

City of Carlisle, Iowa
Planning and Zoning Commission
Regular Meeting
May 17, 2021
7:00 P.M.

Old Carlisle City Council Chambers – 195 N. 1st Street

Join Zoom Meeting - <https://us02web.zoom.us/j/9951930479>

Meeting ID: 995 193 0479

One tap mobile – Call 1-929-205-6099, enter 995-193-0479# when prompted

We encourage all videoconferencing or calling in to let staff know who you are for the record and then mute your microphone or phone until you would like to speak to provide a better overall experience.

Call to order

Determine quorum

New Business and Action Items

1. Discussion and Possible Action on Recommendation for Public Improvements for Carlisle Commons
2. Discussion and Possible Action on Recommendation for Updated Preliminary Plat and Site Plan for Carlisle Commons

Administrator/Engineer/Commission Reports

Adjournment

**** PLEASE NOTE THAT THIS AGENDA MAY CHANGE UP TO 24 HOURS PRIOR TO THE MEETING ****



39090030041

39090030010

Bluestem Dr

Hwy 5
Scotch Ridge Rd

Scotch Ridge Rd
5 frontage rd

School St

School St

39380000372

5 frontage rd

5

Hwy 5
Hwy 5

39090020011

39090020031

Bluestem Dr

39720030669

Scotch Ridge Rd

39380000382

39380000390

39720030671

39720030670

39091013000

Cole St

39380000415

39380000420

39380000418

39090014000

Bellflower Dr

01000090220



May 12, 2021

Brad Kuehl

Bishop Engineering Company, Inc.
3501 104th Street
Des Moines, IA 50322

RE: **Carlisle Commons – Public Improvements**

Carlisle, Iowa

FOX Ref No: 8666-21A.250

Thank you for submitting your project for review. The City is committed to assisting you with the completion of this project. FOX Engineering and the City Staff have completed the second review for the Carlisle Commons Public Improvements dated May 10, 2021 and have the following comments:

General Notes (for P&Z/Council):

1. This plan is being submitted in concurrence with the Site Plan and Preliminary Plat for Carlisle Commons and is subject to comments on said plans.

General Comments

2. Please provide IDNR permits for review for the public water and sewer installations.
3. Is the 40-ft easement a “right of way”? It may be beneficial to label the area where the roadway and utilities are to be placed as “ingress/egress easement” to be consistent with the site plan and to not be confused with being “public right of way”.

Sheet C3.1 – Sanitary & Water Main:

4. Please consider providing a vertical curve for the roadway profile near STA 1+70 and STA 0+50.
5. Please move the hydrant to the high point of the profile near STA 1+75, or change the water main profile so that the high point is at the currently shown hydrant at STA 2+70.
6. Please lower the 8” connection invert to 860.49 to eliminate the need for a drop structure.
7. **Discussion is necessary** regarding the water main extension to Lot 1, Lot 28 & Lot 30. Having an 6-inch dead-end water main with a water service on it is likely to create water quality issues for these lots. The City recommends one of the following:
 - a. Extending the water main along the east side of the private drive to the north, directionally drilling under Bluestem Drive, and tapping the existing 12-inch water main on the north side of Bluestem Drive to prevent the dead-end water main issue.
 - b. Extending the water main along the east side of the private drive to the north far enough to serve Lot 1, then providing an easement in the rear yard of Lot 30 & 29 to connect to the 12-inch water near where it is currently shown.
8. Radial dimension locations are difficult to read at each manhole. Please move to provide more clarity.

Sheet C3.2 – Sanitary & Water Main:

9. Please move the water main that parallels the cul-de-sac paving to the north so that the water main ends at the hydrant (no bend). This will likely require a water main easement in the front yards of the lots north of the cul-de-sac street. In addition, this will eliminate the 8” cross, and in its place provide an 8”x8” tee.

-
10. Will there be storm sewer services to the lots? The Public Improvement plans show a storm sewer service to each lot, but nothing shown on the site plan (and storm sewer is not called out as public). Please revise the plan as necessary.

