

City of Carlisle, Iowa
Planning and Zoning Commission
Regular Meeting
October 16, 2023

7:00 P.M.

City Council Chambers – 100 N. 1st Street

Join Zoom Meeting - <https://zoom.us/j/9951930479>

Meeting ID: 995 193 0479

One tap mobile – Call 1-312-626-6799, enter 995 193 0479# when prompted

We encourage all videoconferencing or calling in to let staff know who you are for the record and then mute your microphone or phone until you would like to speak to provide a better overall experience.

Call to order

Determine quorum

New Business and Action Items

1. Discussion and Possible Action on Site Plan For PDM Metals Building #2
2. Discussion and Possible Action on Site Plan For CTI Ready Mix 2023 Expansion

Administrator/Engineer/Commission Reports

Deven working with Mayor Merrifield on attendance policy covering all boards

Adjournment

**** PLEASE NOTE THAT THIS AGENDA MAY CHANGE UP TO 24 HOURS PRIOR TO
THE MEETING ****



FOX Strand
414 South 17th Street, Suite 107
Ames, IA 50010
(P) 515.233.0000
www.strand.com

DATE: October 13, 2023

TO: Deven Markley
City Administrator, City of Carlisle
100 N. 1st Street
Carlisle, IA 50047

RE: PDM Metals Building #2 – Site Plan Review
Project No. 7023.051
City of Carlisle, Iowa (City)

FOX Strand has completed the first review for the PDM Metals Building #2 Site Plan dated October 3, 2023. Please address the following comments:

General Discussion Comments (items that require further discussion from P&Z/Council):

1. Please be prepared to discuss the plan for the “Finish Goods Truck/Trailer Area” that will be surfaced in granular material. We understand this gravel to be temporary in some areas and permanent in others. The following Code sections may apply:
 - a. Per 165.06, 5, C, 3 (Off-Street Parking and Loading):
The minimum thickness for gravel parking or storage shall be 6 inches. Asphalt millings are encouraged in lieu of rock to provide dust control.
 - b. Per 165.06, 5, E, 2 (Outdoor Display of Goods and Storage):
Outdoor displays of goods and/or storage shall be placed on either ACC or PCC pavement. Gravel is not allowed.

Discussion is necessary whether gravel can be used based on the use of the area.
2. Please be prepared to discuss screening for the southern truck/trailer area. Per 165.06, 5, F, 14:
Any storage area, garbage storage, junk storage or loading docks, and loading areas in any district shall be screened from public street view by a buffer.

Discussion is necessary whether screening is necessary since this area will be visible from adjacent public right of way.
3. Approval of this site plan shall be contingent to bringing the previously approved site plan into compliance regarding the landscaping and general upkeep of the site. Any dead trees, shrubs, and/or grasses shall be replaced with live/healthy vegetation as part of the approval process.

Discussion is necessary at P&Z/Council regarding how this particular issue should be handled.

Deven Markley
PDM Metals Building #2
Page 2
October 13, 2023

General Comments

4. The Fire Chief and Safe Building (City Building Official) has reviewed the site plan and have the following comments:
 - a. Based on building area, a fire suppression system is required to be installed throughout the new building. Please verify the proposed 4" main will provide sufficient flow for both the domestic and fire suppression demand.
 - i. It is understood that the Developer would like to not sprinkle the building, citing Section 507.3 (Unlimited Area building) of the IFC. This approach may require that a 60-ft buffer be maintained around the structure, including crane ways.
 - ii. Further discussion is necessary between the Developer and Building Official regarding requirements for sprinkling of the building.**
 - b. A fire department access road is required to within 150' of all portions of the building.
 - i. It is understood that the Developer would like to increase the maximum distance allowed from 150' to 275', which could only be granted by the Fire Chief.
 - ii. Further discussion is necessary between the Developer and Fire Official regarding maximum fire access road distance from all parts of the structure.**

Sheet C2.1 & C2.2 - Dimension and Landscape Plan

5. Please show/label all man doors and overhead doors on the plan.

Sheet C3.1 & C3.2 - Grading and Utility Plan

6. Please modify the "order" of the paving hatch at the north end of the site to make the water lines visible.
7. Is there a reason the southern water line is extended beyond the hydrant? Is there a cap at the end? Will this be extended in the future?
8. Please show the location of all downspouts and indicate how water velocity will be dissipated.

Elevation Plans

No comments. Elevations look to match existing structure aesthetics/materials.

Stormwater Management Plan

No comments.

Lighting Plans

9. No lighting is proposed.

Please provide a response letter addressing all comments from this review letter and/or state what was modified to address comments.

Deven Markley
PDM Metals Building #2
Page 3
October 13, 2023

Site Plan Review Schedule

Planning & Zoning: October 16, 2023 at 7 P.M. at Carlisle City Hall

Council Meeting: October 23, 2023 at 6:30 P.M. at Carlisle City Hall

If you have any questions or concerns, please contact Mitch Holtz at 515-233-0000. FOX Strand reserves the right to modify and/or add to these comments.

Sincerely,

FOX Strand

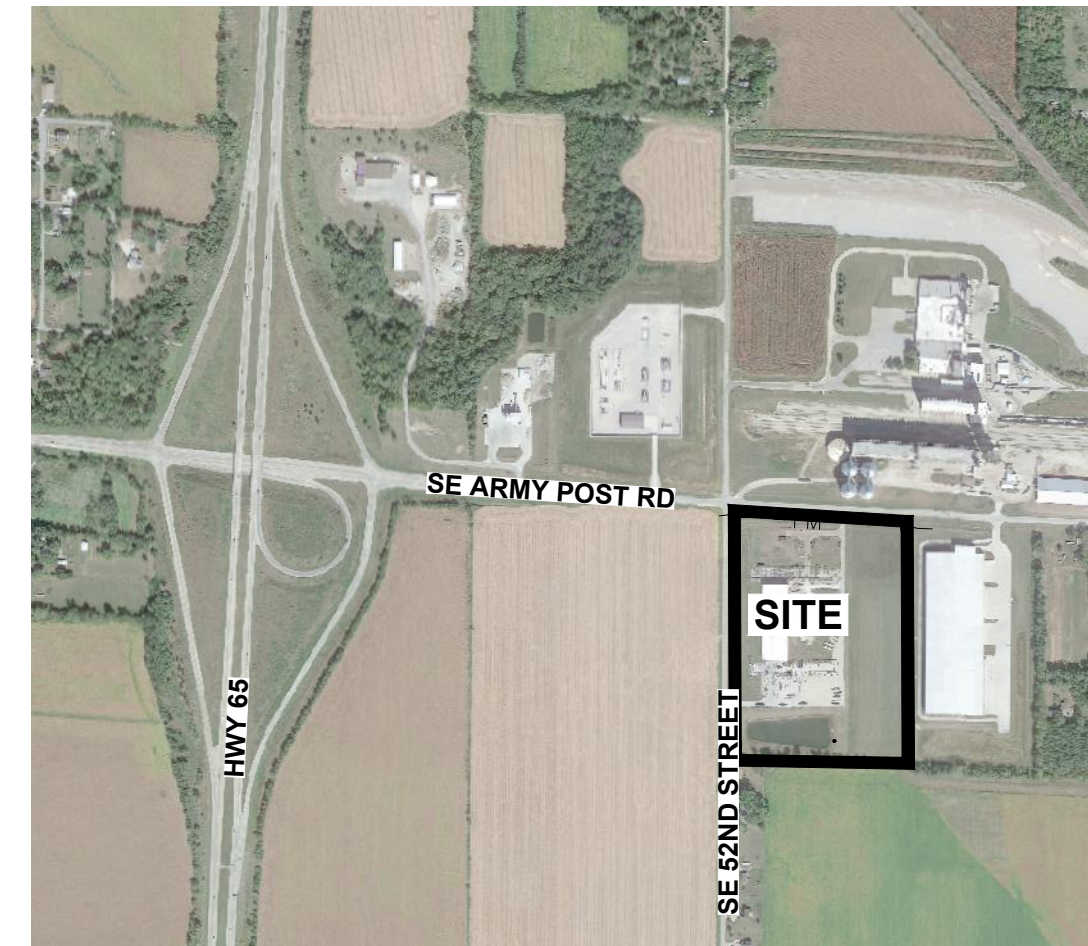


Mitch Holtz, P.E.

c: Keith Weggen, Civil Design Advantage

SITE PLAN FOR: PDM METALS BUILDING # 2

VICINITY MAP NOT TO SCALE



CARLISLE, IOWA

LEGAL DESCRIPTION

LOT 1 OF PDM PLAT 1

ZONING

M-2: HEAVY INDUSTRIAL, LIMITED

EXISTING/ PROPOSED USE

PRODUCTION FACILITY/OFFICE

DEVELOPMENT SUMMARY

AREA: 26.55 ACRES (1,156,509 SF)

SETBACKS:
FRONT: 40 FEET
SIDE: 20 FEET
REAR: 40 FEET

IMPERVIOUS AREA:
EXISTING:
BUILDING: 78,365 SF
PARKING AREAS: 28,290 SF
DRIVEWAYS: 76,705 SF
SIDEWALK: 4,510 SF
GRANULAR SURFACING: 70,049 SF

PROPOSED:
BUILDING: 27,000 SF
DRIVEWAYS: 14,497 SF
GRANULAR SURFACING: 32,981 SF
TOTAL: 332,397 SF

OPEN SPACE:
OPEN SPACE REQUIRED: 0 SF (0.0%)
OPEN SPACE PROVIDED: 824,112 SF (71.2%)

PARKING:
INDUSTRIAL OR MANUFACTURING PLANTS:
1 SPACE/1,000 SF OF FLOOR AREA UP TO 10,000 SF
AND 1 SPACE/1,500 SF THEREAFTER
1 SPACE/1,000 SF @ 10,000 SF = 10 SPACES
1 SPACE/1,500 SF @ 87,726 SF = 59 SPACES

OFFICE:
1 SPACE/200 SF OF FLOOR AREA AND 1 SPACE/OFFICE
1 SPACE/200 SF @ 5,649 SF = 28
1 SPACE/OFFICE @ 7 OFFICES = 7 SPACES
TOTAL REQUIRED = 104 SPACES
TOTAL PROVIDED = 83 SPACES
FUTURE SPACES = 64 SPACES
= 147 SPACES

ACCESSIBLE PARKING REQUIRED = 6 SPACES
ACCESSIBLE PARKING PROVIDED = 4 SPACES
FUTURE ACCESSIBLE PARKING = 2 SPACES
= 6 SPACES

BENCHMARKS

- CITY OF DES MOINES BM #2275, REBAR W/COVER @ SW CORNER OF ARMY POST ROAD & 45TH STREET. ELEVATION=842.70
- ARROW ON HYDRANT, 300 FEET +/- SOUTH OF ARMY POST ROAD ON EAST SIDE OF 52ND STREET. ELEVATION=810.24
- ARROW ON HYDRANT 100 FEET +/- EAST OF DOT ENTRANCE ON NORTH SIDE OF ARMY POST ROAD. ELEVATION=816.76

5325 SE 64TH AVENUE CARLISLE, IOWA

INDEX OF SHEETS

NO.	DESCRIPTION
C0.1	COVER SHEET
C1.1	OVERALL SITE REFERENCE
C2.1-C2.2	DIMENSION, AND LANDSCAPE PLAN
C3.1-C3.2	GRADING, AND UTILITY PLAN
C4.1	SEDIMENT AND EROSION CONTROL PLAN

DATE OF SURVEY

AUGUST 31, 2023

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE: OCTOBER 2023
ANTICIPATED FINISH DATE: APRIL 2024

SUBMITTAL DATES

SITE PLAN SUBMITTAL #1: 10/03/2023
SITE PLAN SUBMITTAL #2: 10/11/2023

GENERAL LEGEND

PROPOSED	EXISTING
PROPERTY BOUNDARY	SANITARY MANHOLE
SECTION LINE	WATER VALVE BOX
CENTER LINE	FIRE HYDRANT
RIGHT OF WAY	WATER CURB STOP
BUILDING SETBACK	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-502 STORM INTAKE	FLARED END SECTION
TYPE SW-503 STORM INTAKE	DECIDUOUS TREE
TYPE SW-505 STORM INTAKE	CONIFEROUS TREE
TYPE SW-506 STORM INTAKE	DECIDUOUS SHRUB
TYPE SW-512 STORM INTAKE	CONIFEROUS SHRUB
TYPE SW-513 STORM INTAKE	ELECTRIC POWER POLE
TYPE SW-401 STORM MANHOLE	GUY ANCHOR
TYPE SW-402 STORM MANHOLE	STREET LIGHT
FLARED END SECTION	POWER POLE W/ TRANSFORMER
TYPE SW-301 SANITARY MANHOLE	ELECTRIC BOX
STORM/SANITARY CLEANOUT	ELECTRIC TRANSFORMER
WATER VALVE	ELECTRIC MANHOLE OR VAULT
FIRE HYDRANT ASSEMBLY SIGN	TRAFFIC SIGN
DETECTABLE WARNING PANEL	TELEPHONE JUNCTION BOX
WATER CURB STOP	TELEPHONE MANHOLE/VAULT
SANITARY SEWER	TELEPHONE POLE
SANITARY SERVICE	GAS VALVE BOX
STORM SEWER	CABLE TV JUNCTION BOX
STORM SERVICE	CABLE TV MANHOLE/VAULT
WATERMAIN WITH SIZE	MAIL BOX
WATER SERVICE	BENCHMARK
SAWCUT (FULL DEPTH)	SOIL BORING
SILT FENCE	UNDERGROUND TV CABLE
USE AS CONSTRUCTED	GAS MAIN
MINIMUM PROTECTION ELEVATION	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE



UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE, URBANDALE, IOWA 50322
PH: (515) 369-4400 Fax: (515) 369-4410
PROJECT NO. 2308.566

REFER TO ALLENDER BUTZKE ENGINEERS REPORT NO. 191250 FOR GEOTECHNICAL REQUIREMENTS.

