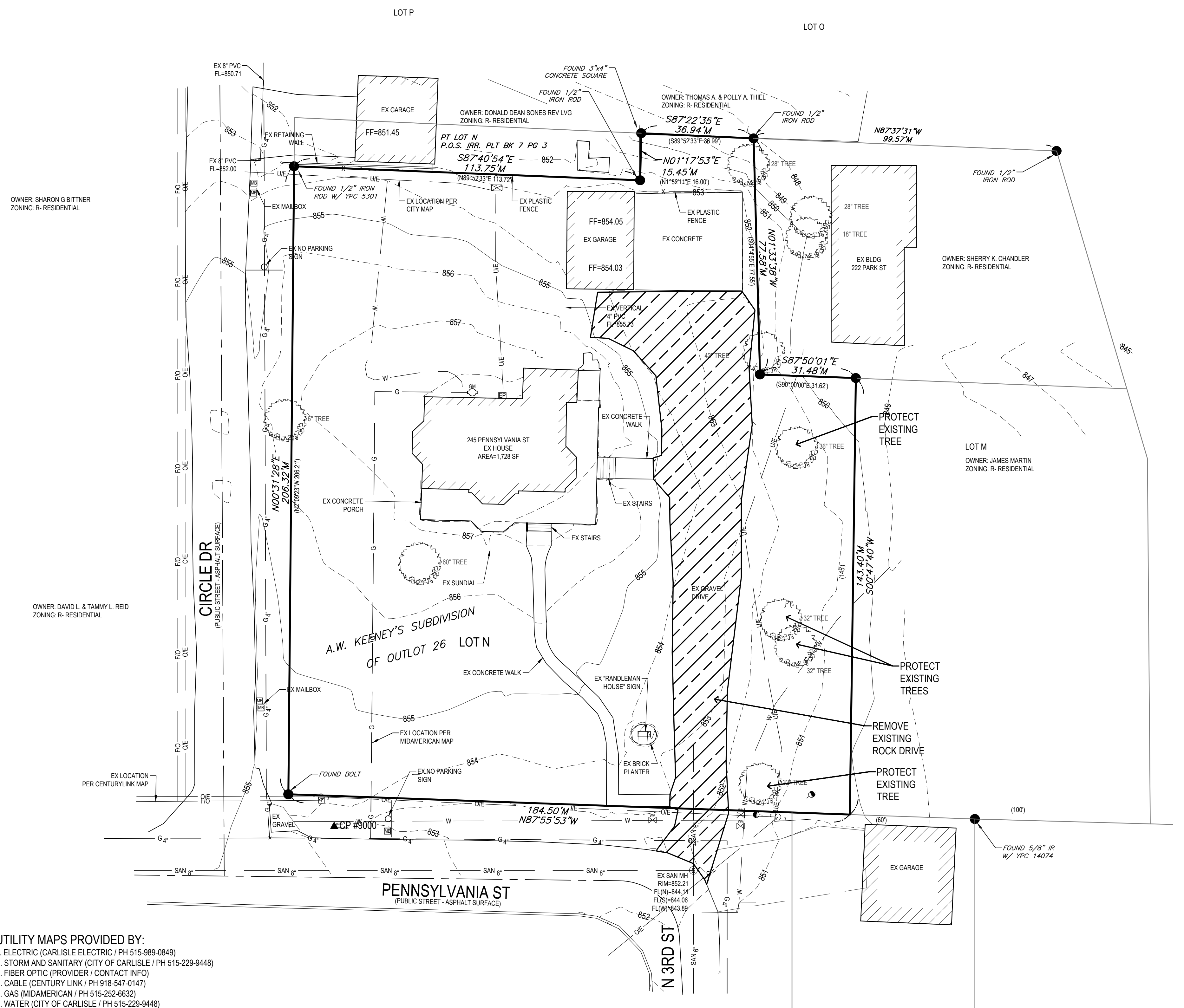
CARLISLE AREA HISTORICAL SOCIETY SITE SURVEY / REMOVALS



VICINITY MAP
NOT TO SCALE

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Established 1959

CARLISLE HISTORICAL SOCIETY
PARKING ADDITION
SITE SURVEY / REMOVALS



ABBREVIATIONS:

- AC ACRES
- ASPH ASPHALT
- BK BOOK
- CONC CONCRETE
- D DEEDED DISTANCE
- EX EXISTING
- ENCL ENCLOSURE
- FF FINISHED FLOOR
- FL FLOW LINE
- FRAC FRACTIONAL
- M MEASURED DISTANCE
- MH MANHOLE
- OPC ORANGE PLASTIC CAP
- P PLATTED DISTANCE
- PG PAGE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRA PREVIOUSLY RECORDED AS
- PUE PUBLIC UTILITY EASEMENT
- ROW RIGHT OF WAY
- RPC RED PLASTIC CAP
- SF SQUARE FEET
- SAN SANITARY
- TYP TYPICAL
- YPC YELLOW PLASTIC CAP
- N NORTH
- S SOUTH
- E EAST
- W WEST
- IR IRON ROD (REBAR)
- IP IRON PIPE
- P.O.S. PLAT OF SURVEY

PROPERTY DESCRIPTION:

(WARRENTY DEED BOOK 2007, PAGE 9627)
LOT N, EXCEPT THE NE 100' X 77.5' AND EXCEPT PARCEL A OF OUTLOT 26 PLAT OF A.W. KEENEY'S SUBDIVISION AN OFFICIAL PLAT IN THE CITY OF CARLISLE, WARREN COUNTY, IOWA. SEC 3-77-23

SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

AREA:
37,840 SQUARE FEET - 0.87 ACRES

ADDRESS:
245 PENNSYLVANIA STREET
CARLISLE, IA 50047

PREPARED FOR BY OWNER:
CARLISLE AREA HIST SOCIETY LTD
PO BOX 137
CARLISLE, IA 50047

ZONING:
INFORMATION OBTAINED FROM THE ONLINE CITY OF CARLISLE ZONING MAP

ZONED: R-1 (LIGHT-DENSITY RESIDENTIAL) OR R-1 (ONE AND TWO FAMILY RESIDENTIAL)
BUILDING SETBACK REGULATIONS:
FRONT: 30 FEET
SIDE: 7 FEET
MINIMUM COMBINED WITH 15 FEET REAR: 35 FEET

FOR AN OFFICIAL ZONING REPORT PLEASE CALL: THE CITY OF CARLISLE AT (515) 989-3224

SITE CONTROL AND BENCHMARKS:
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS
DATUM = NAD 83, IOWA SOUTH
BENCHMARK DATUM = NAVD88, GEOID 18

POINT 9000 5/8" IRON ROD WITH RED PLASTIC CAP
NORTHING = 548149.41
EASTING = 1643439.19
ELEVATION = 853.64
DESCRIPTION: 18.3 FEET SOUTHEAST OF THE SOUTHWEST PROPERTY CORNER

LEGEND:

- SAN — SANITARY SEWER
- ST — STORM SEWER
- W — WATER LINE
- G — GAS LINE
- UE — UNDERGROUND ELECTRIC
- OE — OVERHEAD ELECTRIC
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- F/O — FIBER OPTIC
- CATV — CABLE TV
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- ⊕ CURB INTAKE
- ⊕ SURFACE INTAKE
- ⊕ FLARED END SECTION
- ⊕ ROOF DRAIN
- ⊕ DOWNSPOUT
- ⊕ SANITARY MANHOLE
- ⊕ CLEANOUT
- ⊕ FIRE HYDRANT
- ⊕ SPRINKLER
- ⊕ IRRIGATION CONTROL VALVE
- ⊕ WATER MANHOLE
- ⊕ WELL
- ⊕ WATER VALVE
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- ⊕ TELEPHONE VAULT
- ⊕ TELEPHONE MANHOLE
- ⊕ TRAFFIC SIGNAL MANHOLE
- ⊕ FIBER OPTIC MANHOLE
- ⊕ FIBER OPTIC RISER
- ⊕ FIBER OPTIC VAULT
- ⊕ CABLE TV RISER
- ⊕ SIGN
- BOLLARDS
- ⑦ DENOTES NUMBER OF PARKING STALLS
- PROPERTY CORNER - FOUND AS NOTED
- PROPERTY CORNER - PLACED 5/8" IRON ROD WITH PINK PLASTIC CAP ID # 26776 OR AS NOTED
- ⊕ SECTION CORNER - FOUND AS NOTED
- ▲ SITE CONTROL POINT - MONUMENT AS NOTED