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

CONSTRUCTION DRAWING REVIEW SCHEDULE:

PLANNING & ZONING: May 17, 2021 at 7:00pm at the Carlisle City Hall

COUNCIL MEETING: May 24, 2021 at 6:30pm at the Carlisle City Hall

If you have any questions or concerns, please contact Mitch Holtz (515) 231-6005. The City reserves the right to modify or add to these comments.

FOX ENGINEERING ASSOCIATES, INC.



Mitch Holtz, P.E.

Copy to: Deven Markley, City Administrator

May 13, 2021

Brad Kuehl

Bishop Engineering Company, Inc.
3501 104th Street
Des Moines, IA 50322

RE: **Carlisle Commons – Preliminary Plat & Site Plan**

Carlisle, Iowa

FOX Ref No: 8666-21A.240

Thank you for submitting your project for review. The City is committed to assisting you with the completion of this project. FOX Engineering and the City Staff have completed the second review for the Carlisle Commons Site Plan dated May 10, 2021 and have the following comments:

General Notes (for P&Z/Council):

1. The subject parcel has previously been rezoned from R-1 Single Family Residential District to PUD Planned Unit Development.
2. The improvements shown within this plan will require work by the Scotch Ridge Road Contractors to finalize placement of the storm sewer outfall from subdivision detention area to Scotch Ridge Road right of way ditch. FOX has obtained a draft planset from McClure to provide to Bishop/Developer to reduce the efforts needed for the future Scotch Ridge Road contractor to modify the outfall storm sewer.
3. The developer has provided a parking exhibit showing where parking would be allowed after accounting for driveways.

General Comments

4. An NPDES Permit and SWPPP narrative will be required (in addition to the erosion control plan) prior to construction.
5. Please provide a geotechnical report for the subdivision that provides recommendations for pavement thickness and utility backfilling.
6. City building officials have yet to comment on the site plan regarding building code. Further comments may be forthcoming.
7. Please provide an anticipated schedule for this development (from construction of site improvements to final house being constructed).
8. Please provide a signage plan on the site plan.
9. Please provide a note (on the cover) regarding HOA responsibilities. If covenants are available, please provide.
10. Please provide a mailbox cluster location once feedback is obtained from the Postmaster.

Sheet C1.1 – Site Survey / Removals:

11. Please include City contact information for water/sewer utilities.

Sheet C3.1 – Grading Plan:

12. Please provide additional details on the plans for the sidewalk ADA ramp across Bluestem Drive.
13. Please review the grading in the rear of Lots 10-18. It appears that a swale and flowage easement may be necessary to convey storm water runoff across multiple lots. Please review and revise the grading plan and/or easement layout accordingly.
14. Please show erosion control at the storm sewer outfalls on this sheet.

Sheet C4.1 – Utility Plan:

15. Will there be storm sewer services to the lots? The Public Improvement plan details show a storm sewer service to each lot, but nothing shown on these plans (and storm sewer is not called out as public). Please revise the plan as necessary.
16. Please see the attached markup of sheet C4.1. Please provide an additional structure (or move the proposed manhole) at the property line and 15" storm sewer at 1% (to the ditch) that the future contractor can remove/replace. If the Developer has another idea that will be compatible with the future Scotch Ridge Road project, please present for consideration.
17. Please dimension the width of the overflow for the detention areas.

Parking Exhibit:

18. Please provide a typical dimension of the cars being shown on this plan.
19. Please eliminate cars in the cul-de-sac bulb (fire access).
20. Please eliminate the car parking in front of the driveway on Lot 2.

Landscaping:

21. Please clarify how the site will be seeded/stabilized. I couldn't find this anywhere on the site plan.
22. No trees/shrubs are being provided as part of the site plan. Please review 165.06, 5, F of the Code, specifically regarding tree/shrub count per open space area. In addition, FOX recommends providing landscaping along Bluestem Drive similar to what the Danamere Townhomes did to help blend the sites. A landscaping plan shall provide all information necessary per Chapter 165.06.

Building Elevations

23. It is highly recommended that you bring detailed building materials and color schemes with you to P & Z and Council for discussion.

Lighting Plan

24. Please show the location, size and type of all proposed outdoor lighting. Lighting Plan shall meet 165.06, 5, I of the Carlisle Code.