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

**PRELIMINARY
NOT FOR CONSTRUCTION**

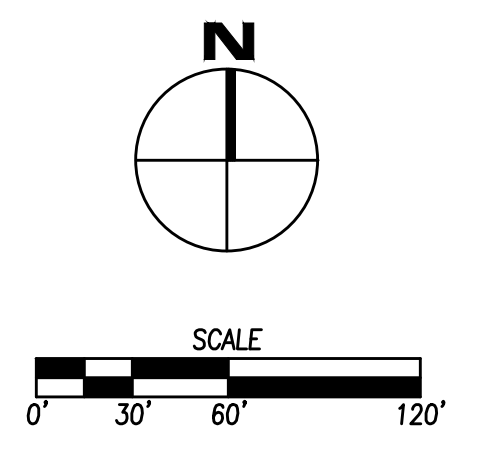
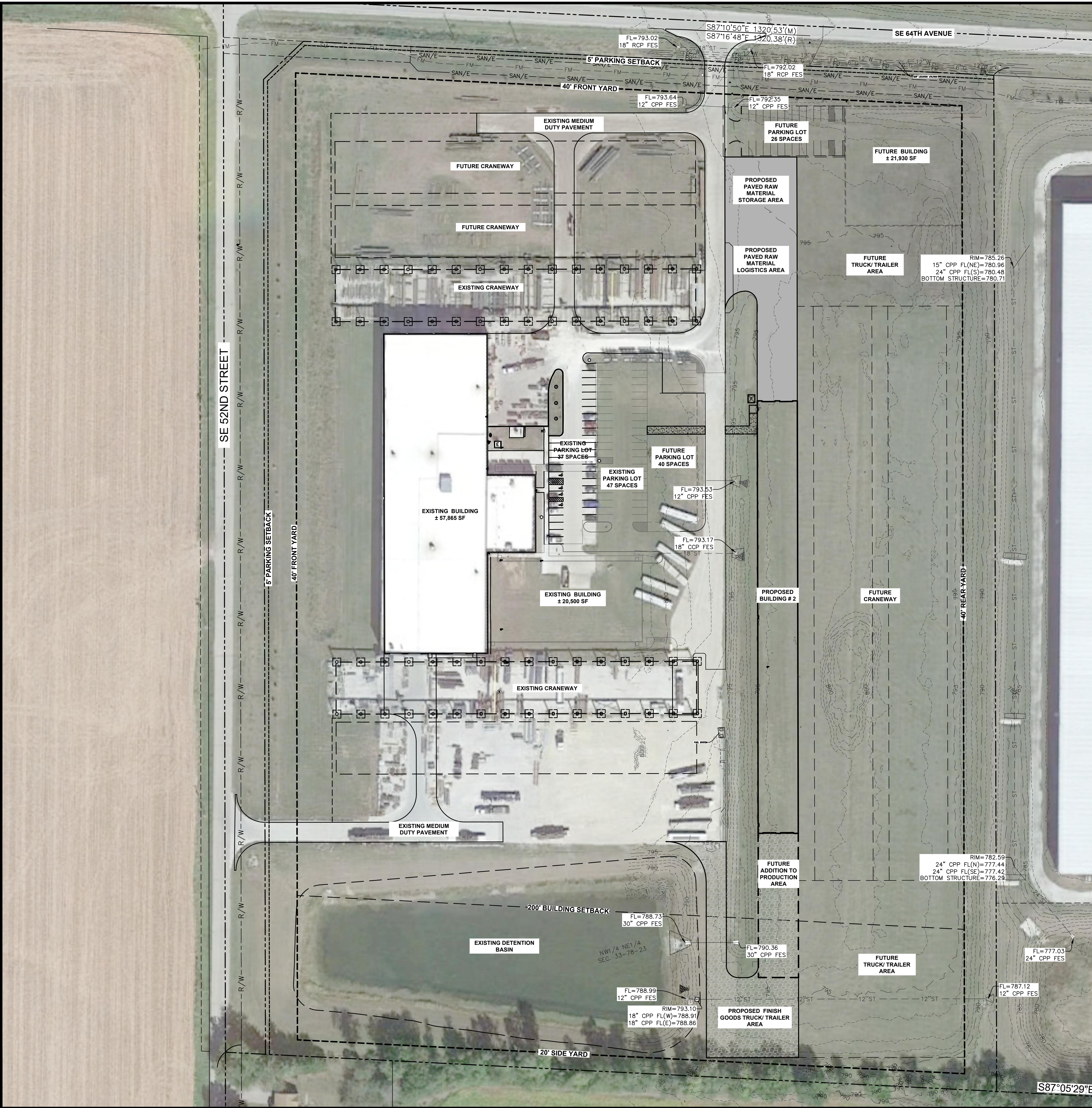
I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

JOHN PATRICK ECKER P.E. DATE: _____
LICENSE NUMBER: 25523
LICENSE RENEWAL DATE: DECEMBER 31, 2024
PAGES OR SHEETS COVERED BY THIS SEAL: _____
ALL SHEETS

FILE IN IOWA 2308566 UNDO 2308566 DATE: 10/11/2023 11:23 AM COMMENTS: ENG. PLOTTED BY: BEN STEWART, TECH. DATE: 10/11/23 DATE PLOTTED: 10/11/2023 11:23 AM

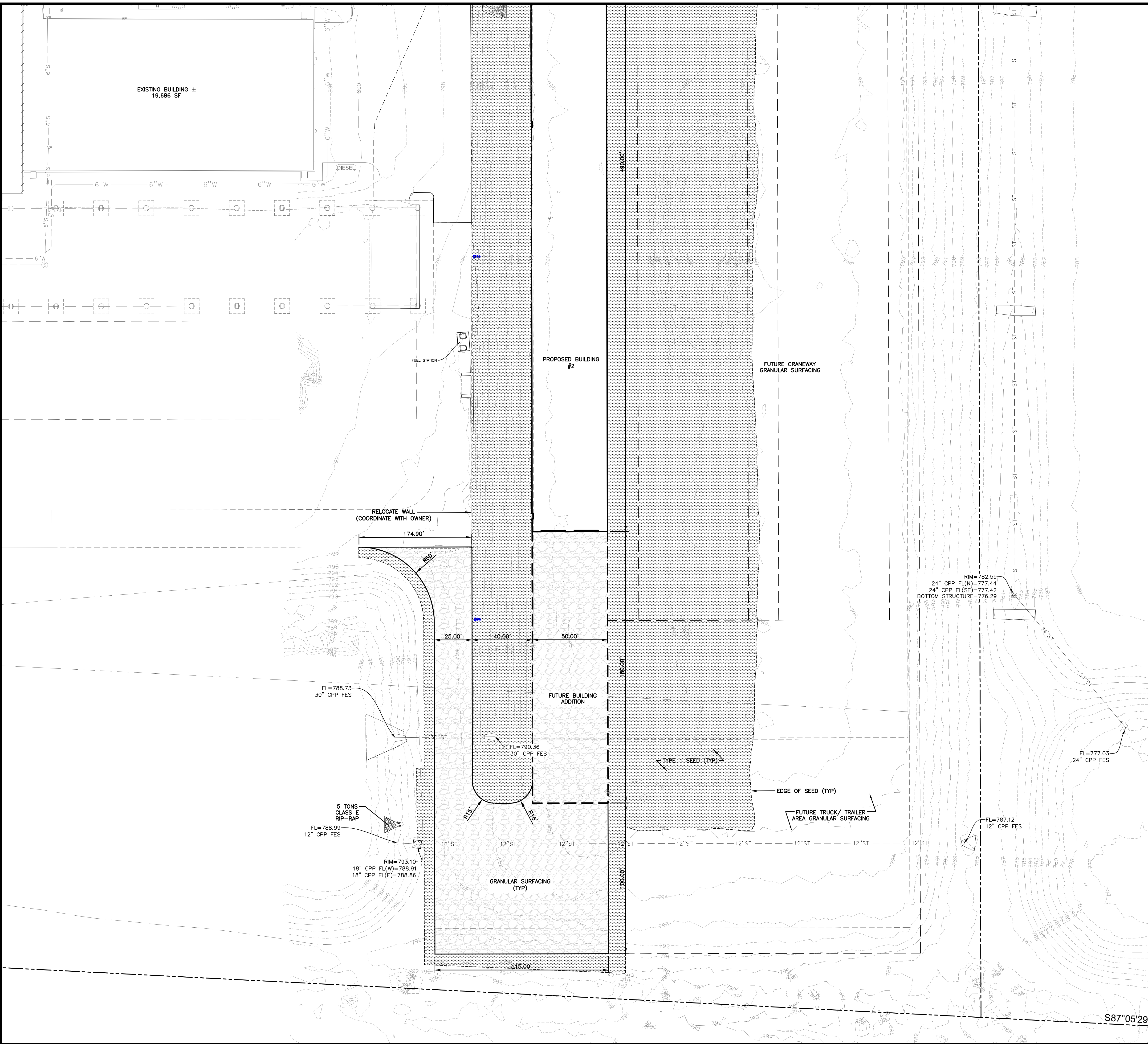
DATE: _____
REVISIONS: _____
4121 NW URBANDALE DRIVE, URBANDALE, IA 50322
PHONE: (515) 369-4400
DRAFTED: _____
ENGINEER: _____
CIVIL DESIGN ADVANTAGE
CARLISLE, IOWA
PDM METALS BUILDING # 2
COVER PAGE
5325 SE 64TH AVENUE
DATE: 10/11/2023
SHEET NUMBER: C0.1
2308.566

FILE: \\S:\DWG\2308566\2308566.dwg DATE: 10/11/2023 11:23 AM
 FILE DATE: 10/11/2023 DATE PLOTTED: 10/11/2023 11:23 AM
 PLOTTED BY: BOB STEWART, TECH COMMENT: ENG



DATE		REVISIONS		ENGINEER	
				ENGINEER	
			CIVIL DESIGN ADVANTAGE		
CARLISLE, IOWA			DRAFTED:		
PDM METALS BUILDING # 2 OVERALL SITE REFERENCE			4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: (515) 369-4400		
5325 SE 64TH AVENUE			DATE: 10/11/2023 SHEET NUMBER:		
C1.1 2308.566			SCALE: 0" = 30' 60' 120'		

FILE: \\S:\DWG\2023\202306\202306.dwg DATE: 10/11/2023 11:23 AM COMMENT: ENG
 FILE DATE: 10/11/2023 DATE PLOTTED: 10/11/2023 11:23 AM
 PLOTTED BY: BEN STEWART TECH



GENERAL NOTES

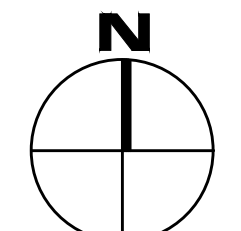
1. THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY OF CARLISLE SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
20. ALL TRASH WILL BE STORED INTERNALLY TO THE BUILDING

CITY OF CARLISLE GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF CARLISLE SUPPLEMENTAL SPECIFICATIONS.
2. A PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING WITH THE CITY OF CARLISLE. GENERAL CONTRACTOR AND MAJOR SUBS SHALL BE PRESENT AT THE MEETING. THE CITY OF CARLISLE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK. PLEASE CONTACT THE FOLLOWING STAFF:
 TONY RHINEHART - PUBLIC WORKS SUPERINTENDENT - 515-249-2055
3. ALL PERMITS (DNR, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
4. ALL UTILITY CONTRACTORS AND/OR OWNERS SHALL BE RESPONSIBLE TO PROVIDE THE CITY OF CARLISLE WITH "AS-BUILT" DRAWINGS OF ALL PUBLIC IMPROVEMENTS WHERE NECESSARY.
5. A SIGNAGE LIST SHOULD BE SUBMITTED BY THE CONTRACTOR TO THE CITY OF CARLISLE. PUBLIC WORKS WILL VERIFY THE LIST AND ORDER THE SIGNS FROM A LIST OF APPROVED VENDORS. THE CONTRACTOR WILL THEN BE RESPONSIBLE FOR PICKING UP THE SIGNS ONCE DELIVERED TO PUBLIC WORKS AND PLACING THEM IN THE LOCATIONS IDENTIFIED ON THE SIGNAGE PLAN. THE COST OF SIGNS AND RELATED HARDWARE WILL BE BILLED TO THE CONTRACTOR.
6. ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS.
7. WE ENCOURAGE YOU TO CONTACT THE CITY OF CARLISLE WITH INFORMATION ON ANY SIGNIFICANT WORK BEING DONE OR POTENTIAL ISSUES AS THEY GENERALLY GET THE FIRST CALLS FROM NEIGHBORS WITH QUESTIONS OR CONCERNS. KEEPING THE CITY INFORMED OF PROGRESS OR SIGNIFICANT ISSUES CAN HELP YOU AVOID POTENTIAL CONFLICTS OR ISSUES WITH SURROUNDING PROPERTY OWNERS.
8. A POST-CONSTRUCTION WALK-THRU IS REQUIRED BY CITY STAFF AND/OR THE CITY'S DESIGNATED ENGINEER. ALL ENGINEERING REVIEW FEES FOR THE WALK-THRU AND FOLLOW-UP CORRESPONDENCE MUST BE PAID FOR BY THE OWNER PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT.
9. A KNOX BOX IS REQUIRED BY THE FIRE DEPARTMENT AND SHALL BE OBTAINED BY THE OWNER.