REMOVAL NOTES:

- PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE
- CONTRACTOR TO COORDINATE SIGNAGE AND PERMITS WITH THE CITY FOR ANY WORK WITHIN THE ROAD RIGHT-OF-WAY
- CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR ANY DISCONNECT AND REMOVAL OF EXISTING UTILITY SERVICES ASSOCIATED WITH THE BUILDING STRUCTURE DEMOLITION/REMOVAL
- CONTRACTOR TO PROTECT ALL UTILITIES, PAVEMENTS AND STRUCTURES THAT ARE NOT SCHEDULED FOR REMOVAL. CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY DAMAGED UTILITIES, PAVEMENTS AND STRUCTURES NOT SCHEDULED FOR REMOVAL AT THE CONTRACTORS EXPENSE
- CONTRACTOR TO LOCATE AND VERIFY DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND CONTACT THE OWNER/ENGINEER IF DIFFERENT FROM THE PLANS OR IN CONFLICT WITH PROPOSED IMPROVEMENTS

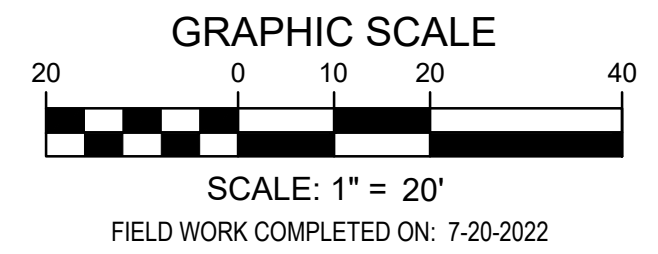
- UTILITY MAPS PROVIDED BY:**
- ELECTRIC (CARLISLE ELECTRIC / PH 515-989-0849)
 - STORM AND SANITARY (CITY OF CARLISLE / PH 515-229-9448)
 - FIBER OPTIC (PROVIDER / CONTACT INFO)
 - CABLE (CENTURY LINK / PH 918-547-0147)
 - GAS (MIDAMERICAN / PH 515-252-6632)
 - WATER (CITY OF CARLISLE / PH 515-229-9448)
 - OTHERS (PROVIDER / CONTACT INFO)



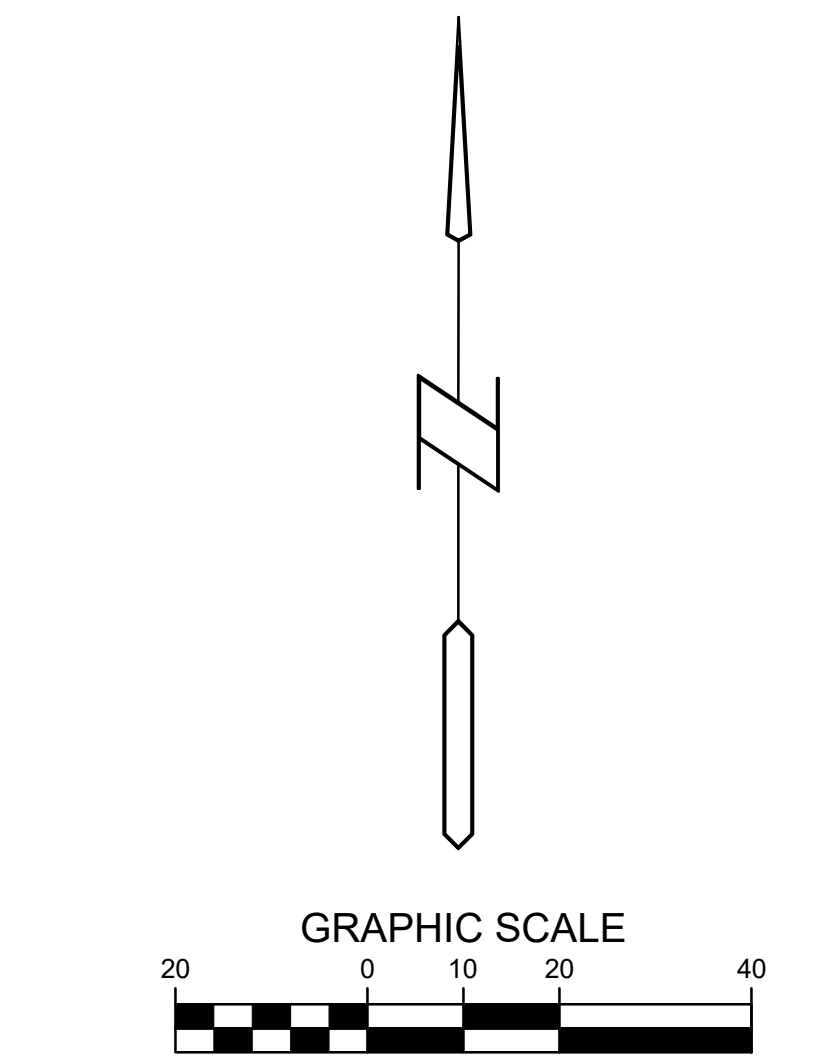
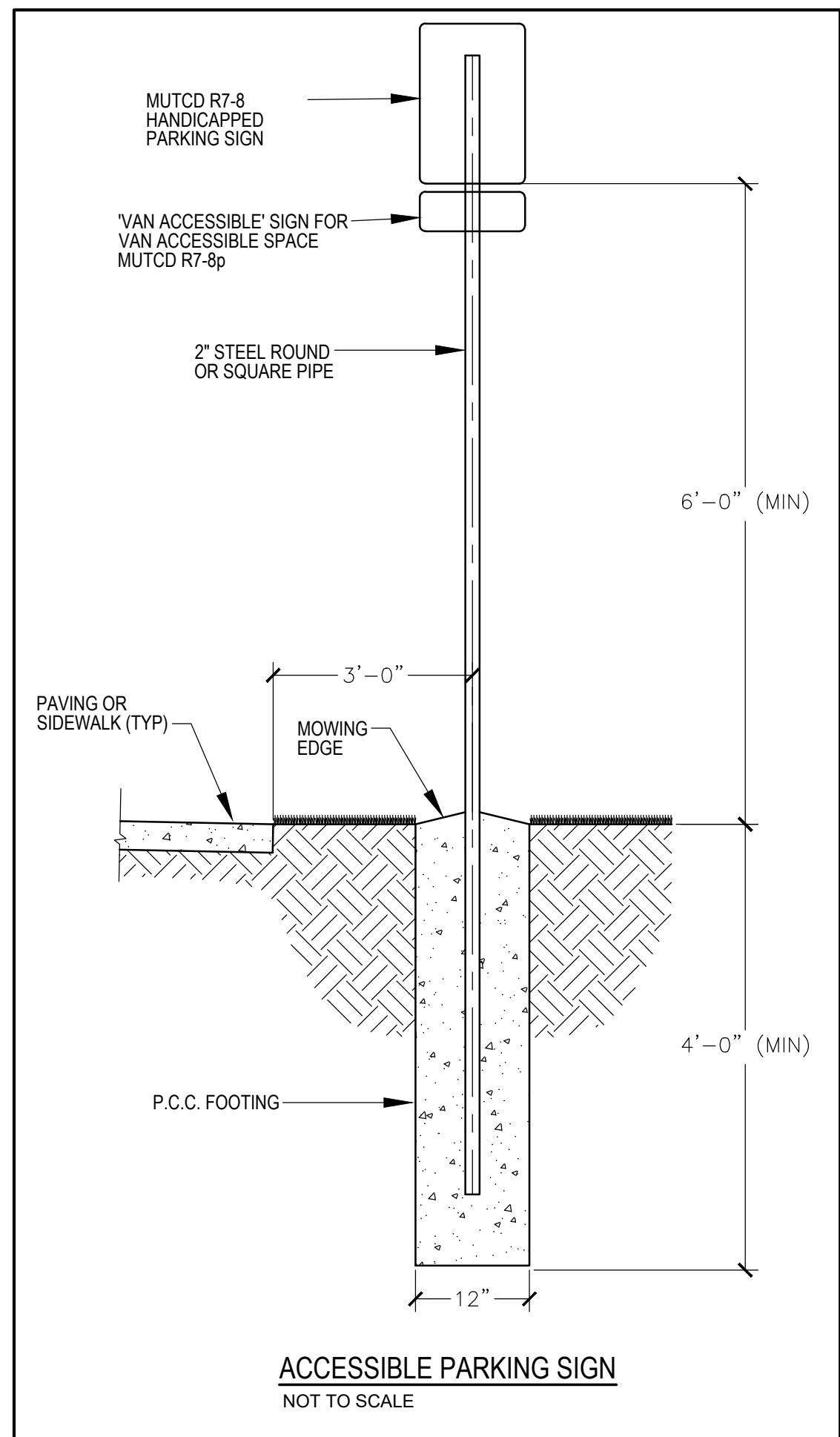
UTILITY NOTE:
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NOTES:

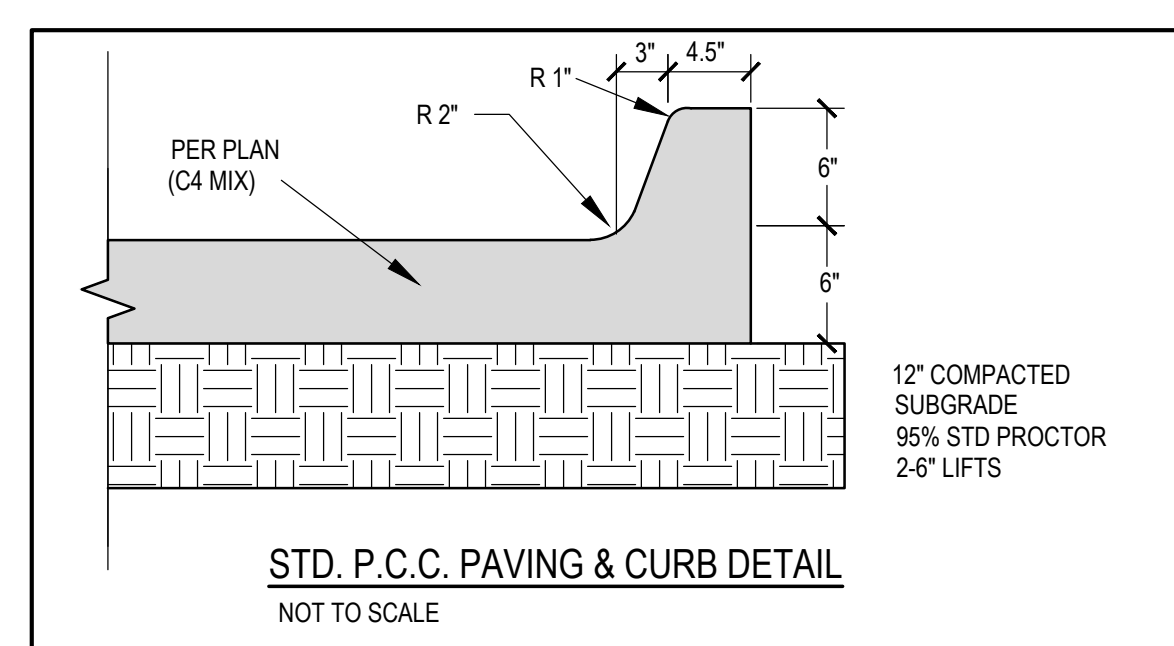
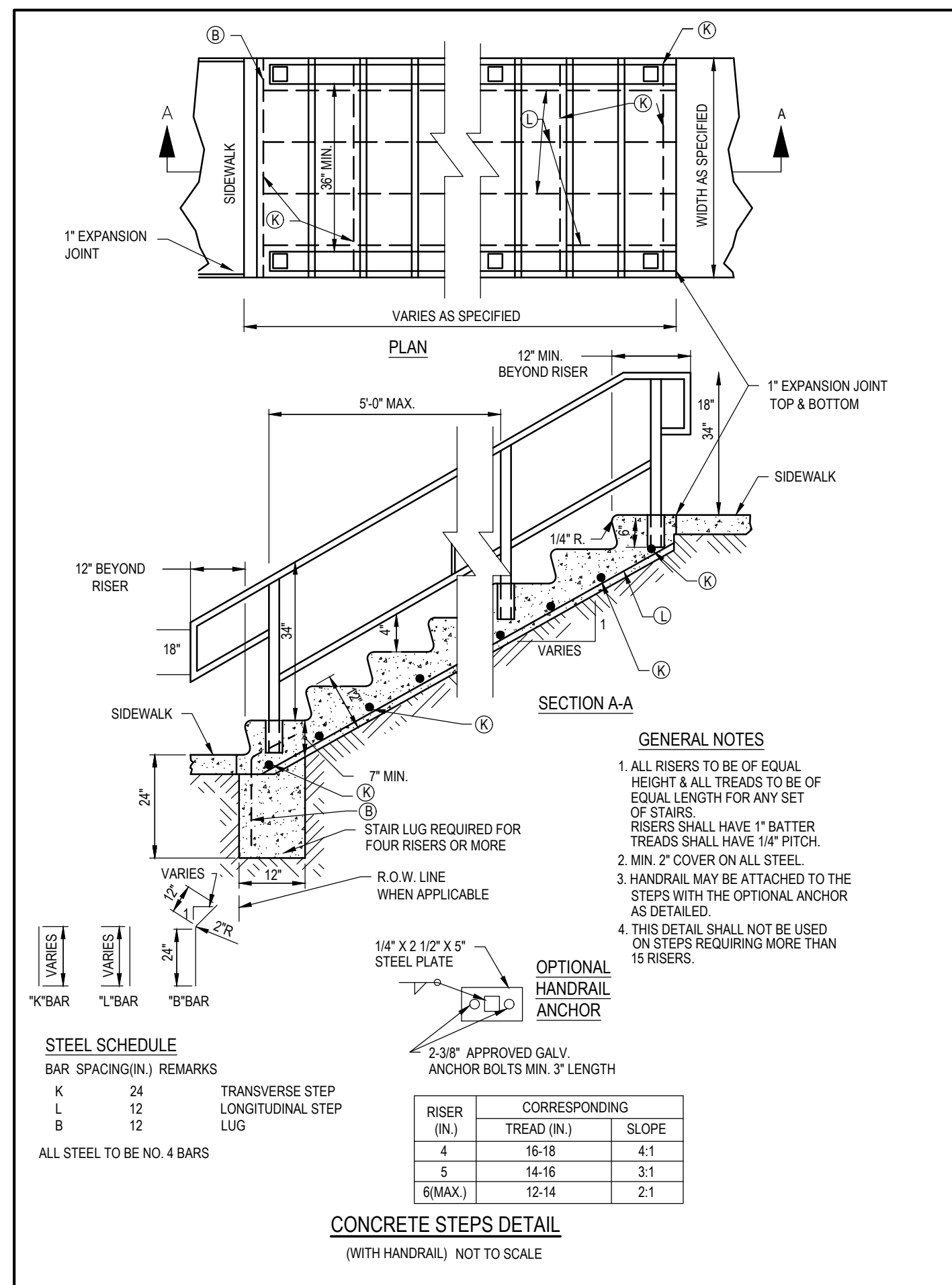
- ADJACENT PROPERTY OWNER INFORMATION OBTAINED FROM WARREN COUNTY ASSESSORS WEB PAGE
- PARENTHESIS () DENOTES PREVIOUSLY RECORDED BEARINGS AND DISTANCES
- REFERENCE SURVEYS:
IRREGULAR PLAT 2 PAGE 5 OF CARLISLE
IRREGULAR PLAT 7 PAGE 3 OF CARLISLE
INSTRUMENT # 2018-08891



REFERENCE NUMBER:
DRAWN BY: BK
CHECKED BY: DB
REVISION DATE: 08/05/2022 CHECK 08/18/2022 CHECK 09/02/2022 CITY 10/06/2022 CITY 10/13/2022 CITY
PROJECT NUMBER: 220307
SHEET NUMBER: C1.1