Storm Water Management Plan

25. FOX has yet to review the 2nd submittal of the storm water management plan. Further comments, if any, will be forthcoming under separate cover

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

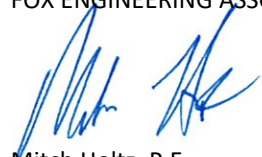
SITE PLAN & PRELIMINARY PLAT REVIEW SCHEDULE:

PLANNING & ZONING: May 17, 2021 at 7:00pm at the Carlisle City Hall

COUNCIL MEETING: May 24, 2021 at 6:30pm at the Carlisle City Hall

If you have any questions or concerns, please contact Mitch Holtz (515) 231-6005. The City reserves the right to modify or add to these comments.

FOX ENGINEERING ASSOCIATES, INC.



Mitch Holtz, P.E.

Attachments: Sheet C4.1 markup by FOX

Copy to: Deven Markley, City Administrator

CARLISLE COMMONS PRELIMINARY PLAT / SITE PLAN

SHEET INDEX:

- C0.1 COVER SHEET
- C1.1 SITE SURVEY / REMOVALS
- C2.1 PRELIMINARY PLAT / LAYOUT
- C3.1 GRADING PLAN
- C4.1 UTILITY PLAN
- C5.1 LANDSCAPE PLAN
- C7.1 SWPPP

PROPERTY DESCRIPTION:

(INSTRUMENT # 2017-07410)
A PARCEL OF LAND LOCATED IN AND FORMING A PART OF PARCEL "Y" ALL IN THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 77 NORTH, RANGE 23 WEST OF THE 5TH P.M., WARREN COUNTY, IOWA.

CONTAINING 4.55 ACRES, SUBJECT TO ALL EASEMENTS, RESTRICTIONS AND COVENANTS OF RECORD.

ADDRESS:
1 SCOTCHRIDGE ROAD

OWNER / PREPARED FOR:
PLS CUSTOM INTERIOR AND EXTERIOR LLC
3040 GATEWAY DRIVE
CARLISLE, IOWA 50047
RICHARD BROWN
PH: (515) 210-6206

ZONING:
PUD (PLANNED UNIT DEVELOPMENT)

BULK REGULATIONS:
DENSITY: 30 LOTS FOR 4.55 AC = 6.6 DU/AC

MAXIMUM BUILDING HEIGHT: 35 FEET
MAXIMUM NUMBER OF STORIES: 2-1/2
MINIMUM LOT AREA: 3,000 SF
MINIMUM LOT WIDTH: 50 FEET

SETBACKS:
30' SCOTCH RIDGE ROAD
30' BLUESTEM - ORIGINAL RIGHT-OF-WAY
25' EDGE OF PRIVATE DRIVE - FRONT
15' EDGE OF PRIVATE DRIVE - SIDE
12' REAR YARD OR PUD PERIMETER, NOT ROW
5' SIDE YARD (10' MIN BETWEEN STRUCTURES)

OPENSOURCE:

SITE AREA = 4.55 ACRES (198,198 SF)
REQUIRED OPENSOURCE (20%) = 39,640 SF
ASSUMED IMPERVIOUS (53%) = 105,500 SF
ASSUMED OPENSOURCE (47%) = 92,698 SF

STREET AND PARKING:

26' PRIVATE STREET WITH PARKING ON ONE SIDE
2 OFFSTREET SPACES PER LOT
5' SIDEWALK ON ONE SIDE

HOA RESPONSIBILITIES:

- THE HOME OWNERS ASSOCIATION IS RESPONSIBLE FOR OWNERSHIP AND MAINTENANCE OF ALL COMMON AREAS INCLUDING THE PRIVATE STREET AND STORM WATER DETENTION FACILITIES. REFER TO SEPARATE HOA DOCUMENTATION FOR DETAILS.