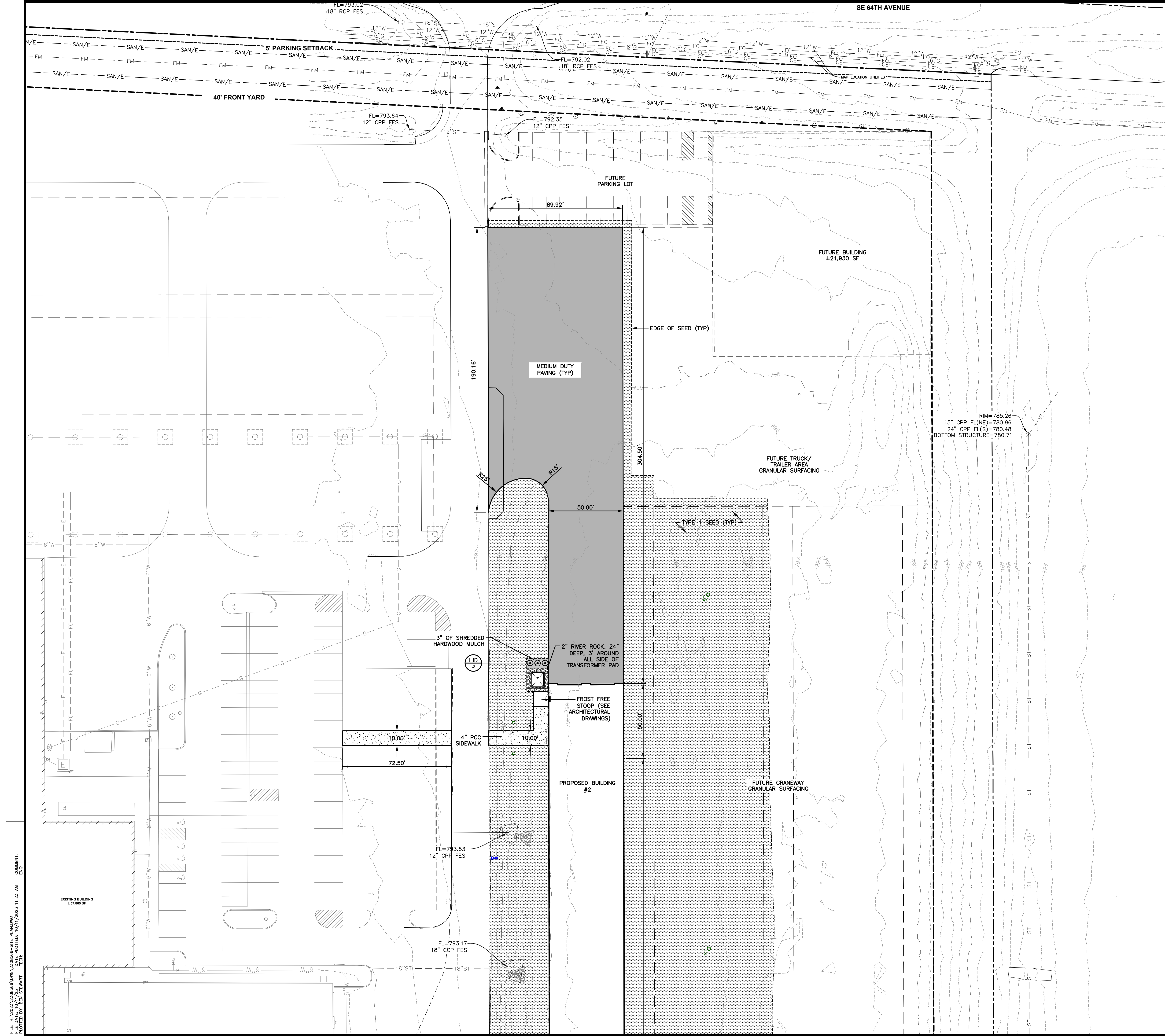
SURFACE TYPES

- GRANULAR SURFACING: 8" DEPTH WOVEN OVER GEOTEXTILE FABRIC (MATERIAL SHALL BE CLASS A ROADSTONE PER IOWA DOT SPECIFICATIONS)
- PCC SIDEWALK: 4" PCC WITH 8" OF GRANULAR SUBBASE WITH GEOTEXTILE FABRIC



S87°05'29"

DATE	
REVISIONS	
4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: (515) 369-4400	DRAFTED:
CIVIL DESIGN ADVANTAGE ENGINEER:	
ESA	CIVIL DESIGN ADVANTAGE ENGINEER:
CARLISLE, IOWA	
PDM METALS BUILDING # 2	
DIMENSION AND LANDSCAPE PLAN	
5325 SE 64TH AVENUE	
DATE: 10/11/2023	
SHEET NUMBER:	
C2.1	
2308.566	



GENERAL NOTES

- THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY OF CARLISLE SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTACT THE CITY'S CONSTRUCTION DIVISION.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
- ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
- PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
- REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
- ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
- THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
- THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
- CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
- ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
- ALL TRASH WILL BE STORED INTERNALLY TO THE BUILDING.

CITY OF CARLISLE GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF CARLISLE SUPPLEMENTAL SPECIFICATIONS.
- A PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING WITH THE CITY OF CARLISLE. GENERAL CONTRACTOR AND MAJOR SUBS SHALL BE PRESENT AT THE MEETING. THE CITY OF CARLISLE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK. PLEASE CONTACT THE FOLLOWING STAFF:
TONY RHINEHART - PUBLIC WORKS SUPERINTENDENT - 515-249-2055
- ALL PERMITS (DNR, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- ALL UTILITY CONTRACTORS AND/OR OWNERS SHALL BE RESPONSIBLE TO PROVIDE THE CITY OF CARLISLE WITH "AS-BUILT" DRAWINGS OF ALL PUBLIC IMPROVEMENTS WHERE NECESSARY.
- A SIGNAGE LIST SHOULD BE SUBMITTED BY THE CONTRACTOR TO THE CITY OF CARLISLE. PUBLIC WORKS WILL VERIFY THE LIST AND ORDER THE SIGNS FROM A LIST OF APPROVED VENDORS. THE CONTRACTOR WILL THEN BE RESPONSIBLE FOR PICKING UP THE SIGNS ONCE DELIVERED TO PUBLIC WORKS AND PLACING THEM IN THE LOCATIONS IDENTIFIED ON THE SIGNAGE PLAN. THE COST OF SIGNS AND RELATED HARDWARE WILL BE BILLED TO THE CONTRACTOR.
- ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS.
- WE ENCOURAGE YOU TO CONTACT THE CITY OF CARLISLE WITH INFORMATION ON ANY SIGNIFICANT WORK BEING DONE OR POTENTIAL ISSUES AS THEY GENERALLY GET THE FIRST CALLS FROM NEIGHBORS WITH QUESTIONS OR CONCERNS, KEEPING THE CITY INFORMED OF PROGRESS OR SIGNIFICANT ISSUES CAN HELP YOU AVOID POTENTIAL CONFLICTS OR ISSUES WITH SURROUNDING PROPERTY OWNERS.
- A POST-CONSTRUCTION WALK-THRU IS REQUIRED BY CITY STAFF AND/OR THE CITY'S DESIGNATED ENGINEER. ALL ENGINEERING REVIEW FEES FOR THE WALK-THRU AND FOLLOW-UP CORRESPONDENCE MUST BE PAID FOR BY THE OWNER PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT.
- A KNOX BOX IS REQUIRED BY THE FIRE DEPARTMENT AND SHALL BE OBTAINED BY THE OWNER.

SURFACE TYPES

- GRANULAR SURFACING: 8" DEPTH WOVEN OVER GEOTEXTILE FABRIC (MATERIAL SHALL BE CLASS A ROADSTONE PER IOWA DOT SPECIFICATIONS)
- MEDIUM DUTY PAVING: 6" PCC WITH 8" OF GRANULAR SUBBASE WITH GEOTEXTILE FABRIC
- PCC SIDEWALK: 4" PCC WITH 8" OF GRANULAR SUBBASE WITH GEOTEXTILE FABRIC

LANDSCAPE SUMMARY

OPEN SPACE REQUIRED: 0 SF (0%)
 OPEN SPACE PROVIDED: 898,590 SF (77.7%)

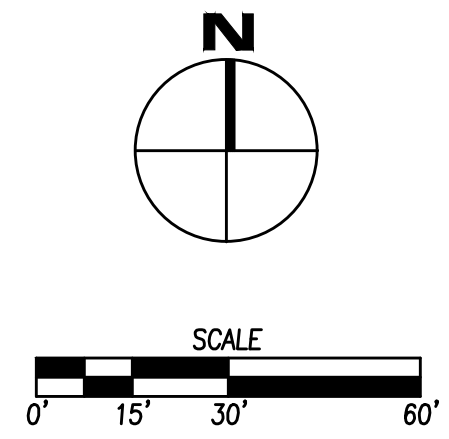
TREES REQUIRED: 2
 (2 OR 2 PER 1,500 SF OF REQUIRED OPEN SPACE)

TREES PROVIDED: 88 TREES (39 EVERGREENS)

SHRUBS REQUIRED: 6
 (6 OR 6 PER 1,500 SF OF REQUIRED OPEN SPACE)

SHRUBS PROVIDED: 6 SHRUBS
 EXISTING SHRUBS: 3 SHRUBS
 PROPOSED SHRUBS: 9 SHRUBS

SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
IHD	3	Ivory Halo® Tatarian Dogwood	Cornus alba 'Baillhata'	CONT, 3 GAL



FILE: N:\CADD\2023\202306\20230604_PDM METALS BLDG #2.dwg
 FILE DATE: 10/17/2023 11:23 AM
 PLOTTED BY: BDM STEWART
 COMMENT: ENG

DATE: _____

REVISIONS: _____

4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400

DRAFTED: _____

ENGINEER: _____

CIVIL DESIGN ADVANTAGE

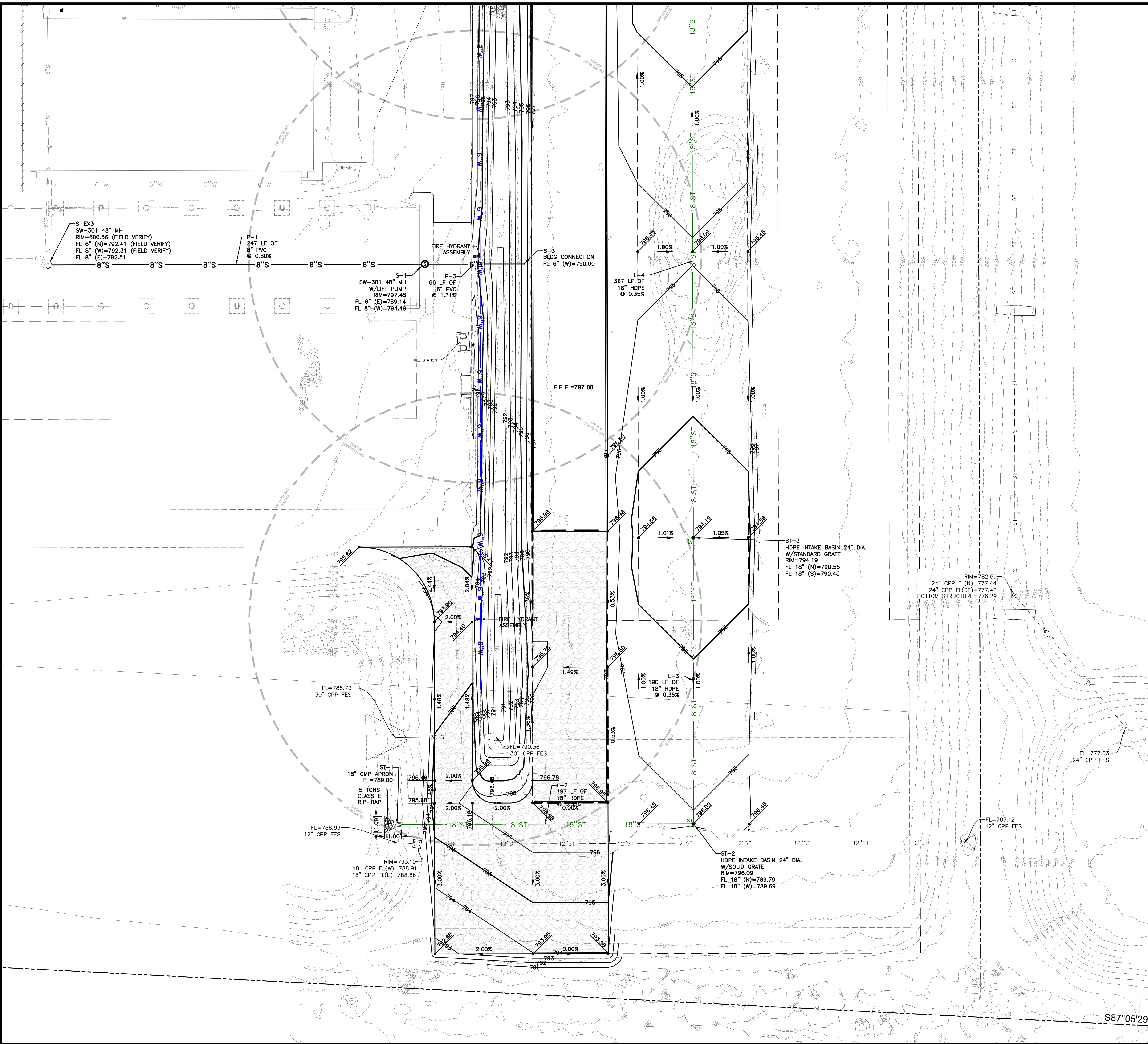
CARLISLE, IOWA

PDM METALS BUILDING # 2
DIMENSION AND LANDSCAPE PLAN

5325 SE 64TH AVENUE

DATE: 10/11/2023
 SHEET NUMBER: **C2.2**
 2308.566

FILE: I:\CADD\2023\5325 SE 64TH AVE\DWG\20230806.DWG
 FILE DATE: 10/11/2023 11:24 AM
 PLOTTED BY: BOB STEWART, INC.

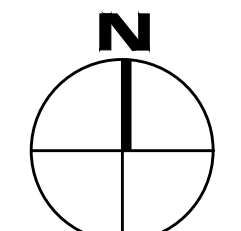


GENERAL NOTES

1. THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY OF CARLISLE SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
19. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
20. ALL TRASH WILL BE STORED INTERNALLY TO THE BUILDING