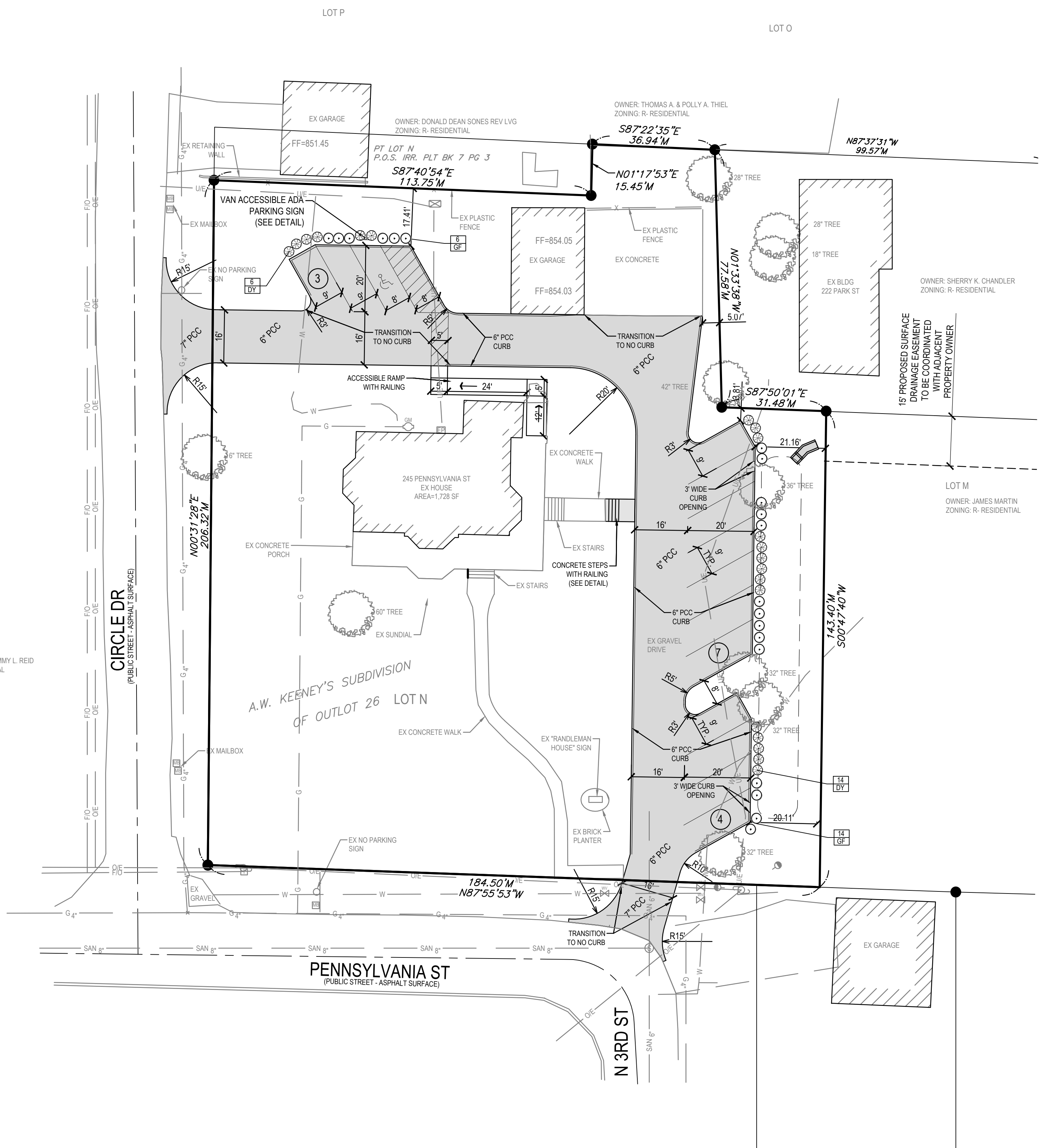


- LAYOUT NOTES:**
- SEE FINAL ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
 - CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR DETAILED BUILDING CONSTRUCTION INFORMATION.
 - CONTRACTOR TO REFER TO STRUCTURAL PLANS FOR DETAILED BUILDING FOUNDATION AND STOOP LOCATIONS AND DETAILED CONSTRUCTION INFORMATION.
 - CONTRACTOR TO CONNECT TO EXISTING PCC PAVEMENTS WITH IOWA SUDAS TYPICAL BT JOINT.



OWNER: SHARON G BITTNER
ZONING: R-RESIDENTIAL

OWNER: DAVID L. & TAMMY L. REID
ZONING: R-RESIDENTIAL



PLANTING SCHEDULE:

CODE	QUAN	COMMON NAME	LATIN NAME	SIZE	ROOT	NOTES
OVERSTORY TREES						
DY	20	DENISFORMIS YEW	TAXUS MEDIA 'DENISFORMIS'	36"	CONT	FULL FORM - MATCHED
GF	20	GOLD FLAME SPIREA	SPIRAEA BUMALDA 'GOLDFLAME'	#5	CONT	FULL FORM - MATCHED

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Civil Engineering & Land Surveying
Established 1959

**CARLISLE HISTORICAL SOCIETY
PARKING ADDITION
LAYOUT PLAN**

REFERENCE NUMBER:

DRAWN BY:
BK

CHECKED BY:
DB

REVISION DATE:
08/05/2022 CHECK
08/18/2022 CHECK
09/02/2022 CITY
10/06/2022 CITY
10/13/2022 CITY

PROJECT NUMBER:
220307

SHEET NUMBER:
C2.1



FOX Strand
414 South 17th Street, Suite 107
Ames, IA 50010
(P) 515.233.0000
www.strand.com

DATE: October 11, 2022

TO: Deven Markley
City Administrator, City of Carlisle
100 N. 1st Street
Carlisle, IA 50047

RE: Carlisle Methodist Expansion (Public Parking)—Construction Drawing Review
Project No. 7023.053
City of Carlisle, Iowa (City)

FOX Strand has completed the second review for the Carlisle Methodist Church Expansion Public Improvements with date stamp of August 23, 2022, and have no further questions.

Construction Drawing Review Schedule

Planning & Zoning: October 17, 2022 at 7 P.M. at Carlisle City Hall

Council Meeting: October 24, 2022 at 6:30 P.M. at Carlisle City Hall

If you have any questions or concerns, please contact Mitch Holtz at 515-233-0000.

Sincerely,

FOX Strand

Mitch Holtz, P.E.

Attachments: none

c: Deven Markley, City Administrator, City of Carlisle

PUBLIC IMPROVEMENTS OF CARLISLE UNITED METHODIST CHURCH

130 N 4TH STREET, CARLISLE, IOWA



VICINITY SKETCH
SCALE 1"=200'

SHEET INDEX	
SHEET #	SHEET TITLE
1	COVER
2	DEMOLITION PLAN
3	DIMENSION PLAN
4	GRADING & UTILITY PLAN



PROPERTY OWNER:
CARLISLE UNITED METHODIST CHURCH
405 SCHOOL STREET
CARLISLE IA 50047-8752

APPLICANT:
CARLISLE UNITED METHODIST CHURCH
405 SCHOOL STREET
CARLISLE IA 50047-8752

PROJECT MANAGER:
SHANE DEVICK
CIVIL ENGINEERING CONSULTANTS
2400 86TH STREET, #12
URBANDALE, IOWA 50322
PHONE: 515-276-4884, EXT. 222
EMAIL: DEVICK@CECLAC.COM

LAND USE
EXISTING: CHURCH
PROPOSED: CHURCH

ZONING
R-2 MEDIUM DENSITY RESIDENTIAL

LEGAL DESCRIPTION:
LOTS 1 & 2, BLOCK 'V' YOUNTS ADDITION TO CARLISLE, AN OFFICIAL PLAT RECORDED IN DEED BOOK 4, PAGE 264 AT THE WARREN COUNTY RECORDER'S OFFICE, CITY OF CARLISLE, WARREN COUNTY, IOWA.