ANTICIPATED SCHEDULE:

- | | |
|-------------------------------|--------------------|
| 1. BEGIN SITE CONSTRUCTION | SPRING/SUMMER 2021 |
| 2. COMPLETE SITE CONSTRUCTION | SUMMER/FALL 2021 |
| 3. BEGIN HOME BUILDING | FALL 2021 |
| 4. COMPLETE HOME BUILDING | FALL/WINTER 2022 |



UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT, A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH CARLISLE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND SUDAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF CARLISLE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF CARLISLE.
- GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
- THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION. AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.
- ANY PROPOSED CHANGES TO THE PLAN SET SHALL BE APPROVED IN WRITING BY THE CITY OF CARLISLE DEVELOPMENT SERVICES DEPARTMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CHANGES MADE DURING CONSTRUCTION THAT HAVE NOT BEEN GRANTED APPROVAL IN WRITING BY THE CITY OF CARLISLE DEVELOPMENT SERVICES DEPARTMENT.
- SURFACED ACCESS TO PAVEMENT WILL BE REQUIRED IF DEVELOPER DOES NOT PROVIDE PAVED ROAD PRIOR TO THIS SITE BEGINNING CONSTRUCTION.

PAVING NOTES:

- THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SODDED IN ACCORDANCE WITH CITY OF CARLISLE STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SUDAS.
- SUBGRADE PREPARATION AND PAVEMENTS WILL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUBASE PRIOR TO ANY PAVEMENT BEING PLACED.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVELED PATH MUST HAVE A D.A. DETECTABLE WARNING PANEL(S) AS PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

UTILITY NOTES:

- QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH AS-BUILT TOPO OF DETENTION POND & DETENTION POND STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING BISHOP ENGINEERING AT 515-276-0467 TO PERFORM SAID AS-BUILT TOPO SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
- ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
- WATERMANS SHALL BE C-900. SIZE OF WATERMAIN AS SHOWN ON PLANS.
- THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
- PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF CARLISLE.
- TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- THE MINIMUM HYDRANT LEAD SHALL BE 3.5 FEET.

FIELD TILE NOTES:

- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE. CONNECT TO STORM SEWER WITH AN INSERT-A-TEE OR DIRECTLY TO A STORM STRUCTURE.
- IT IS ANTICIPATED THAT THE SITE CONTAINS FIELD TILES, HOWEVER, LIMITED INFORMATION IS AVAILABLE.
- THIS WORK WILL BE ELIGIBLE FOR A CHANGE ORDER IF, AND ONLY IF, PROPOSED SITE STORM SEWER IS NOT WITHIN 50 FEET OF THE FIELD TILE.
- CONTRACTOR SHALL PROVIDE AS-BUILTS OF FIELD TILES TO BISHOP ENGINEERING.

UTILITY CONFLICT NOTES:

- UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION

SIDEWALK NOTE:

- THE OWNER OF THE LOT IS RESPONSIBLE FOR THE COSTS ASSOCIATED WITH PLACING FUTURE SIDEWALK (ALONG THE BLUESTEM DRIVE FRONTAGE). THE SIDEWALKS SHALL BE INSTALLED WITHIN 3 MONTHS OF NOTIFICATION FROM THE CITY.

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CITY OF CARLISLE NOTES:

1. GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF CARLISLE SUPPLEMENTAL SPECIFICATIONS.
- A PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING WITH THE CITY OF CARLISLE & FOX ENGINEERING.
- THE CITY OF CARLISLE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK. CALL CITY OF CARLISLE (TOMMY THOMPSON 515-505-4299) & FOX ENGINEERING (MITCH HOLTZ 515-233-0000).
- ALL PERMITS (IDNR, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- ALL UTILITY CONTRACTORS AND/OR OWNERS SHALL BE RESPONSIBLE TO PROVIDE THE CITY OF CARLISLE WITH "AS-BUILT" DRAWINGS OF ALL IMPROVEMENTS.
- A SIGNAGE LIST SHOULD BE SUBMITTED BY THE CONTRACTOR TO THE CITY OF CARLISLE. PUBLIC WORKS WILL VERIFY THE LIST AND ORDER THE SIGNS FROM A LIST OF APPROVED VENDORS. THE CONTRACTOR WILL THEN BE RESPONSIBLE FOR PICKING UP THE SIGNS ONCE DELIVERED TO PUBLIC WORKS AND PLACING THEM IN THE LOCATIONS IDENTIFIED ON THE SIGNAGE PLAN. THE COST OF SIGNS AND RELATED HARDWARE WILL BE BILLED TO THE CONTRACTOR.
- ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS.
- WE ENCOURAGE YOU TO CONTACT THE CITY OF CARLISLE WITH INFORMATION ON ANY SIGNIFICANT WORK BEING DONE OR POTENTIAL ISSUES AS THEY GENERALLY GET THE FIRST CALLS FROM NEIGHBORS WITH QUESTIONS OR CONCERNS. KEEPING THE CITY INFORMED OF PROGRESS OR SIGNIFICANT ISSUES CAN HELP YOU AVOID POTENTIAL CONFLICTS OR ISSUES WITH SURROUNDING PROPERTY OWNERS.