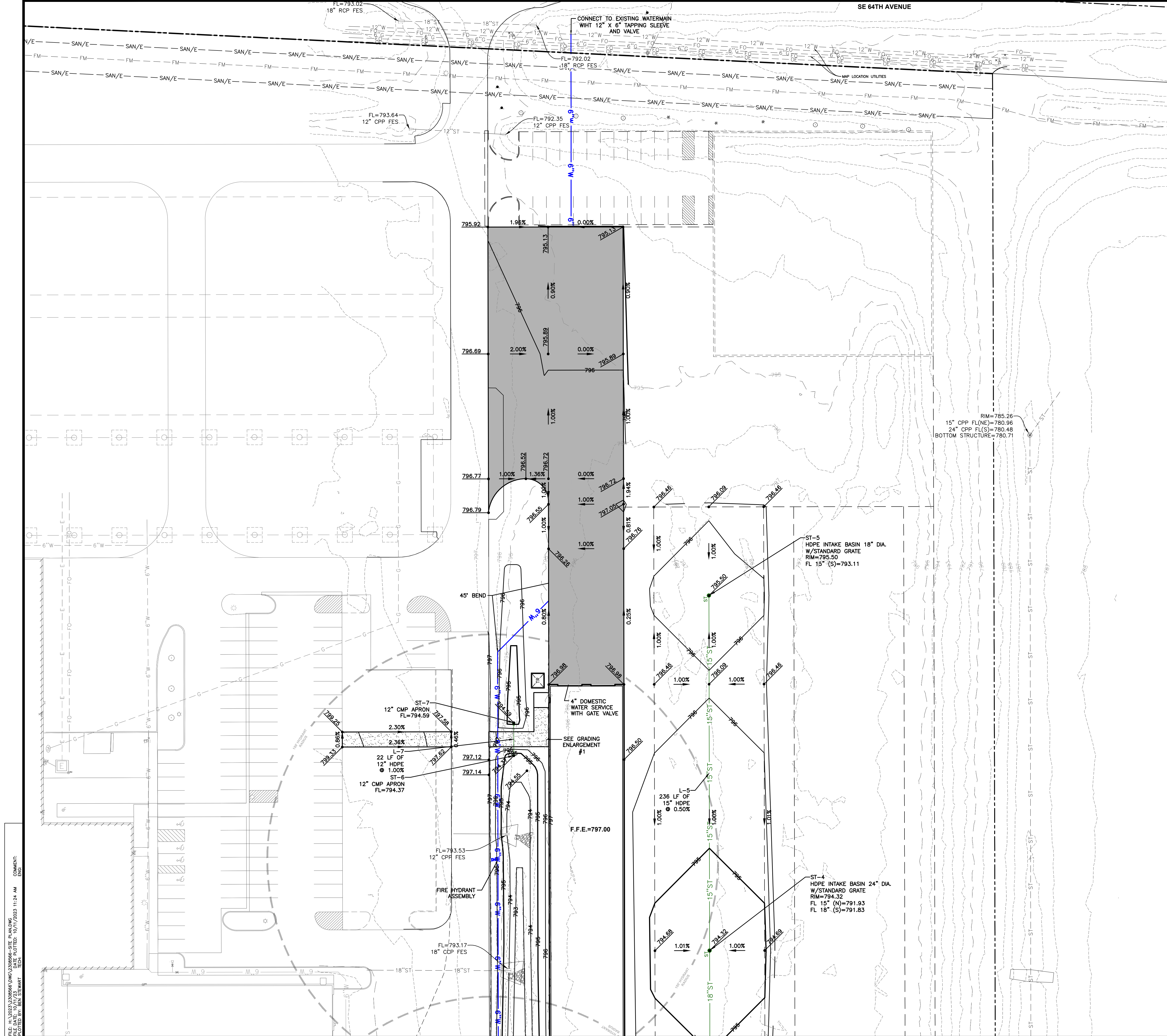
CITY OF CARLISLE GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF CARLISLE SUPPLEMENTAL SPECIFICATIONS.
2. A PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING WITH THE CITY OF CARLISLE. GENERAL CONTRACTOR AND MAJOR SUBS SHALL BE PRESENT AT THE MEETING. THE CITY OF CARLISLE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK. PLEASE CONTACT THE FOLLOWING STAFF:
 TONY RHINEHART - PUBLIC WORKS SUPERINTENDENT - 515-249-2055
3. ALL PERMITS (DNR, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
4. ALL UTILITY CONTRACTORS AND/OR OWNERS SHALL BE RESPONSIBLE TO PROVIDE THE CITY OF CARLISLE WITH "AS-BUILT" DRAWINGS OF ALL PUBLIC IMPROVEMENTS WHERE NECESSARY.
5. A SIGNAGE LIST SHOULD BE SUBMITTED BY THE CONTRACTOR TO THE CITY OF CARLISLE. PUBLIC WORKS WILL VERIFY THE LIST AND ORDER THE SIGNS FROM A LIST OF APPROVED VENDORS. THE CONTRACTOR WILL THEN BE RESPONSIBLE FOR PICKING UP THE SIGNS ONCE DELIVERED TO PUBLIC WORKS AND PLACING THEM IN THE LOCATIONS IDENTIFIED ON THE SIGNAGE PLAN. THE COST OF SIGNS AND RELATED HARDWARE WILL BE BILLED TO THE CONTRACTOR.
6. ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS.
7. WE ENCOURAGE YOU TO CONTACT THE CITY OF CARLISLE WITH INFORMATION ON ANY SIGNIFICANT WORK BEING DONE OR POTENTIAL ISSUES AS THEY GENERALLY GET THE FIRST CALLS FROM NEIGHBORS WITH QUESTIONS OR CONCERNS. KEEPING THE CITY INFORMED OF PROGRESS OR SIGNIFICANT ISSUES CAN HELP YOU AVOID POTENTIAL CONFLICTS OR ISSUES WITH SURROUNDING PROPERTY OWNERS.
8. A POST-CONSTRUCTION WALK-THRU IS REQUIRED BY CITY STAFF AND/OR THE CITY'S DESIGNATED ENGINEER. ALL ENGINEERING REVIEW FEES FOR THE WALK-THRU AND FOLLOW-UP CORRESPONDENCE MUST BE PAID FOR BY THE OWNER PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT.
9. A KNOX BOX IS REQUIRED BY THE FIRE DEPARTMENT AND SHALL BE OBTAINED BY THE OWNER.



S87°05'29"

DATE	
REVISIONS	
4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: (515) 369-4400	DRAFTED:
CIVIL DESIGN ADVANTAGE	ENGINEER:
ESA	CARLISLE, IOWA
PDM METALS BUILDING # 2	
GRADING AND UTILITY PLAN	
5325 SE 64TH AVENUE	
DATE: 10/11/2023	
SHEET NUMBER:	
C3.1	
2308.566	

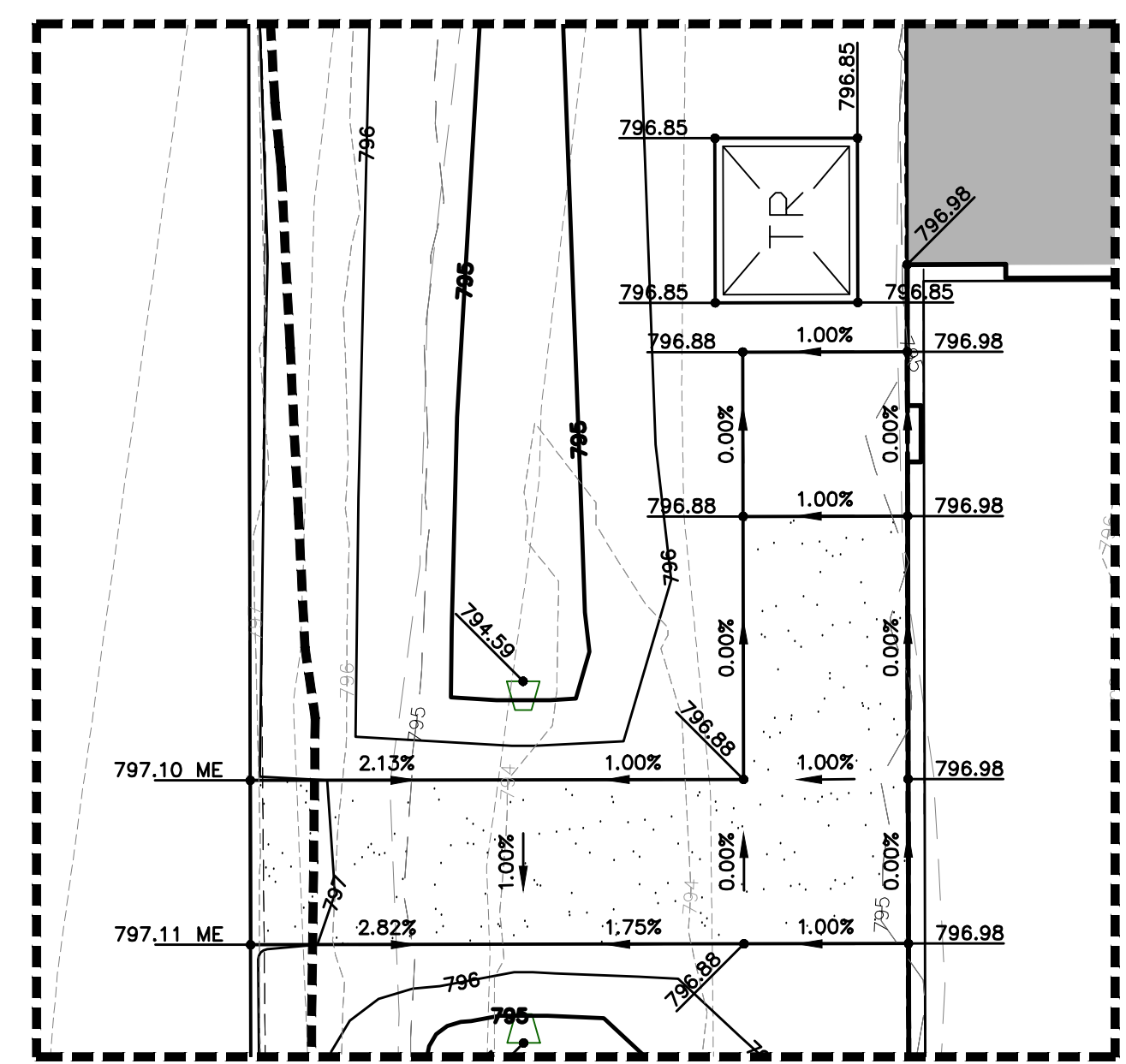


GENERAL NOTES

1. THE 2023 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY OF CARLISLE SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AS DIRECTED BY THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTACT THE CITY'S CONSTRUCTION DIVISION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
19. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
20. ALL TRASH WILL BE STORED INTERNALLY TO THE BUILDING

CITY OF CARLISLE GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF CARLISLE SUPPLEMENTAL SPECIFICATIONS.
2. A PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING WITH THE CITY OF CARLISLE. GENERAL CONTRACTOR AND MAJOR SUBS SHALL BE PRESENT AT THE MEETING. THE CITY OF CARLISLE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK. PLEASE CONTACT THE FOLLOWING STAFF:
TONY RHINEHART - PUBLIC WORKS SUPERINTENDENT - 515-249-2055
3. ALL PERMITS (DNR, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
4. ALL UTILITY CONTRACTORS AND/OR OWNERS SHALL BE RESPONSIBLE TO PROVIDE THE CITY OF CARLISLE WITH "AS-BUILT" DRAWINGS OF ALL PUBLIC IMPROVEMENTS WHERE NECESSARY.
5. A SIGNAGE LIST SHOULD BE SUBMITTED BY THE CONTRACTOR TO THE CITY OF CARLISLE. PUBLIC WORKS WILL VERIFY THE LIST AND ORDER THE SIGNS FROM A LIST OF APPROVED VENDORS. THE CONTRACTOR WILL THEN BE RESPONSIBLE FOR PICKING UP THE SIGNS ONCE DELIVERED TO PUBLIC WORKS AND PLACING THEM IN THE LOCATIONS IDENTIFIED ON THE SIGNAGE PLAN. THE COST OF SIGNS AND RELATED HARDWARE WILL BE BILLED TO THE CONTRACTOR.
6. ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS.
7. WE ENCOURAGE YOU TO CONTACT THE CITY OF CARLISLE WITH INFORMATION ON ANY SIGNIFICANT WORK BEING DONE OR POTENTIAL ISSUES AS THEY GENERALLY GET THE FIRST CALLS FROM NEIGHBORS WITH QUESTIONS OR CONCERNS. KEEPING THE CITY INFORMED OF PROGRESS OR SIGNIFICANT ISSUES CAN HELP YOU AVOID POTENTIAL CONFLICTS OR ISSUES WITH SURROUNDING PROPERTY OWNERS.
8. A POST-CONSTRUCTION WALK-THRU IS REQUIRED BY CITY STAFF AND/OR THE CITY'S DESIGNATED ENGINEER. ALL ENGINEERING REVIEW FEES FOR THE WALK-THRU AND FOLLOW-UP CORRESPONDENCE MUST BE PAID FOR BY THE OWNER PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT.
9. A KNOX BOX IS REQUIRED BY THE FIRE DEPARTMENT AND SHALL BE OBTAINED BY THE OWNER.



1 ENLARGEMENT #1
1"=10'

FILE: N:\CADD\2023\202306\20230604_PDM METALS BUILDING #2.dwg
 FILE DATE: 10/17/2023 11:24 AM
 COMMENTS: ENG
 PLOTTED BY: BOW, STEWART, ETC.

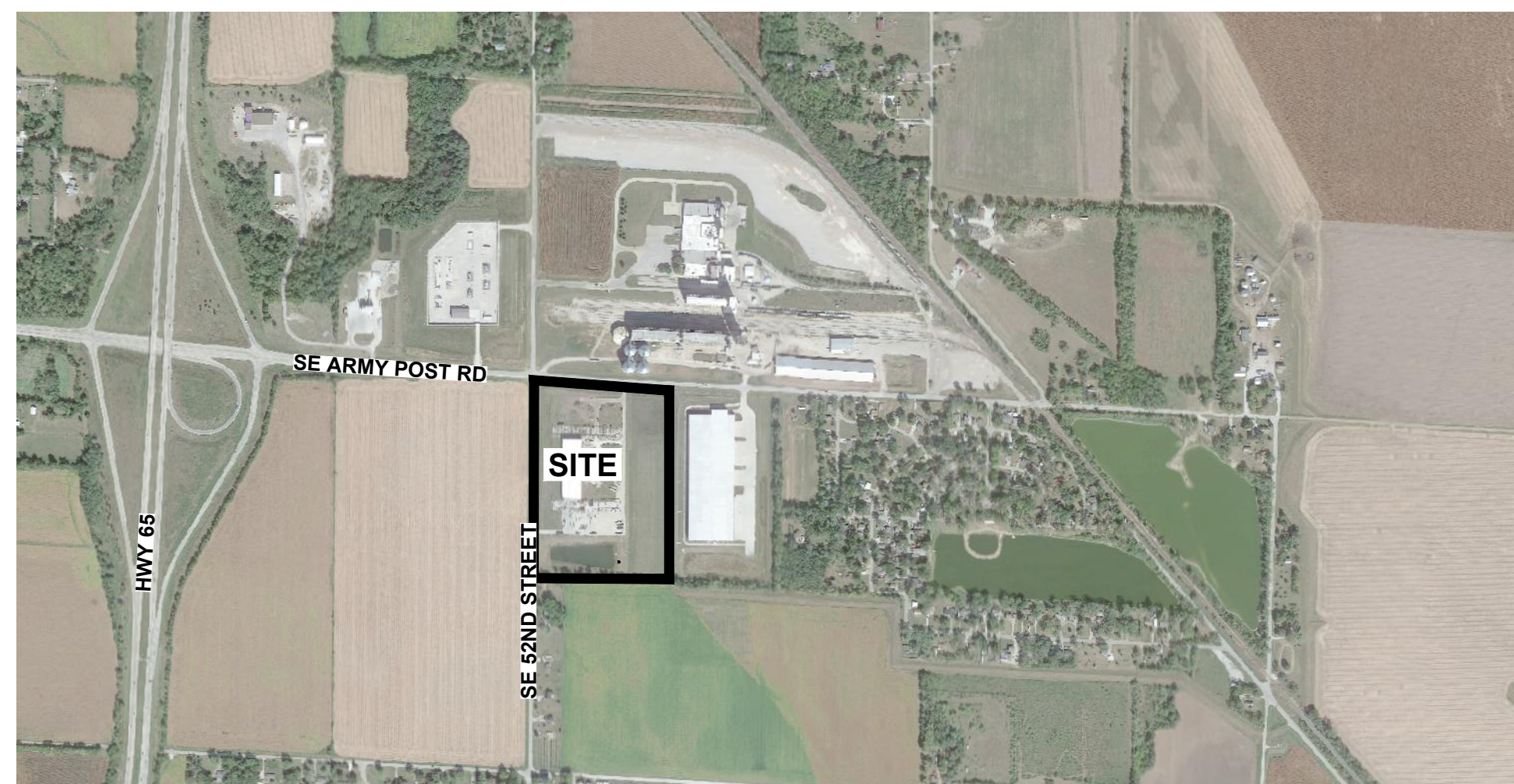
<p>CIVIL DESIGN ADVANTAGE ENGINEER</p>	<p>4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: (515) 369-4400</p>
<p>PDM METALS BUILDING # 2</p> <p>GRADING AND UTILITY PLAN</p>	<p>5325 SE 64TH AVENUE CARLISLE, IOWA</p>
<p>DATE: 10/11/2023</p> <p>SHEET NUMBER: C3.2</p> <p>2308.566</p>	<p>DATE: 10/11/2023</p> <p>SHEET NUMBER: C3.2</p> <p>2308.566</p>