R-2 BULK REGULATIONS:

LOT AREA:	1 AC.
LOT FRONTAGE:	150 FEET
FRONT YARD SETBACK:	50 FEET
SIDE YARD SETBACK:	25 FEET
MIN. SUM OF SIDE YARDS:	50 FEET
REAR YARD SETBACK:	50 FEET
FLOOR AREA RATIO:	
1 STORY:	0.30
2 STORY:	0.50
2.5 STORY:	0.60

BENCHMARK:

SITE BENCHMARK #1: SANITARY MANHOLE RIM AT INTERSECTION OF MAIN STREET AND NORTH 4th STREET. ELEV. 824.65
SITE BENCHMARK #2: FINISHED FLOOR ELEVATION AT DOOR ON NORTH SIDE OF EXISTING CHURCH BUILDING. ELEV. 833.40

PROPOSED CONSTRUCTION SCHEDULE:

DEMOLITION: SEPTEMBER, 2022.
UTILITIES: OCTOBER, 2022.
PAVING: OCTOBER, 2022.
FINAL EARTHWORK: OCTOBER, 2022.
PUNCH LIST ITEMS: NOVEMBER, 2022.

LEGEND

●	FOUND CORNERS
○	SET PROPERTY CORNER (5/8" I.R. IN ORANGE CAP #12265 UNLESS OTHERWISE NOTED)
---	PROPERTY BOUNDARY
---	LOT LINES
---	ORIGINAL PLATTED LOT LINES
---	TREE LINE
---	EXISTING PARKING STALL PAINT LINES
---	BACK OF PORTLAND CEMENT CONCRETE (P.C.C.) CURB & EDGE OF PORTLAND CEMENT CONCRETE SLAB
---	GUTTER
---	CENTERLINE STREET
---	SIDEWALK
---	EXISTING CHAIN LINK FENCE
---	EXISTING PIPE FENCE
---	EXISTING WIRE FENCE
---	OVERHEAD WIRES (X = NUMBER OF WIRES)
---	UNDERGROUND FIBER OPTIC LINES
---	STORM SEWER AND SIZE
---	SANITARY SEWER AND SIZE
---	WATER MAIN AND SIZE
---	GAS MAIN AND SIZE
---	UNDERGROUND ELECTRIC
---	UNDERGROUND CABLE TELEVISION LINE
---	UNDERGROUND TELEPHONE LINE
---	RETAINING WALL
---	EXISTING BUILDING

○	SANITARY & STORM MANHOLE
○	OPEN THROAT INTAKE OR MG INTAKE
○	SINGLE & DOUBLE BACK OF CURB(B/C) INTAKE
○	STORM AREA INTAKE
○	MEDIA/COM COMMUNICATIONS RISER
○	COMMUNICATIONS RISER
○	ELECTRIC TRANSFORMER
○	ELECTRIC METER
○	ELECTRIC BOX
○	WOOD POWER POLE WITH LIGHT
○	POWER POLE
○	STEEL STREET LIGHT POLE
○	METAL LIGHT POLE
○	GUYWIRE ANCHOR
○	FIRE HYDRANT
○	WATER MAIN GATE VALVE
○	WATER MAIN STOP BOX VALVE
○	SIGN
○	DEEDED BEARING & DISTANCE
○	PREVIOUSLY RECORDED BEARING & DISTANCE
○	MEASURED BEARING & DISTANCE
○	FINISHED FLOOR ELEVATION
○	PORTLAND CEMENT CONCRETE
○	ASPHALTIC CEMENT CONCRETE
○	CONCRETE MASONRY UNIT
○	FLAGPOLE
○	IRON ROD
○	IRON PIPE
○	COUNTY RECORDER'S INDEXING BOOK AND PAGE
○	EXISTING DECIDUOUS TREE & CALIPER SIZE (GRAPHIC TREE SIZE IS REPRESENTATIVE OF APPROXIMATE DRIP LINE)
○	EXISTING EVERGREEN TREE & CALIPER SIZE (GRAPHIC TREE SIZE IS REPRESENTATIVE OF APPROXIMATE DRIP LINE)
○	BUILDING HEIGHT MEASURED FROM THE EXISTING GROUND TO PEAK (HEIGHT ACCURACY = +/- 0.5 FEET)
○	PROPERTY ADDRESS

MAPS	UTILITY LOCATION BASED ON MAPS PROVIDED BY THE IOWA ONE CALL SERVICE (APPROXIMATE LOCATIONS ONLY)
EST	ESTIMATED LOCATION BASED ON A COMBINATION OF SURVEY DATA, UTILITY MAPS, AND THE ORIGINAL SITE PLAN.
PLANS	LOCATION BASED ON ORIGINAL CONSTRUCTION DRAWINGS PROVIDED BY THE CITY OF URBANDALE.
BB	BACK OF CURB TO BACK OF CURB
CI & DIP	CAST IRON PIPE & DUCTILE IRON PIPE
VCP	VITRIFIED CLAY PIPE
RCP	REINFORCED CONCRETE PIPE
■	CLEAN OUT

City of Carlisle Standard Notes for Site Plans:

- General Notes:**
 - All work shall be done in accordance with the current version of the Urban Standards Specifications for Public Improvements on the date of approval and the City of Carlisle Supplemental Specifications.
 - A preconstruction meeting is required prior to the start of construction. The Contractor shall be responsible to coordinate this meeting with the City of Carlisle. General Contractor and major subs shall be present at the meeting. The City of Carlisle must be notified by all Contractors 48 hours prior to commencing work. Please contact the following Staff:
 - Tommy Thompson - Public Works Superintendent - 515-505-4299; or,
 - Tony Rhinehart - Water/Sewer Foreman - 515-249-2055
 - All permits (IDNR, IDOT, Army Corp., etc.) shall be obtained prior to the start of construction.
 - All Utility Contractors and/or Owners shall be responsible to provide the City of Carlisle with "As-Built" Drawings of all Public Improvements where necessary.
 - A signage list should be submitted by the contractor to the City of Carlisle. Public works will verify the list and order the signs from a list of approved vendors. The contractor will then be responsible for picking up the signs once delivered to public works and placing them in the locations identified on the signage plan. The cost of signs and related hardware will be billed to the contractor.
 - All site lighting shall not spill onto adjacent properties or right-of-ways.
 - We encourage you to contact the City of Carlisle with information on any significant work being done or potential issues as they generally get the first calls from neighbors with questions or concerns. Keeping the City informed of progress or significant issues can help you avoid potential conflicts or issues with surrounding property owners.
 - A post-construction walk-thru is required by City Staff and/or the City's designated engineer. All engineering review fees for the walk-thru and follow-up correspondence must be paid for by the Owner prior to issuance of an occupancy permit.
 - A Knox box is required by the fire department and shall be obtained by the Owner.
- Sanitary Sewer Notes:**
 - The Contractor is required to place a temporary plug in the existing downstream sanitary sewer manhole prior to the start of construction. The plug shall be removed following approval of construction by the City of Carlisle.
 - Sanitary gravity pipe material shall be PVC SDR 26 or Truss (8" to 15").
 - Sanitary gravity service pipe material shall be PVC SDR 23.5 (4" to 6").
 - 3-piece castings shall have interior chimney seals.
 - 2-piece castings shall have I&I Barrier (aka top hat) chimney seals, or equal. In addition, the minimum spacer ring size is 4-inches and the maximum number of spacer rings shall not exceed 12-inches.
 - All sanitary sewer manholes shall have steps.
 - All sanitary sewer manhole castings located within pavement shall be boxed out.
 - Mandrel and pressure tests are required for all sanitary sewer lines (8" and above) prior to paving. In addition, all sanitary sewer lines shall be televised. The sewer system shall be flushed with water prior to televising.

1. Water Main Notes:

- All fire hydrants shall be American Flow Control-Waterous Pacer WB-67-250, Mueller Super Centurion 250 (3-way A-423), or Clow Medallon F-2545. All hydrants shall have the following: 6" MJ Shoe, 2-1/2" Hose Nozzle, 4-1/2" Steamer Nozzle, NST Threads, Pentagon Operating Nut, Chain on cap, open left, 5-1/2" bury, and factory painted red. The minimum spool pipe length from auxiliary valve to hydrant shoe shall be 2.0'.
- All hydrants shall be painted red.
- All hydrants will immediately be covered with a black plastic bag (or equivalent) once the hydrant is installed. The City of Carlisle will notify the Contractor when the bags can be removed.
- All hydrants shall have a 5" Storz nozzle.
- A tracer wire receptacle shall be installed at each hydrant (flush mount Valveco or approved equal). Tracer wire testing is required and must be witnessed by City Staff.
- Tracer wire shall be added to all water main & hydrant leads.
- All valves shall be resilient wedge gate valves.
- Water service shall be 1-inch minimum type K copper within Public Right of Way. Water services between curb stop and structure may be 1-inch type K copper or 1-inch PEX. Any PEX used must also have tracer wire attached.
- The Contractor is responsible for pressure testing, chlorination, and bacteria test.