2. SANITARY SEWER NOTES:

- THE CONTRACTOR IS REQUIRED TO PLACE A TEMPORARY PLUG IN THE EXISTING DOWNSTREAM SANITARY SEWER MANHOLE PRIOR TO THE START OF CONSTRUCTION. THE PLUG SHALL BE REMOVED FOLLOWING APPROVAL OF CONSTRUCTION BY THE CITY OF CARLISLE.
- SANITARY GRAVITY PIPE MATERIAL SHALL BE PVC SDR 26 OR TRUSS (8" TO 15").
- SANITARY GRAVITY SERVICE PIPE MATERIAL SHALL BE PVC SDR 23.5 (4" TO 6").
- ALL SANITARY SEWER MANHOLES CASTINGS SHALL BE SEALED WITH INTERIOR CHIMNEY SEALS.
 - 3-PIECE CASTINGS SHALL HAVE INTERIOR CHIMNEY SEALS.
 - 2-PIECE CASTINGS SHALL HAVE 1&1 BARRIER (AKA TOP HAT) CHIMNEY SEALS, OR EQUAL.
 IN ADDITION, THE MINIMUM SPACER RING SIZE IS 4-INCHES AND THE MAXIMUM NUMBER OF SPACER RINGS SHALL NOT EXCEED 12-INCHES.
- ALL SANITARY SEWER MANHOLES SHALL HAVE STEPS.
- ALL SANITARY SEWER MANHOLE CASTINGS LOCATED WITHIN PAVEMENT SHALL BE BOXED OUT.
- MANDREL AND PRESSURE TESTS ARE REQUIRED FOR ALL SANITARY SEWER LINES (8" AND ABOVE) PRIOR TO PAVING. IN ADDITION, ALL SANITARY SEWER LINES SHALL BE TELEVISIED. THE SEWER SYSTEM SHALL BE FLUSHED WITH WATER PRIOR TO TELEVISING.