PDM METALS BUILDING #2

EROSION AND SEDIMENT CONTROL PLAN

VICINITY MAP

NOT TO SCALE



CARLISLE, IOWA

STABILIZATION QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	2,891
2	SEEDING, FERTILIZING, AND MULCHING	AC	2.82
3	CONCRETE WASHOUT PIT	EA	1

NOTES:

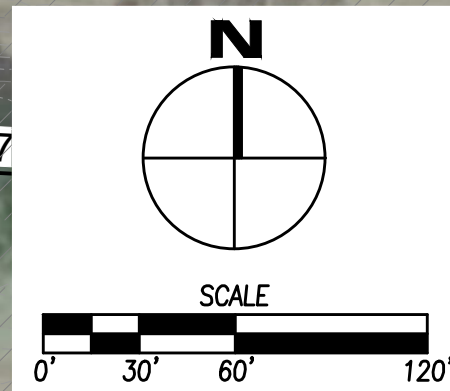
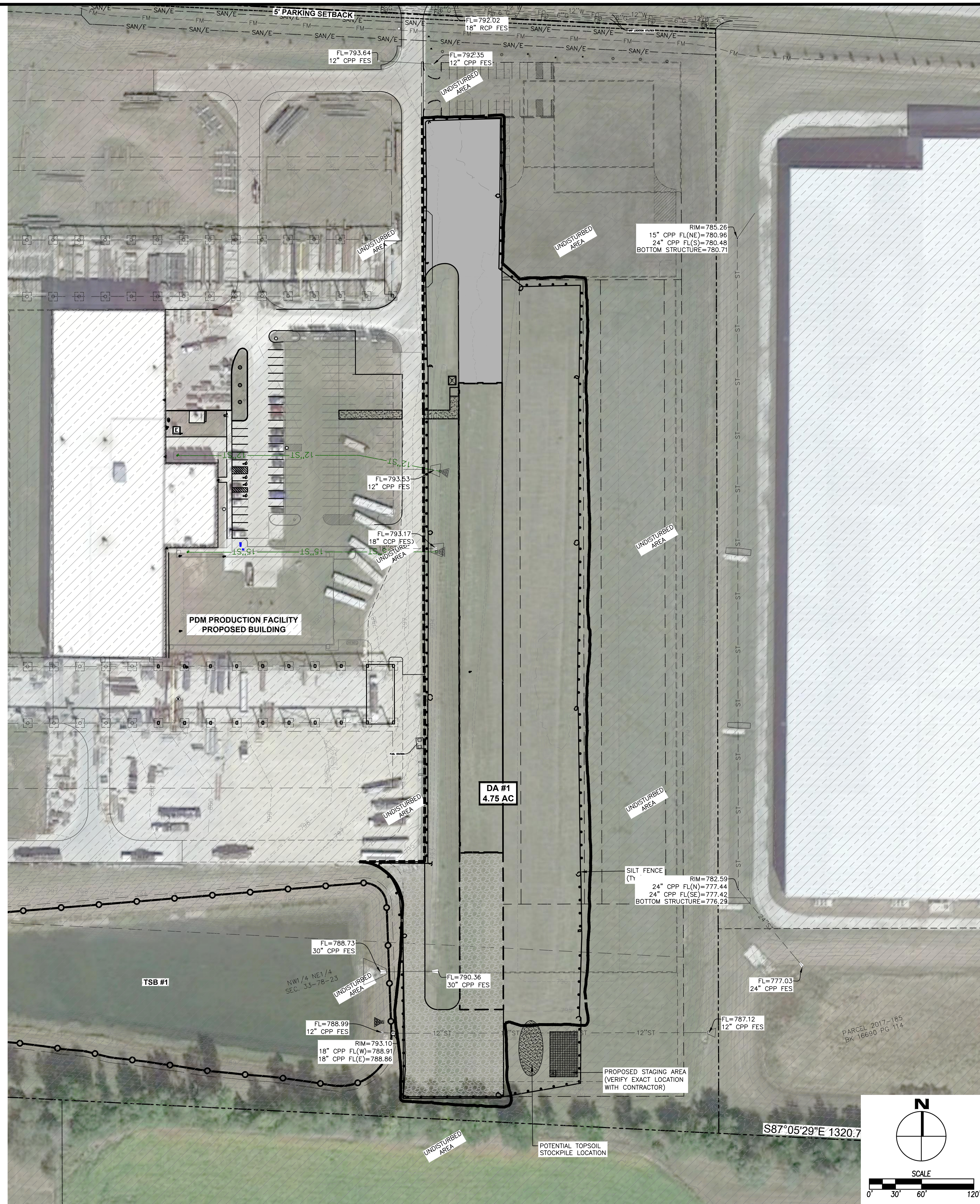
- IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENT.
- DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- STORM SEWERS AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAWCUTTING AND CONCRETE GRINDING.

DISCHARGE POINT SUMMARY

DISCHARGE POINT #1 TO AN UNNAMED TRIBUTARY OF NORTH RIVER +4,500 FT	1.74 ACRES
TOTAL AREA DISTURBED TO DISCHARGE POINT	16,200 CU FT
STORAGE VOLUME REQUIRED (4.5 ACRES*3600 CU FT)	
VOLUME PROVIDED IN SILT FENCE (2,891 LF @ 4.5 CU FT/LF OF FENCE)	13,009 CU FT
VOLUME PROVIDED IN TSB	184,912 CU FT
TOTAL VOLUME PROVIDED	197,921 CU FT

SWPPP LEGEND

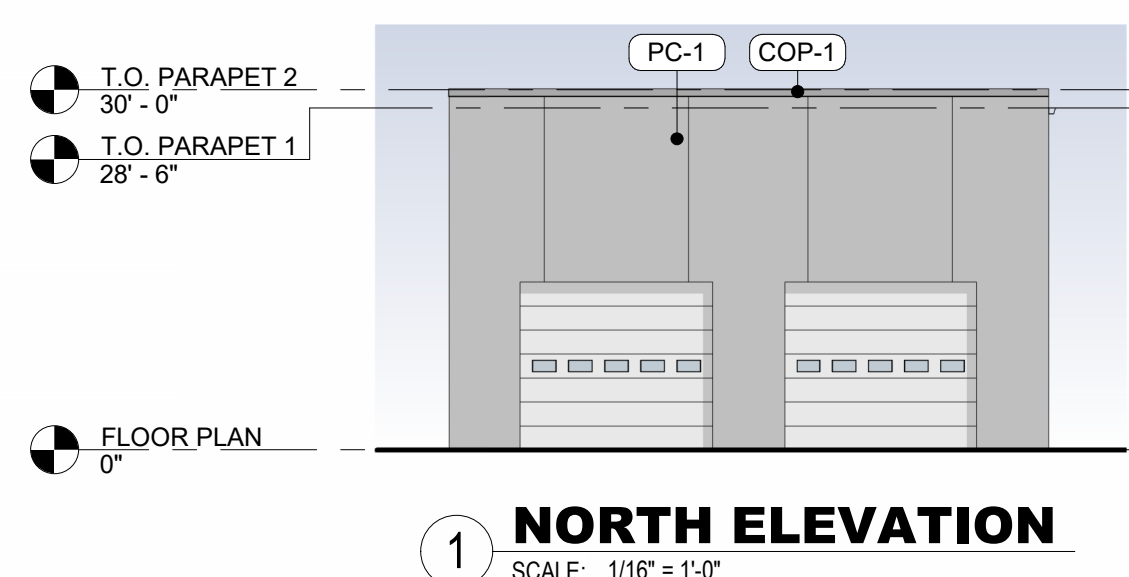
DRAINAGE ARROW		AREA TO BE SEEDED	
GRADING LIMITS		STRAW MAT	
FILTER SOCK		UNDISTURBED AREA	
SILT FENCE		RIP-RAP	
INLET PROTECTION		GRAVEL ENTRANCE	
PORTABLE RESTROOM		STAGING AREA	
CONCRETE WASHOUT PIT		TEMPORARY SEDIMENT BASIN	



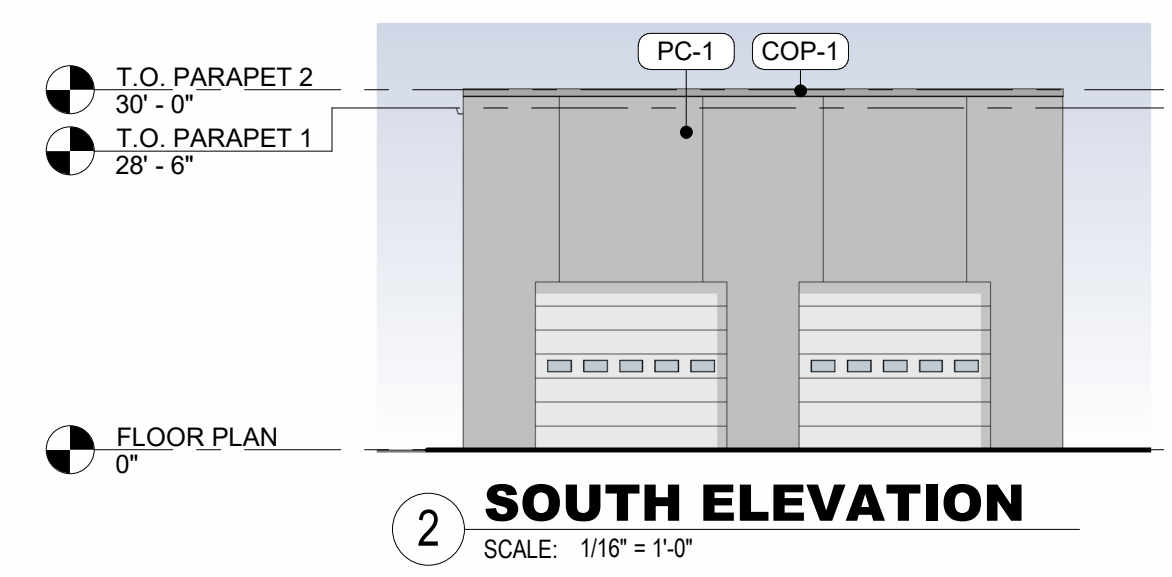
FILE: I:\CADD\2023\01\23\2023_01_23_11:24 AM COMMENT: ENG
 FILE DATE: 10/11/2023 DATE PLOTTED: 10/11/2023 11:24 AM
 PLOTTED BY: BOB STEWART TECH

DATE: _____ REVISIONS: _____ 4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: (515) 369-4400	DRAFTED: _____ ENGINEER: _____	 CIVIL DESIGN ADVANTAGE	PDM METALS BUILDING # 2 EROSION AND SEDIMENT CONTROL PLAN CARLISLE, IOWA
DATE: 10/11/2023 SHEET NUMBER:		C4.1 2308.566	

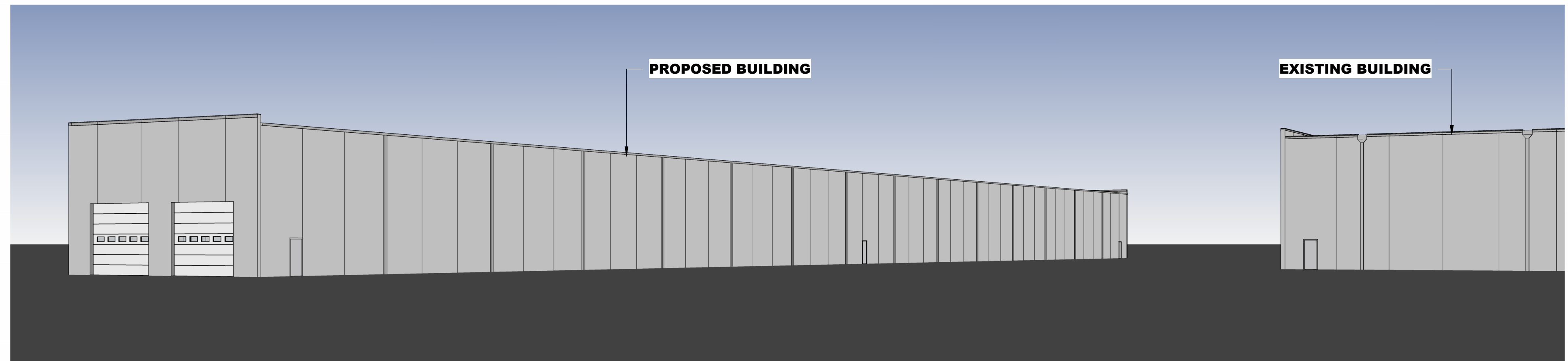
EXTERIOR MATERIAL LEGEND	
MAT. LABEL	MATERIAL DESCRIPTION
COP-1	PRE-FINISHED METAL COPING; COLOR: MATCH ADJACENT MATERIAL
PC-1	PRECAST CONCRETE PANEL; SMOOTH FINISH



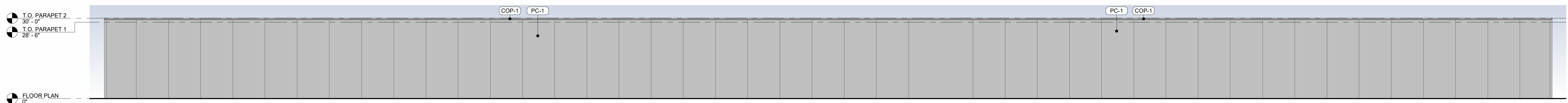
1 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