2. Storm Sewer Notes:

- All storm sewer in the ROW shall be RCP, unless otherwise approved by the City.
- All flared end sections shall have footings and apron grates. The last 3 pipe sections and the flared end section on all culverts shall be tied. All storm sewer joints shall be wrapped with engineering fabric.
- The Contractor is responsible for repairing any field tile damaged during construction. The tile should be directed to public storm sewer if possible. The Contractor shall record the elevation and location of all tiles.
- All sump service lines shall have tracer wire.
- All rip-rap shall be underlain with engineering fabric as specified in the Urban Specifications.
- Contractor should develop and communicate their plan and timeline to the City for both installation and removal of all SWPP protection.

CERTIFICATION

	I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.
	SHANE J. DEVICK, IOWA LIC. NO. 16507 DATE MY LICENSE RENEWAL DATE IS DECEMBER 30, 2022 PAGES OR SHEETS COVERED BY THIS SEAL: ALL DRAWINGS



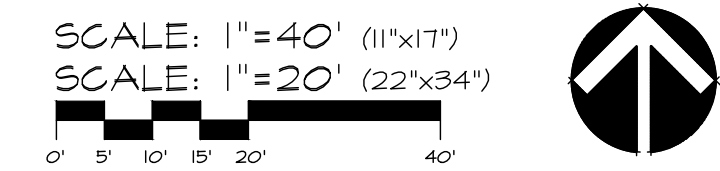
Civil Engineering Consultants, Inc.
2400 86th Street, Unit 12, Des Moines, Iowa 50322
515.276.4884 mail@ceclac.com



DATE:	05-27-2022
DATE OF SURVEY:	
DESIGNED BY:	SJD
DRAWN BY:	RSZ

CARLISLE UNITED METHODIST CHURCH
130 N 4TH STREET, CARLISLE, IOWA
COVER

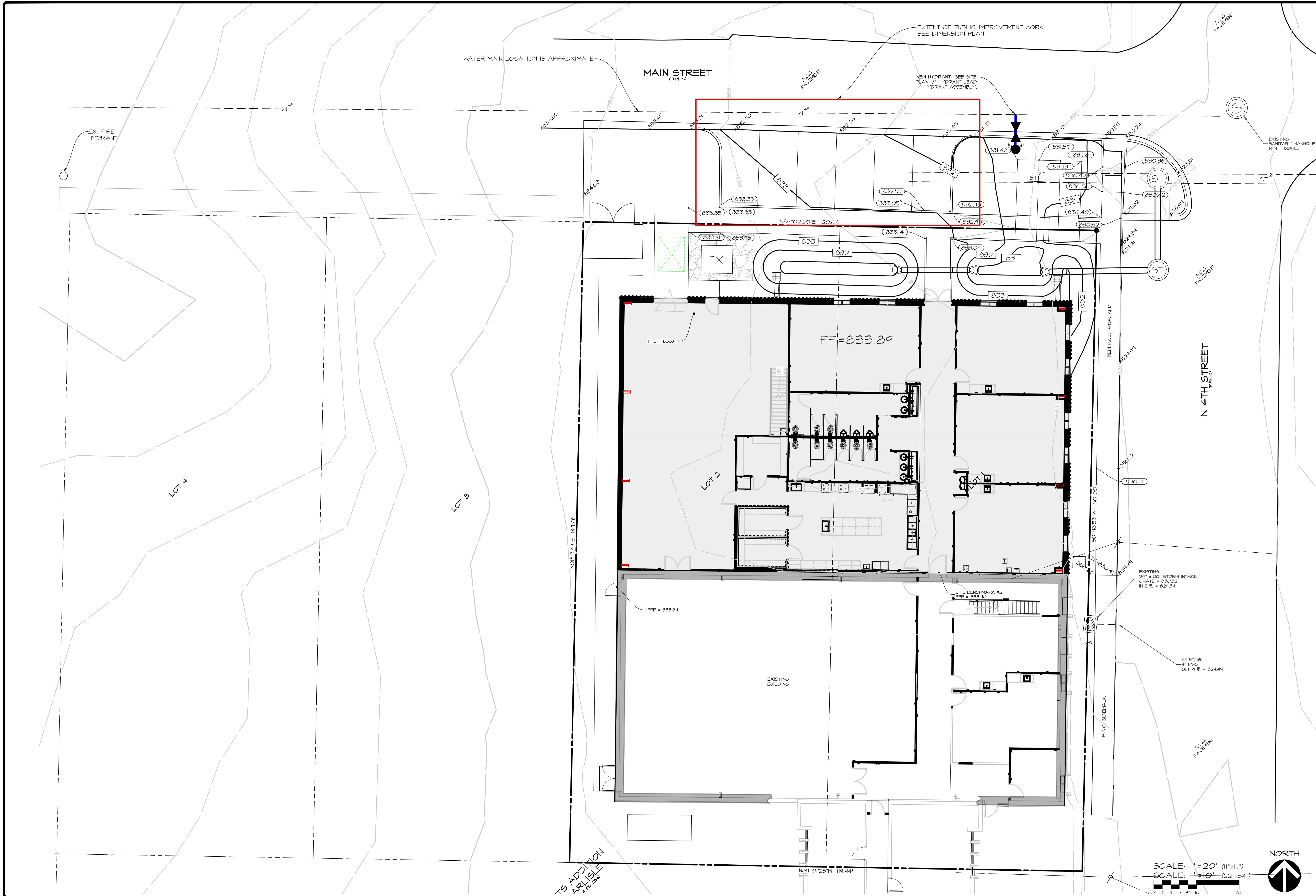
SHEET	4
OF	4



DATE:	05-27-2022
DATE OF SURVEY:	
DESIGNED BY:	SJD
DRAWN BY:	KRSZ

CARLISLE UNITED METHODIST CHURCH
 130 N 4TH STREET, CARLISLE, IOWA
DEMOLITION PLAN

Q:\E-FILES\E-8000\ER8007_C3D Drawings\Construction Documents\Public Improvement\ER8007 (04) PI GRADING.dwg, 8/23/2022 10:42:17 AM, kzarley, 1:1

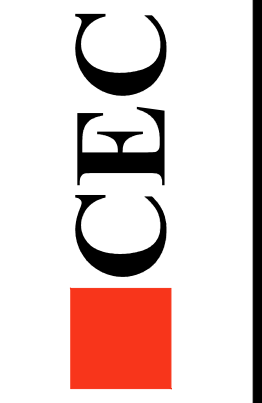
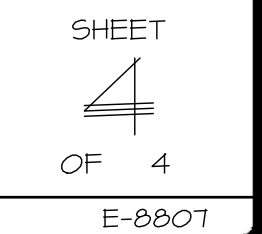


SCALE: 1" = 20' (11"x17")
 SCALE: 1" = 10' (22"x34")

DATE: 05-27-2022
 DATE OF SURVEY:
 DESIGNED BY:
 DRAWN BY: KRZ

CARLISLE UNITED METHODIST CHURCH
 130 N 4TH STREET, CARLISLE, IOWA
GRADING PLAN

SHEET 4 OF 4
 E-880T



Civil Engineering Consultants, Inc.
 2400 86th Street Unit 12 · Des Moines, Iowa 50322
 515.276.8884 · mail@cecinc.com



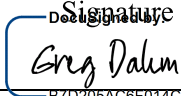
CITY OF CARLISLE, IOWA REZONING APPLICATION

(Please print. Any Non-Legible Application Can Be Rejected.)