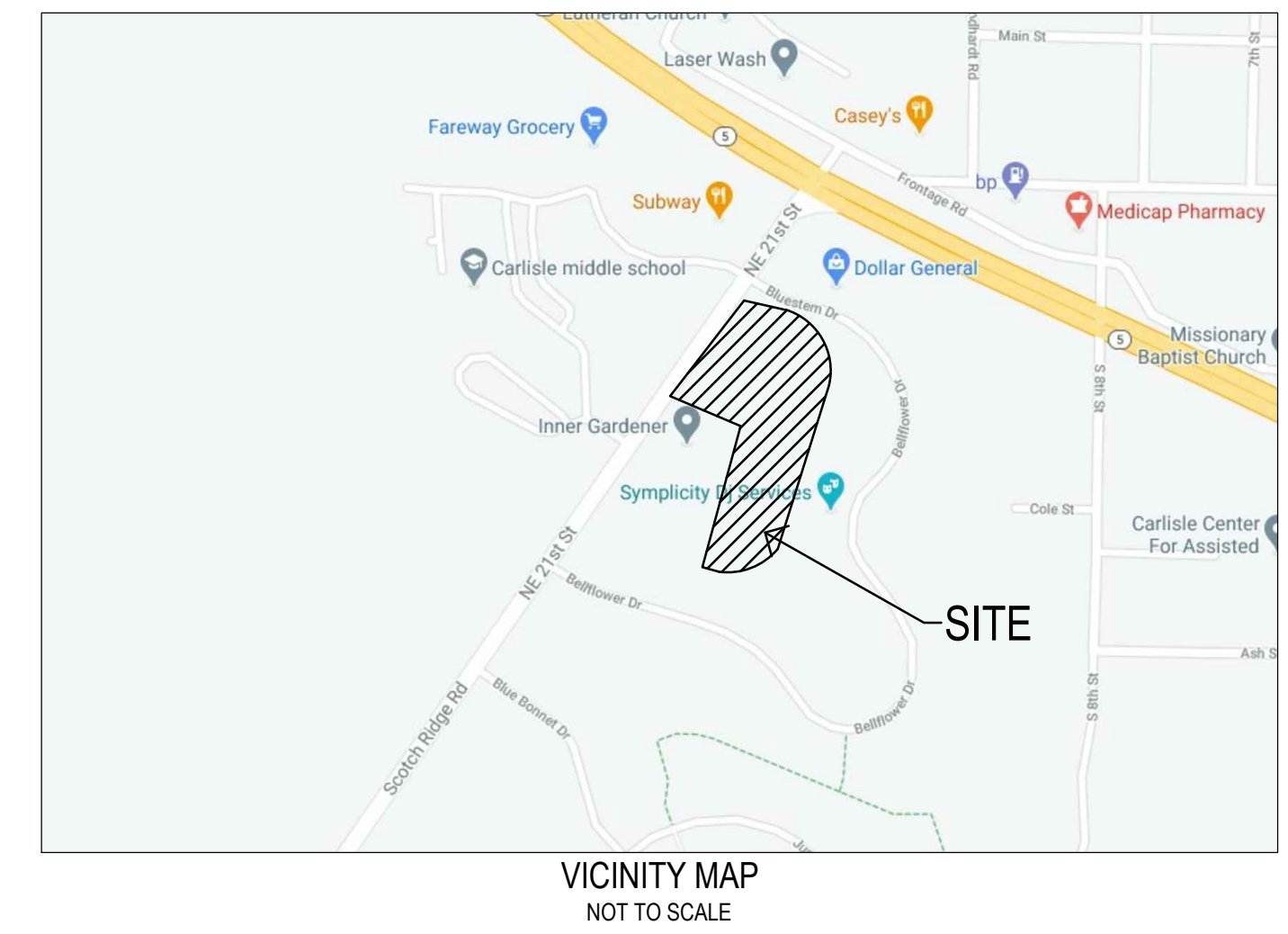
3. WATER MAIN NOTES:

- ALL FIRE HYDRANTS SHALL BE AMERICAN FLOW CONTROL-WATEROUS PACER WB-67-250, MUELLER SUPER CENTURION 250 (3-WAY A-423), OR CLOW MEDALLION F-2545. ALL HYDRANTS SHALL HAVE THE FOLLOWING: 6" MJ SHOE, 2-1/2" HOSE NOZZLE, 4-1/2" STEAMER NOZZLE, NST THREADS, PENTAGON OPERATING NUT, CHAIN ON CAP, OPEN LEFT, 5-1/2" BURY, AND FACTORY PAINTED RED. THE MINIMUM SPOOL PIPE LENGTH FROM AUXILIARY VALVE TO HYDRANT SHOE SHALL BE 2.0'.
- ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF CARLISLE WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- A TRACER WIRE RECEPTACLE SHALL BE INSTALLED AT EACH HYDRANT (FLUSH MOUNT VALVCO OR APPROVED EQUAL).
- TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN.
- ALL VALVES SHALL BE RESILIENT WEDGE GATE VALVES.
- WATER SERVICE SHALL BE 1-INCH MINIMUM TYPE K COPPER.
- THE CONTRACTOR IS RESPONSIBLE FOR PRESSURE TESTING, CHLORINATION, AND BACTERIA TEST.