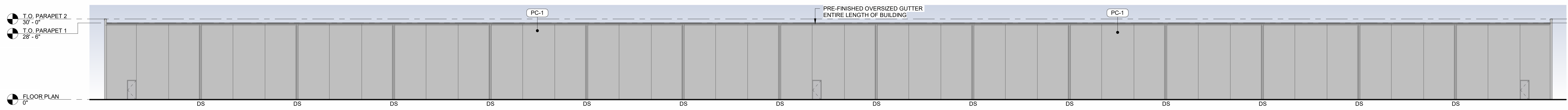
2 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



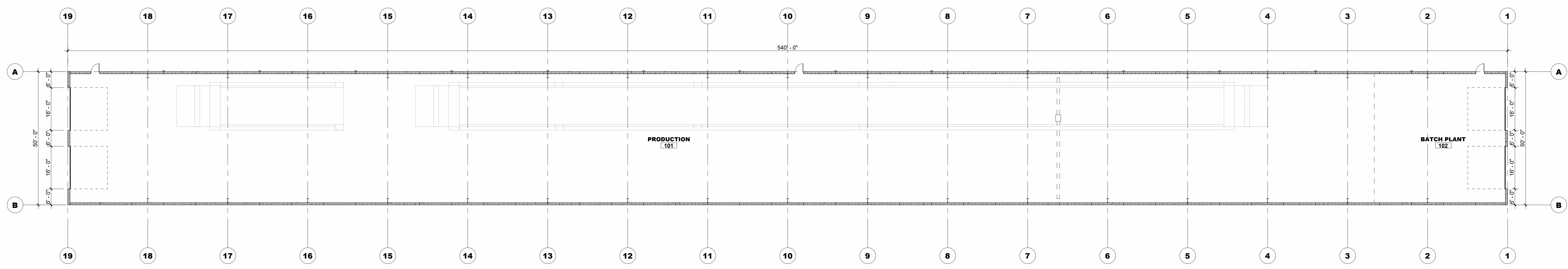
6 NORTHWEST PERSPECTIVE
SCALE:



3 EAST ELEVATION
SCALE: 1/16" = 1'-0"



4 WEST ELEVATION
SCALE: 1/16" = 1'-0"



5 FLOOR PLAN
SCALE: 1/16" = 1'-0"
NORTH



This drawing has been prepared by the Architect, or under the Architect's direct supervision. This drawing is provided as an instrument of service by the Designer / Architect and is intended for use on this project only. Any reproduction, use, or disclosure of information contained herein without the prior written consent of the Architect is strictly prohibited. © Copyright 2023 by Simonson & Associates Architects, L.L.C.

PDM PRODUCTION & BATCH PLANT

6425 SE 52ND STREET
CARLISLE, IA
10/05/2023

24"x36" SHEET (FULL SIZE)
SCALE IS AS NOTED
12"x18" SHEET (HALF SIZE)
SCALE IS ONE-HALF OF WHAT IS NOTED
OTHER SHEET SIZES NOT TO SCALE
SAA JOB #: 18054B



DATE: October 13, 2023

TO: Deven Markley
City Administrator, City of Carlisle
100 N. 1st Street
Carlisle, IA 50047

RE: CTI Ready Mix (2023) – Site Plan Review
Project No. 7023.051
City of Carlisle, Iowa (City)

FOX Strand has completed the first review for the CTI Ready Mix Site Plan dated October 5, 2023. Please address the following comments:

General Comments:

1. There has been a significant amount of storage/materials added to the NE corner of the site that was NOT included in the original site plan. This area should be delineated as gravel on the site plan with areas added to the open space calculation on the title sheet to better account for the gravel area at the site.
2. Please be prepared to discuss what looks to be stored aggregates and/or chunks of concrete in the NE corner of the site. IF these materials are stored to be crushed on-site, a special use permit must be granted by the City as concrete/aggregate crushing is an unclassified use per 168.02 of the Carlisle Code, requiring said permit.
3. Please be prepared to discuss the long term plan for the gravel surfacing area. Will this be paved in the future? What will the area be used for? The following Code sections may apply:
 - a. Per 165.06, 5, C, 3 (Off-Street Parking and Loading):
The minimum thickness for gravel parking or storage shall be 6 inches. Asphalt millings are encouraged in lieu of rock to provide dust control.
 - b. Per 165.06, 5, E, 2 (Outdoor Display of Goods and Storage):
Outdoor displays of goods and/or storage shall be placed on either ACC or PCC pavement. Gravel is not allowed.

Discussion is necessary whether gravel can be used based on the use of the area. The previously approved site plan required that the gravel areas be paved within 3 years of construction of the original plant.

 - c. Per 165.06, 5, F, 14:
Any storage area, garbage storage, junk storage or loading docks, and loading areas in any district shall be screened from public street view by a buffer.

Discussion is necessary whether screening is necessary along the east property line since this area will be visible from SE 64th Avenue. The berm that was screening the existing site is being removed for the proposed parking area.
4. Since the original site plan and storm water management plan accounted for the subject area to be paved/surfaced, no additional detention is necessary.

Deven Markley
CTI Ready Mix Site Plan (2023)
Page 2
October 13, 2023

Sheet C1.1 - Topographic Survey, Demolition Plan and Details

5. There is a wall shown in the NE corner of the site without any labeling. Please provide a label and indicate that this wall is removable and/or temporary as it resides partially in the side yard setback.

Sheet C2.1 - Dimension and Grading Plan

6. Please clarify what the surfacing will be in the median area between the new concrete and existing concrete area. It is our assumption this area is not intended to be grass.

Please provide a response letter addressing all comments from this review letter and/or state what was modified to address comments.

Site Plan Review Schedule

Planning & Zoning: October 16, 2023 at 7 P.M. at Carlisle City Hall

Council Meeting: October 23, 2023 at 6:30 P.M. at Carlisle City Hall

If you have any questions or concerns, please contact Mitch Holtz at 515-233-0000. FOX Strand reserves the right to modify and/or add to these comments.

Sincerely,

FOX Strand



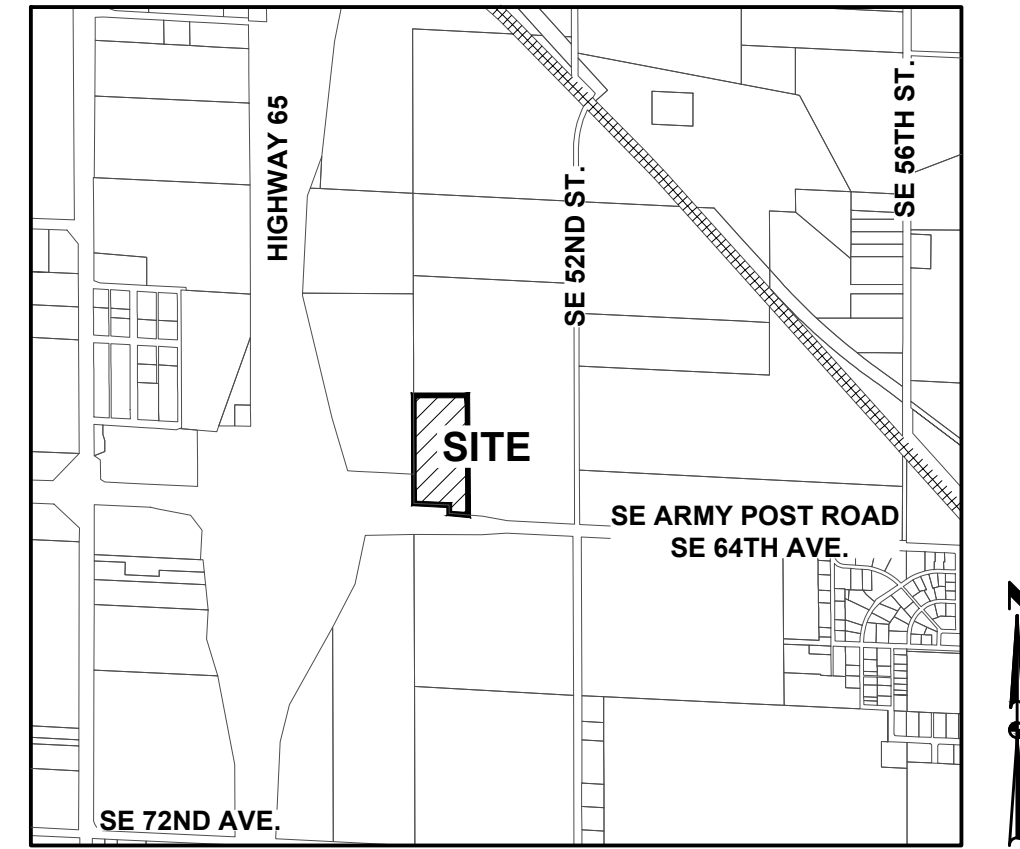
Mitch Holtz, P.E.

c: Erin Ollendike, Civil Design Advantage

SITE PLAN FOR: CTI READY MIX

CARLISLE, IOWA

VICINITY MAP NOT TO SCALE



CARLISLE, IOWA

OWNER / APPLICANT

CTI READY MIX INC.
1001 SE 37TH STREET
GRIMES, IA 50111
PH. (515) 252-1650

ENGINEER

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: ERIN OLLENDIJK
EMAIL: ERINO@CDA-END.COM
PH. (515) 369-4400
FX. (515) 369-4410

SURVEYOR

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: CHARLIE MCGLOTHLEN
EMAIL: CHARLIEM@CDA-ENG.COM
PH. (515) 369-4400

SUBMITTAL DATES

FIRST SUBMITTAL: 10/05/2023

LEGAL DESCRIPTION

A PART OF THE SOUTH 60 ACRES OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 28, TOWNSHIP 78 NORTH, RANGE 23 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF CARLISLE, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SOUTH 60 ACRES; THENCE NORTH 00°16'57" WEST ALONG THE WEST LINE OF SAID SOUTH 60 ACRES, 150.50 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 00°16'57" WEST ALONG SAID WEST LINE, 867.88 FEET; THENCE NORTH 89°43'03" EAST, 432.18 FEET; THENCE SOUTH 00°28'43" EAST, 964.44 FEET TO THE NORTH RIGHT OF WAY LINE OF EAST ARMY POST ROAD; THENCE NORTH 85°29'47" WEST ALONG SAID NORTH LINE, 153.43 FEET; THENCE CONTINUING NORTH 02°57'13" EAST ALONG SAID NORTH LINE, 67.70 FEET; THENCE CONTINUING NORTH 87°03'05" WEST ALONG SAID NORTH LINE, 286.87 FEET TO THE POINT OF BEGINNING AND CONTAINING 9.01 ACRES (392,266 SQUARE FEET). THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

ZONING

M-1 - LIGHT INDUSTRIAL DISTRICT
(CONCRETE READY MIX PLANT)

PROJECT SITE ADDRESS

5040 SE 64TH AVENUE

DEVELOPMENT SUMMARY

AREA: 9.01 ACRES (392,266 SF)

ZONING: LIGHT INDUSTRIAL DISTRICT
(CONCRETE READY MIX PLANT)

SETBACKS:

FRONT: 45 FEET
SIDE: 10 FEET
REAR: 45 FEET

OPEN SPACE CALCULATION:

TOTAL SITE:	=	9.01AC (392,266 SF.)
EXISTING BUILDING	=	2,880 SF
EXISTING GRAVEL	=	142,681 SF
PROPOSED GRAVEL	=	34,817 SF
EXISTING WASHOUT/DRY DOWN	=	2,356 SF
EXISTING PARKING	=	5,653 SF
EXISTING DRIVEWAYS	=	1,012 SF
PROPOSED PAVING	=	12,055 SF
OPEN SPACE PROVIDED	=	190,812 SF (48.60%)

PARKING:

TOTAL REQUIRED	=	4 (1 PER 1,000 SF OF BUILDING AND 1 SPACE FOR EACH OFFICE IN THE PRINCIPLE BUILDING)
TOTAL EXISTING	=	17 (1 ACCESSIBLE PARKING SPOT)

DATE OF SURVEY

07/29/2023

BENCHMARKS

- CITY OF DES MOINES BM#2275, 5/8" REBAR INSIDE 6" PVC PIPE W/ ALUMINUM COVER LOCATED @ THE SW CORNER OF E. ARMY POST ROAD & SE 45TH STREET. ELEVATION=842.70
- ARROW ON HYDRANT 100' (FEET) +/- EAST OF DOT ENTRANCE NORTH SIDE OF E. ARMY POST ROAD. ELEVATION=816.81

INDEX OF SHEETS

NO.	DESCRIPTION
C0.0	COVER SHEET
C1.1	TOPOGRAPHIC SURVEY, DEMOLITION PLAN AND DETAILS
C2.1	DIMENSION AND GRADING PLAN
L1.1	LANDSCAPE PLAN

GENERAL LEGEND

PROPOSED

PROPERTY BOUNDARY	
SECTION LINE	
CENTER LINE	
RIGHT OF WAY	
BUILDING SETBACK	
PERMANENT EASEMENT	
TEMPORARY EASEMENT	
TYPE SW-501 STORM INTAKE	
TYPE SW-502 STORM INTAKE	
TYPE SW-503 STORM INTAKE	
TYPE SW-505 STORM INTAKE	
TYPE SW-506 STORM INTAKE	
TYPE SW-512 STORM INTAKE	
TYPE SW-513 STORM INTAKE	
TYPE SW-401 STORM MANHOLE	
TYPE SW-402 STORM MANHOLE	
FLARED END SECTION	
TYPE SW-301 SANITARY MANHOLE	
STORM/SANITARY CLEANOUT	
WATER VALVE	
FIRE HYDRANT ASSEMBLY	
SIGN	
DETECTABLE WARNING PANEL	
WATER CURB STOP	
SANITARY SEWER	
SANITARY SERVICE	
STORM SEWER	
STORM SERVICE	
WATERMAIN WITH SIZE	
WATER SERVICE	
SAWCUT (FULL DEPTH)	
SILT FENCE	
USE AS CONSTRUCTED	(UAC)
MINIMUM PROTECTION ELEVATION	MPE

EXISTING

SANITARY MANHOLE	
WATER VALVE BOX	
FIRE HYDRANT	
WATER CURB STOP	
WELL	
STORM SEWER MANHOLE	
STORM SEWER SINGLE INTAKE	
STORM SEWER DOUBLE INTAKE	
FLARED END SECTION	
DECIDUOUS TREE	
CONIFEROUS TREE	
DECIDUOUS SHRUB	
CONIFEROUS SHRUB	
ELECTRIC POWER POLE	
GUY ANCHOR	
STREET LIGHT	
POWER POLE W/ TRANSFORMER	
UTILITY POLE W/ LIGHT	
ELECTRIC BOX	
ELECTRIC TRANSFORMER	
ELECTRIC MANHOLE OR VAULT	
TRAFFIC SIGN	
TELEPHONE JUNCTION BOX	
TELEPHONE MANHOLE/VAULT	
TELEPHONE POLE	
GAS VALVE BOX	
CABLE TV JUNCTION BOX	
CABLE TV MANHOLE/VAULT	
MAIL BOX	
BENCHMARK	
SOIL BORING	
UNDERGROUND TV CABLE	
GAS MAIN	
FIBER OPTIC	
UNDERGROUND TELEPHONE	
OVERHEAD ELECTRIC	
UNDERGROUND ELECTRIC	
FIELD TILE	
SANITARY SEWER W/ SIZE	
STORM SEWER W/ SIZE	
WATER MAIN W/ SIZE	



UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.