- 1. \$50.00 Fee Receipt No. _____
- 2. Applicant: McGough
- 3. Contact Name: Andy McIntosh
- 4. Phone number: (651) 634-7787 E-Mail: andy.mcintosh@mcgough.com
- 5. Property Address: Approx. 600' Northwest of the intersection of Norgard Circle and Gateway Drive
- 6. Legal Description: Outlot X & Y - Scotch Ridge Business Park Plat 1

- 7. Present Zoning: R- 2 C- 2 M- 1 A- Other: _____
- 8. Proposed Zoning: R- C- M- 1 A- Other: _____
- 9. Present Use: Undeveloped farm ground
- 10. Proposed Use: Industrial Park

11. At Least 50 Percent of Property Owners in Area to be Rezoned Must Sign Petition
(Use Extra Sheet if Needed)

Printed Name	Address	Signature
<u>Scotch Ridge LLC</u>	<u>544 4th Street, West Des Moines, IA 50265</u>	<u></u>

12. At Least 50 Percent of Property Owners within 300 Feet of Area to be Rezoned Must Sign Petition (Use Extra Sheet if Needed)

Printed Name	Address	Signature
<u>Scotch Ridge LLC</u>	<u>544 4th Street, West Des Moines, IA 50265</u>	<u></u>
<u>Summertime Farms LLC</u>	<u>7403 SE 50th Ct, Carlisle, IA 50047</u>	



CITY OF CARLISLE, IOWA REZONING APPLICATION

(Please print. Any Non-Legible Application Can Be Rejected.)

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-
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Printed Name	Address	Signature
<u>Scotch Ridge LLC</u>	<u>544 4th Street, West Des Moines, IA 50265</u>	_____
_____	_____	_____

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Printed Name	Address	Signature
<u>Scotch Ridge LLC</u>	<u>544 4th Street, West Des Moines, IA 50265</u>	_____
<u>Summertime Farms LLC</u>	<u>7403 SE 50th Ct, Carlisle, IA 50047</u>	<u>Ron Petersen</u>
_____	_____	_____

Printed Name

Address

Signature

13. Attach a statement of reasons why the present zoning classification is no longer valid.

14. Attach a drawing or plat showing

- Location
- Dimensions
- Use(s) of the applicant’s property and **all properties within 300’** of the property to be rezoned.
- Please include all streets, alleys, railroads, utility easements and other physical features.

9/30/2022

DATE

DocuSigned by:

Andy McIntosh

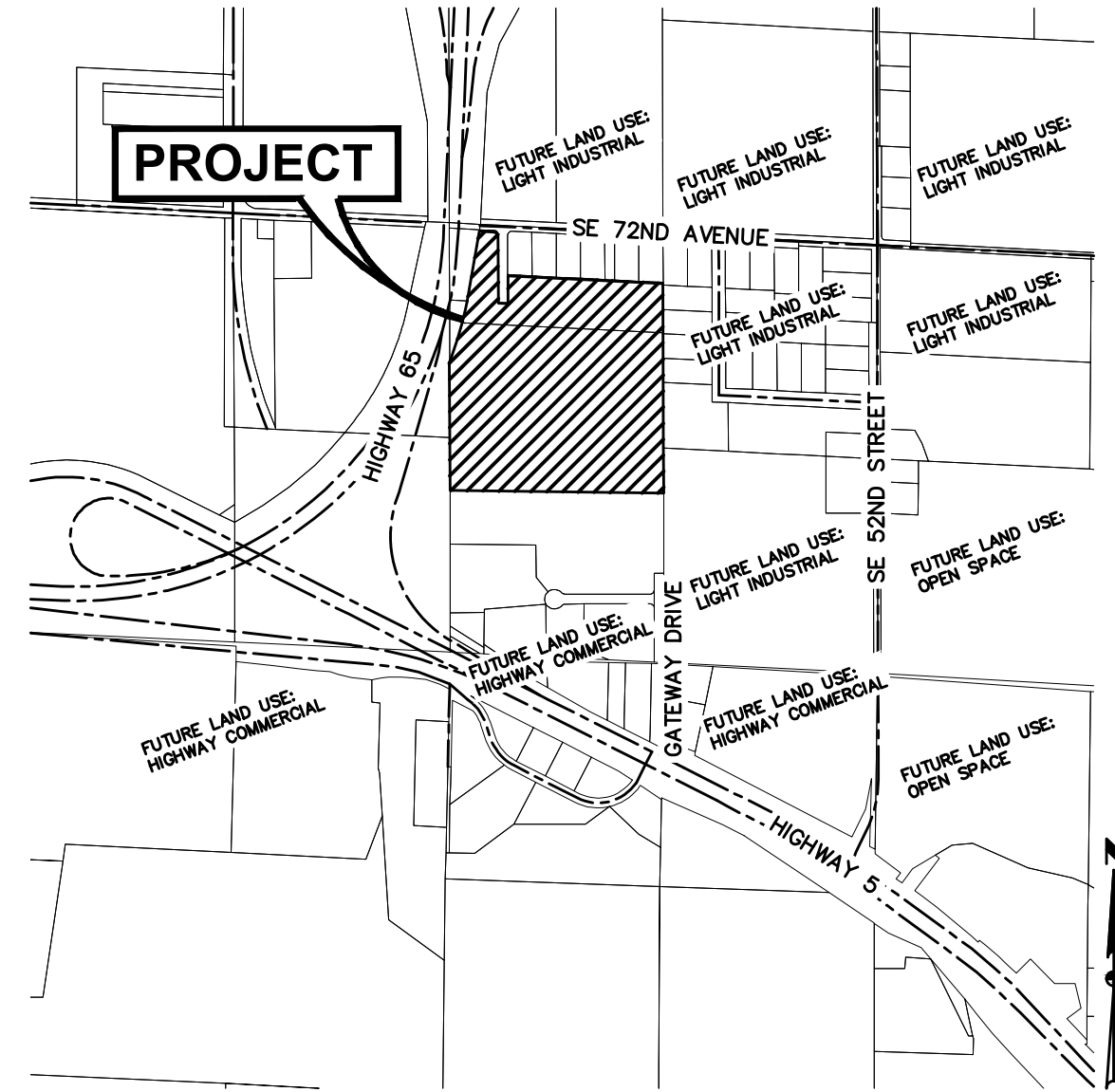
42175932E52F464...

APPLICANT’S SIGNATURE

*Can use Assessor’s website for property information and map requirements.