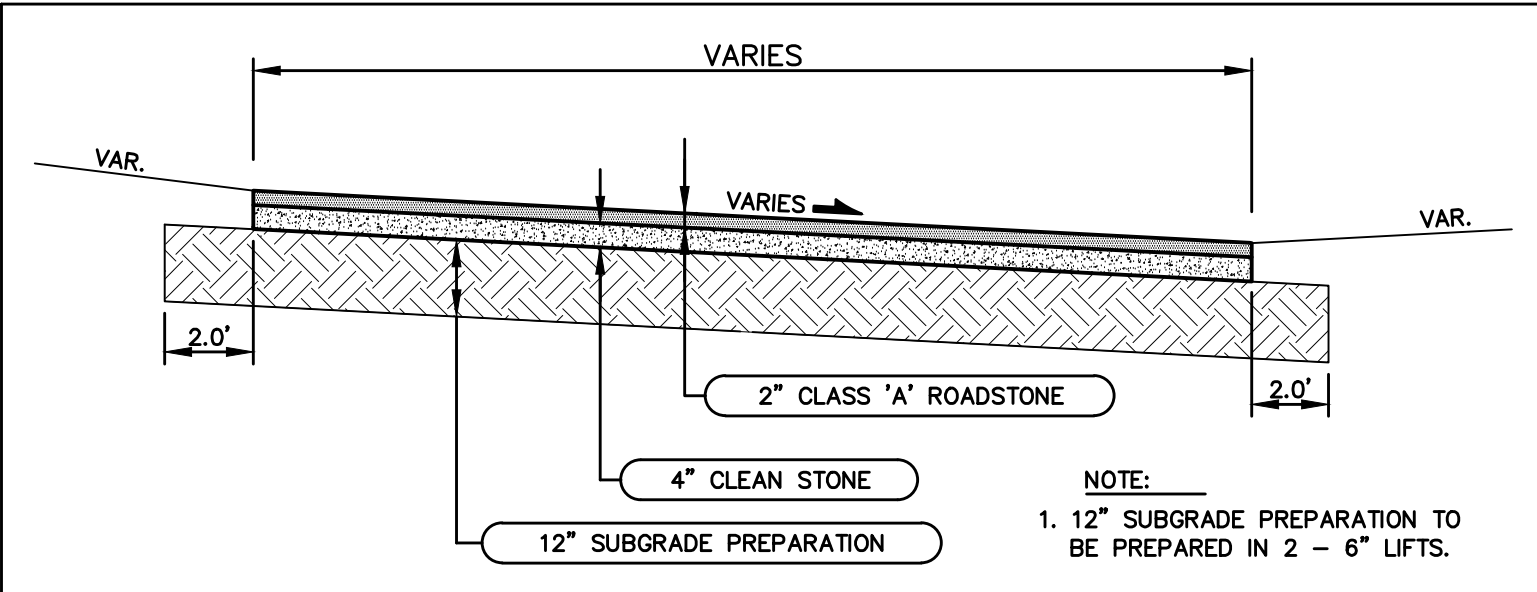
ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

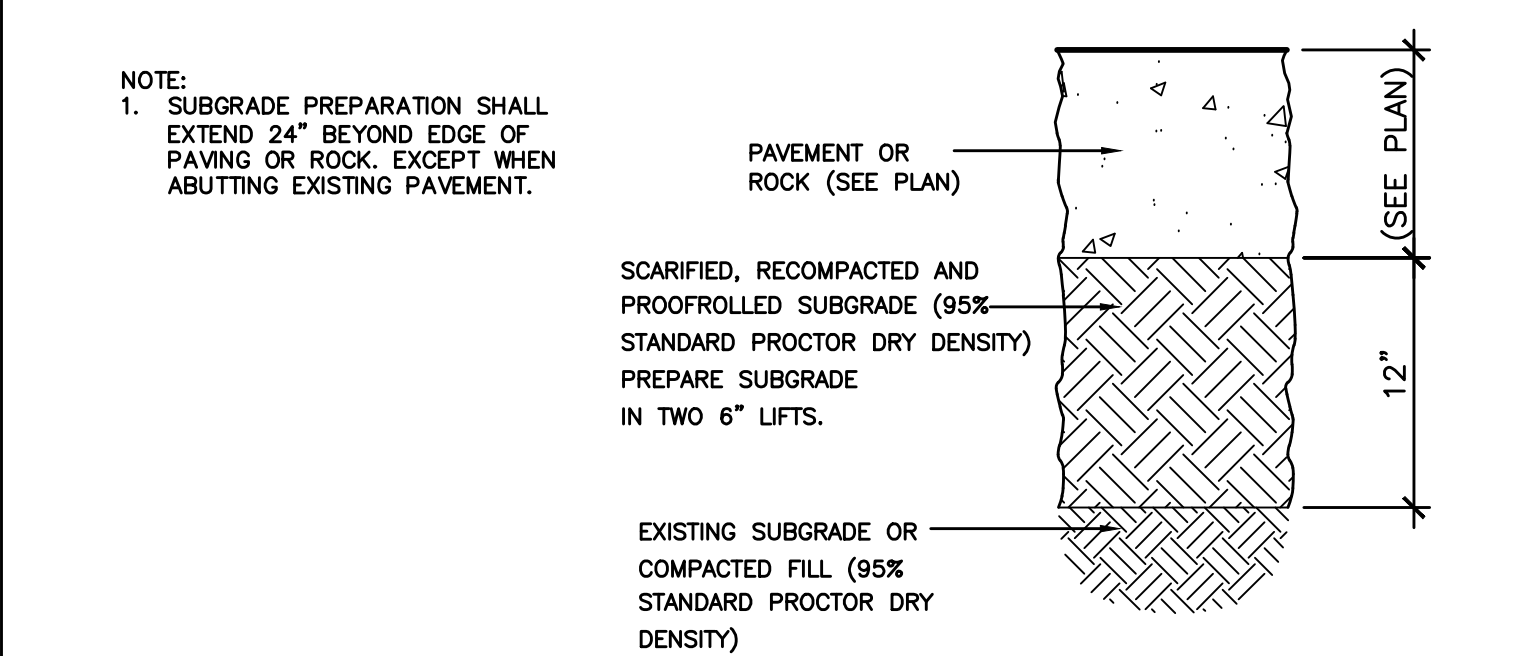
PRELIMINARY
NOT FOR CONSTRUCTION

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

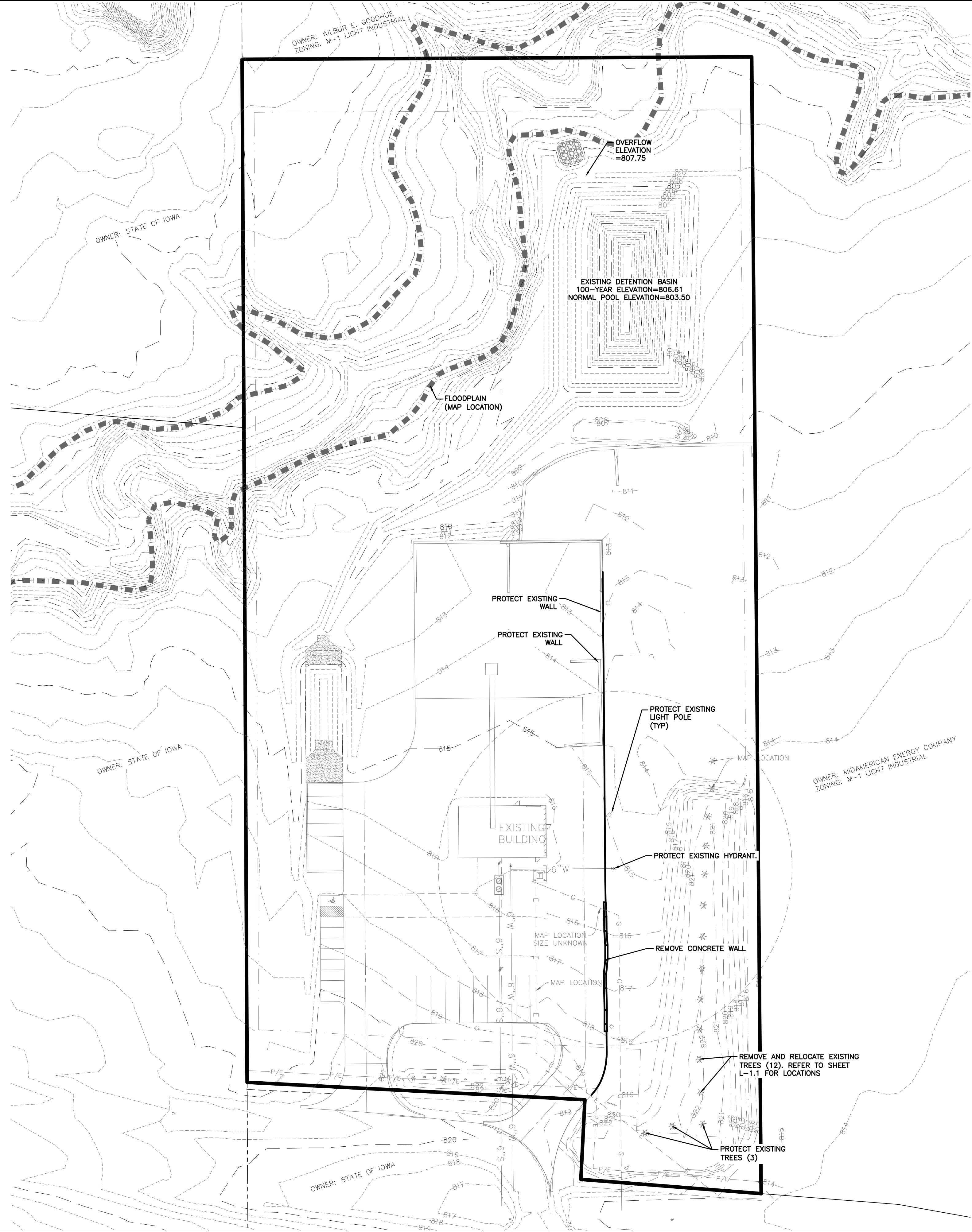
DATE: _____
LICENSE NUMBER: 16926
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023
PAGES OR SHEETS COVERED BY THIS SEAL:
SHEETS C0.0, C1.1, C2.1 AND L1.1



TYPICAL GRAVEL SECTION
NOT TO SCALE



12" SUBGRADE PREPARATION
NOT TO SCALE



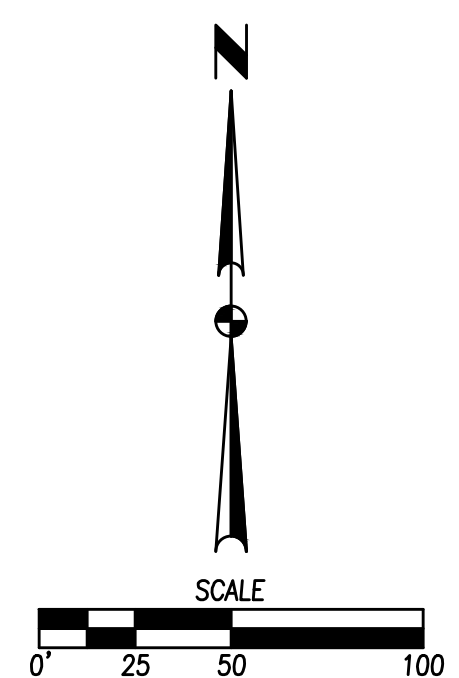
TRAFFIC CONTROL NOTES

1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

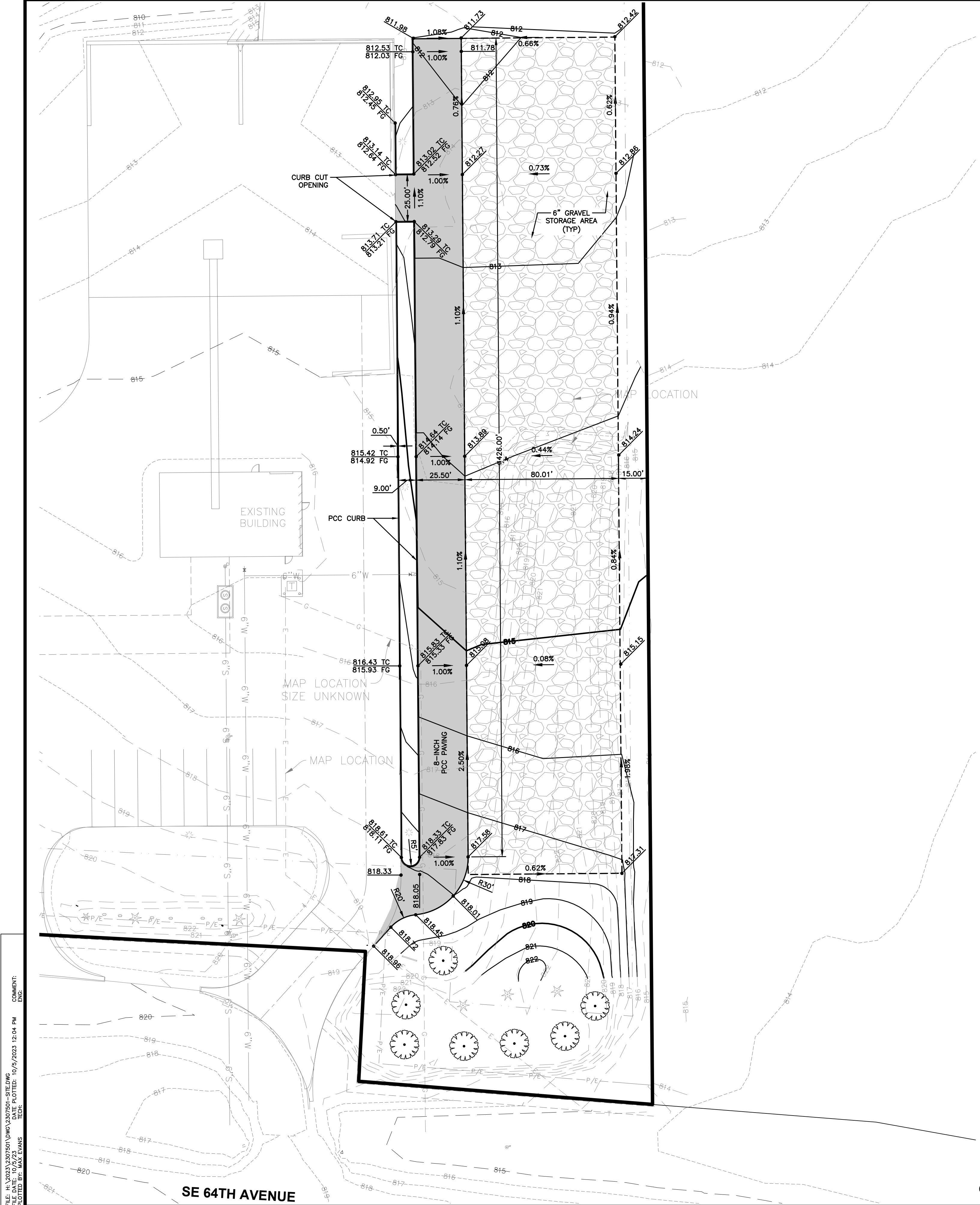
DEMOLITION NOTES

1. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
2. PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
 - A. CITY
 - B. APPROPRIATE UTILITY COMPANIES
 - C. OWNER
 - D. CIVIL DESIGN ADVANTAGE
3. DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
4. PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
5. BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
6. FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
7. DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
8. ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
9. CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

FILE: H:\2023\2307501\DWG\2307501-SITE.DWG
 COMMENT: 10/25/2023 12:04 PM
 PLOTTED BY: MAX EVANS
 TECH



DATE: 10/25/2023
 REVISIONS:
 FIRST SUBMITTAL
 TECH: MAE
 ENGINEER: EKO
 4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400
CTI READY MIX
 TOPOGRAPHIC SURVEY, DEMOLITION PLAN AND DETAILS
 CARLISLE, IOWA
C1.1
 2307.501



GENERAL NOTES

1. THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
5. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
6. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
7. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
8. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
9. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
10. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
11. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
12. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
13. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
14. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
15. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
16. ALL SCOUR STOP SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR ACCORDING TO SCOUR STOP PRODUCT SPECIFICATIONS.
17. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
18. THE OWNER OF THE LOT IS RESPONSIBLE FOR THE COSTS ASSOCIATED WITH PLACING FUTURE SIDEWALKS. THE SIDEWALKS SHALL BE INSTALLED WITHIN 3 MONTHS OF NOTIFICATION FROM THE CITY.
19. TRASH IS TO BE INTERNALLY HANDLED. ANY OUTDOOR TRASH DUMPSTERS SHALL BE PLACED IN AN ENCLOSURE CONSTRUCTED OF MATERIALS APPROVED BY THE CITY.
20. DUST CONTROL ON GRAVEL PORTIONS OF THE SITE SHALL BE COMPLETED USING WATER OR CALCIUM CHLORIDE AS NEEDED BASED ON COMPLAINTS TO THE CITY AND WEATHER CONDITIONS.
21. TRANSFORMER WILL HAVE 3' OF 2" ROCK ALL AROUND UNIT FOR OIL CONTAINMENT.
22. MATCH EXISTING SAW CUTS FOR ADDITIONAL PAVEMENT.

PAVEMENT THICKNESS

1. DRIVEWAYS 8" P.C.C.

CITY OF CARLISLE GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF CARLISLE SUPPLEMENTAL SPECIFICATIONS.
2. A PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING WITH THE CITY OF CARLISLE. GENERAL CONTRACTOR AND MAJOR SUBS SHALL BE PRESENT AT THE MEETING. THE CITY OF CARLISLE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK. PLEASE CONTACT THE FOLLOWING STAFF: TONY RHINEHART - PUBLIC WORKS SUPERINTENDENT - 515-249-2055
3. ALL PERMITS (IDNR, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
4. ALL UTILITY CONTRACTORS AND/OR OWNERS SHALL BE RESPONSIBLE TO PROVIDE THE CITY OF CARLISLE WITH "AS-BUILT" DRAWINGS OF ALL PUBLIC IMPROVEMENTS WHERE NECESSARY.
5. A SIGNAGE LIST SHOULD BE SUBMITTED BY THE CONTRACTOR TO THE CITY OF CARLISLE. PUBLIC WORKS WILL VERIFY THE LIST AND ORDER THE SIGNS FROM A LIST OF APPROVED VENDORS. THE CONTRACTOR WILL THEN BE RESPONSIBLE FOR PICKING UP THE SIGNS ONCE DELIVERED TO PUBLIC WORKS AND PLACING THEM IN THE LOCATIONS IDENTIFIED ON THE SIGNAGE PLAN. THE COST OF SIGNS AND RELATED HARDWARE WILL BE BILLED TO THE CONTRACTOR.
6. ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS.
7. WE ENCOURAGE YOU TO CONTACT THE CITY OF CARLISLE WITH INFORMATION ON ANY SIGNIFICANT WORK BEING DONE OR POTENTIAL ISSUES AS THEY GENERALLY GET THE FIRST CALLS FROM NEIGHBORS WITH QUESTIONS OR CONCERNS. KEEPING THE CITY INFORMED OF PROGRESS OR SIGNIFICANT ISSUES CAN HELP YOU AVOID POTENTIAL CONFLICTS OR ISSUES WITH SURROUNDING PROPERTY OWNERS.
8. A POST-CONSTRUCTION WALK-THRU IS REQUIRED BY CITY STAFF AND/OR THE CITY'S DESIGNATED ENGINEER. ALL ENGINEERING REVIEW FEES FOR THE WALK-THRU AND FOLLOW-UP CORRESPONDENCE MUST BE PAID FOR BY THE OWNER PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT.
9. A KNOX BOX IS REQUIRED BY THE FIRE DEPARTMENT AND SHALL BE OBTAINED BY THE OWNER.

GRADING NOTES

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND REAPPLIED AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAIL ROADS TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS: MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE. DEPTH: LONGITUDINAL 7/3, TRANSVERSE 7/4.
13. THE GRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM SEWER SYSTEM (IF APPLICABLE), AND THE INSTALLATION OF THE ORIFICE PLATE (IF APPLICABLE) SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/ INSTALLED AS SOON AS PRACTICAL.

UTILITY NOTES

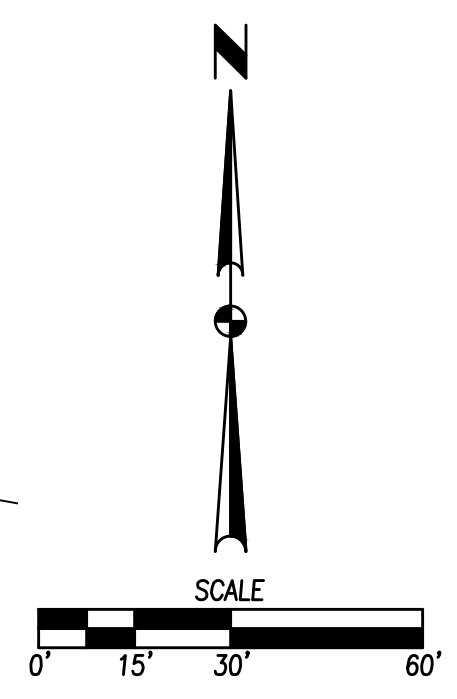
1. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
2. FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
3. PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
4. BACKFILL ALL UTILITIES ACCORDING TO THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMANS.
5. ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
6. ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
7. ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
8. 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
9. MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
10. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
11. ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS.
12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
13. PRIVATE UTILITIES TO BE INSTALLED PER THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
14. OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
15. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
16. ROOF DRAINS WILL DISCHARGE THROUGH A GUTTER AND DOWN SPOUT DIRECTLY ON TO THE GRAVEL/PCC. CONTRACTOR SHALL PROVIDE SPLASH GUARD AT END OF DOWNSPOUT.

CITY OF CARLISLE WATER MAIN NOTES

1. ALL FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURION 250 (3-WAY A-423), 6" MJ SHOE, 2-1/2" HOSE NOZZLE, 4-1/2" STEAMER NOZZLE, NPT THREADS, PENTAGON OPERATING NUT, CHAIN ON CAP, OPEN LEFT, AND FACTORY PAINTED RED. THE MINIMUM HYDRANT LEAD SHALL BE 2-FEET.
2. ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF CARLISLE WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
3. A TRACER WIRE RECEPTACLE SHALL BE INSTALLED AT EACH HYDRANT (FLUSH MOUNT VALVCO OR APPROVED EQUAL).
4. TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN.
5. ALL VALVES SHALL BE RESILIENT WEDGE GATE VALVES.
6. WATER SERVICE SHALL BE 1-INCH MINIMUM TYPE K COPPER.
7. THE CONTRACTOR IS RESPONSIBLE FOR PRESSURE TESTING, CHLORINATION, AND BACTERIA TEST.

FILE: H:\2023\2307501\DWG\2307501-SITE.DWG
 COMMENT: ENR
 PLOTTED BY: MAX EVANS
 DATE: 10/25/2023 12:04 PM

SE 64TH AVENUE



CTI READY MIX
 DIMENSION AND GRADING PLAN

C2.1
 2307.501

CARLISLE, IOWA

ENGINEER: EKO

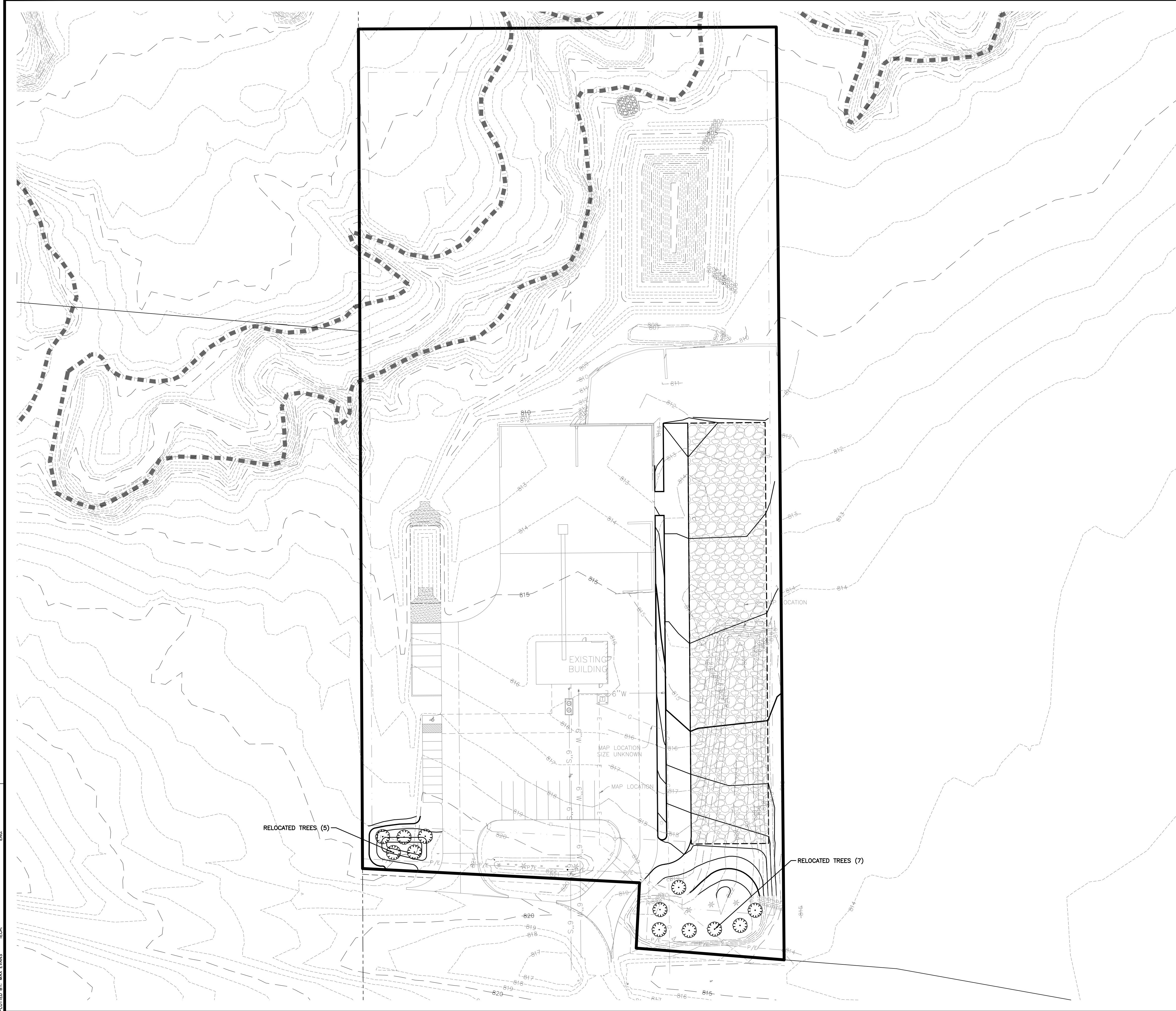
TECH: MAE

FIRST SUBMITTAL

10/05/2023

4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400

FILE: H:\2023\2307501\0\0\2307501-SITE.DWG
 COMMENT: 10/25/2023 12:04 PM
 PLOTTED BY: MAE, EVANS
 TECH: EKO



LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SEED (TYPE 1) OR SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
6. BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
7. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
8. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
9. ALL EDGING SHALL BE SPADE CUT EDGE.
10. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
11. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
12. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
13. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.
14. THE SITE WILL BE SEEDED.

LANDSCAPE REQUIREMENTS

- 2 TREES, OR 1 TREE PER 1,500 SF OF OPEN SPACE, WHICHEVER IS GREATER.
 - 6 SHRUBS, OR 1 SHRUB PER 1,000 SF OF REQUIRED OPEN SPACE, WHICHEVER IS GREATER.
- | | |
|----------------------|----|
| OPEN SPACE REQUIRED: | 0 |
| TREES REQUIRED: | 2 |
| SHRUBS REQUIRED: | 6 |
| TREES PROVIDED: | 19 |
| SHRUBS PROVIDED: | 6 |

DATE		REVISIONS		FIRST SUBMITTAL	10/05/2023
<p>CTI READY MIX LANDSCAPE PLAN</p> <p>CIVIL DESIGN ADVANTAGE CARLISLE, IOWA</p> <p>4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: (515) 369-4400</p> <p>ENGINEER: EKO TECH: MAE</p>					
<p>1.1</p> <p>2307.501</p>					