VICINITY MAP

NOT TO SCALE



CARLISLE, IOWA

OWNER

SCOTCH RIDGE LLC
544 4TH STREET
WEST DES MOINES, IA 50265-4620

APPLICANT

MCGOUGH
CONTACT: ANDY MCINTOSH
2737 FAIRVIEW AVENUE NORTH
ST PAUL, MN 55113
PH: (651) 634-7787

ENGINEER

CIVIL DESIGN ADVANTAGE
CONTACT: ERIN OLLENDIKE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PH: (515) 369-4400

ZONING

EXISTING: C-2: COMMERCIAL DISTRICT
M-1: LIGHT INDUSTRIAL DISTRICT
R-2: MEDIUM DENSITY RESIDENTIAL DISTRICT

PROPOSED: M-1: LIGHT INDUSTRIAL DISTRICT

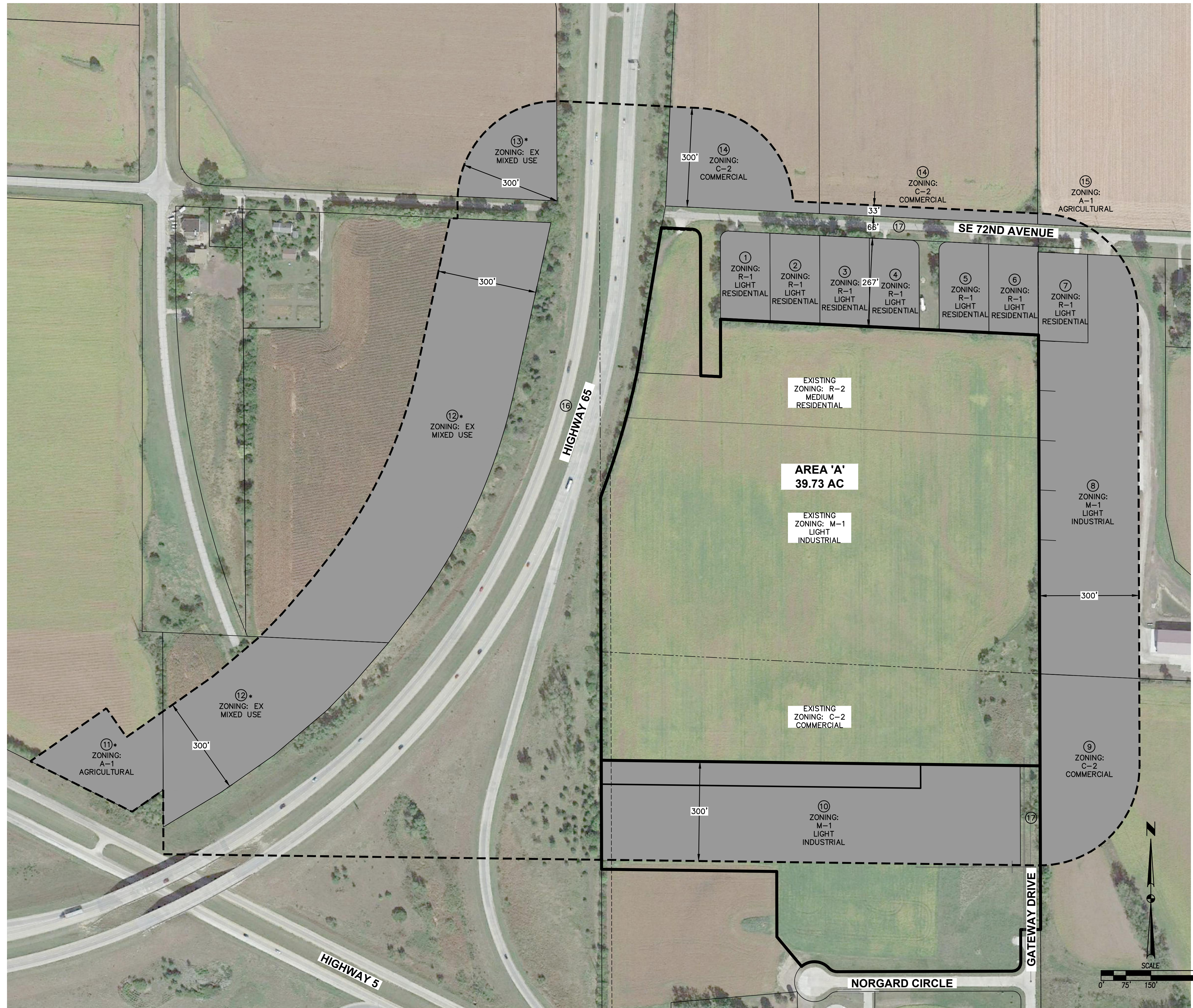
ADJACENT OWNERSHIP

Owner	Acres	Percent	Consent
1 Michael Newby	0.91	3.13%	
2 Dale Pettijohn	0.92	3.15%	
3 Brad and Sandra Bales	0.92	3.14%	
4 David T McDaniel	0.91	3.13%	
5 Patricia Bartholomew	0.91	3.13%	
6 Dennis and Nancy Alexander	0.92	3.14%	
7 Donald Sievers	0.91	3.12%	
8 Summertime Farms LLC	7.78	26.62%	X
9 Beasley Farms INC	3.48	11.91%	
10 Scotch Ridge LLC	8.70	29.77%	X
11 Max Steigleder *	1.65		
12 David and Ida Wright *	13.92		
13 Hope K Farms LLC *	1.58		
14 David and Ida Wright	2.77	9.48%	
14 Wilbur E Goodhue INC	0.08	0.28%	
15 State of Iowa *			
16 City of Carlisle *			
Total	46.36	100.00%	56.39%

* AREAS OWNED BY THE CITY OF CARLISE, STATE OF IOWA AND PROPERTIES OUTSIDE THE CORPORATE LIMITS ARE NOT INCLUDED IN THE CONSENTING PERCENTAGES.

REZONING DESCRIPTION

OUTLOT 'X' AND OUTLOT 'Y', SCOTCH RIDGE BUSINESS PARK PLAT 1, AN OFFICIAL PLAT IN THE CITY OF CARLISLE, POLK COUNTY, IOWA.



FILE: H:\2022\2206449\2206449-REZONING MAP.DWG
PLOT: 10/6/2022 7:46 AM
DRAWN BY: ERIN OLLENDIKE
CHECKED BY: ERIN OLLENDIKE

DATE	10/06/2022
REVISIONS	
SECOND SUBMITTAL	09/23/2022
FIRST SUBMITTAL	

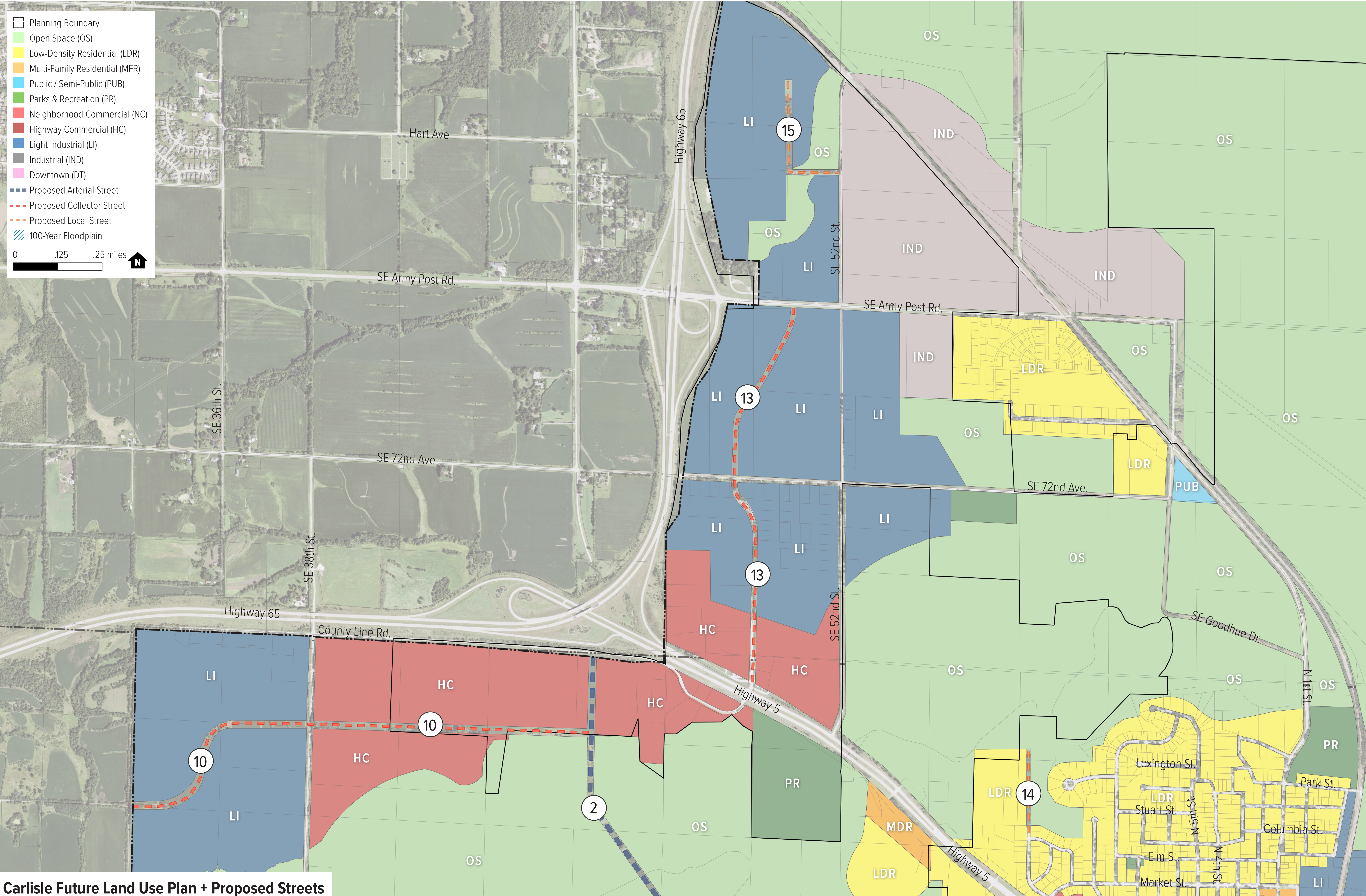
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

ENGINEER: JWM
ENGINEER: EKO

ESA
CIVIL DESIGN ADVANTAGE
CARLISLE, IOWA

**SCOTCH RIDGE INDUSTRIAL PARK
REZONING MAP**

2206.449



Carlisle Future Land Use Plan + Proposed Streets