4. STORM SEWER NOTES:

- ALL STORM SEWER IN THE ROW SHALL BE RCP, UNLESS OTHERWISE APPROVED BY THE CITY.
- ALL FLARED END SECTIONS SHALL HAVE FOOTINGS AND APRON GRATES. THE LAST 3 PIPE SECTIONS AND THE FLARED END SECTION ON ALL CULVERTS SHALL BE TIED. ALL STORM SEWER JOINTS SHALL BE WRAPPED WITH ENGINEERING FABRIC.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY FIELD TILE DAMAGED DURING CONSTRUCTION. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES.
- ALL SUMP SERVICE LINES SHALL HAVE TRACER WIRE.
- ALL RIP-RAP SHALL BE UNDERLAIN WITH ENGINEERING FABRIC AS SPECIFIED IN THE URBAN SPECIFICATIONS.

UPDATED 5/5/21



ABBREVIATIONS:

AC ACRES
ASPH ASPHALT
BK BOOK
CONC CONCRETE
D DEEDED DISTANCE
EX EXISTING
ENCL ENCLOSURE
FF FINISHED FLOOR
FL FLOW LINE
FRAC FRACTIONAL
M MEASURED DISTANCE
MH MANHOLE
OPC ORANGE PLASTIC CAP
P PLATTED DISTANCE
PG PAGE
POB POINT OF BEGINNING
POC POINT OF COMMENCEMENT
PRA PREVIOUSLY RECORDED AS
PUE PUBLIC UTILITY EASEMENT
ROW RIGHT OF WAY
RPC RED PLASTIC CAP
SF SQUARE FEET
SAN SANITARY
TYP TYPICAL
YPC YELLOW PLASTIC CAP
N NORTH
S SOUTH
E EAST
W WEST

LEGEND:

- SAN — SANITARY SEWER
- ST — STORM SEWER
- W — WATER LINE
- G — GAS LINE
- UE — UNDERGROUND ELECTRIC
- O/E — OVERHEAD ELECTRIC
- TELE — TELEPHONE LINE
- F/O — FIBER OPTIC
- CATV — CABLE TV
- Ⓧ STORM MANHOLE
- Ⓧ CURB INTAKE
- Ⓧ SURFACE INTAKE
- Ⓧ FLARED END SECTION
- Ⓧ SANITARY MANHOLE
- Ⓧ CLEANOUT
- Ⓧ FIRE HYDRANT
- Ⓧ SPRINKLER
- Ⓧ IRRIGATION CONTROL VALVE
- Ⓧ WATER MANHOLE
- Ⓧ WELL
- Ⓧ WATER VALVE
- Ⓧ WATER SHUT OFF
- Ⓧ YARD HYDRANT
- Ⓧ ELECTRIC MANHOLE
- Ⓧ ELECTRIC METER
- Ⓧ ELECTRIC RISER
- Ⓧ ELECTRIC VAULT
- Ⓧ POWER POLE
- Ⓧ TRANSFORMER POLE
- Ⓧ LIGHT POLE
- Ⓧ ELECTRIC JUNCTION BOX
- Ⓧ ELECTRIC PANEL
- Ⓧ TRANSFORMER
- Ⓧ GROUND LIGHT
- Ⓧ GUY WIRE
- Ⓧ ELECTRIC HANDHOLE
- Ⓧ GAS METER
- Ⓧ GAS VALVE
- Ⓧ AIR CONDITIONING UNIT
- Ⓧ TELEPHONE RISER
- Ⓧ TELEPHONE VAULT
- Ⓧ TELEPHONE MANHOLE
- Ⓧ TRAFFIC SIGNAL MANHOLE
- Ⓧ FIBER OPTIC RISER
- Ⓧ FIBER OPTIC FAULT
- Ⓧ CABLE TV RISER
- SIGN
- BOLLARD
- ⑦ DENOTES NUMBER OF PARKING STALLS
- PROPERTY CORNER - FOUND AS NOTED
- PROPERTY CORNER- PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID #14775
- ⊕ SECTION CORNER - FOUND AS NOTED

SITE CONTROL AND BENCHMARKS:

BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS
DATUM = NAD 83, IOWA SOUTH
BENCHMARK DATUM = NAVD88, GEOID 18

POINT #9000
NORTHING = 545574.71
EASTING = 1641147.61
ELEVATION = 868.69
DESCRIPTION: SET 3/4" IRON PIPE WITH RPC

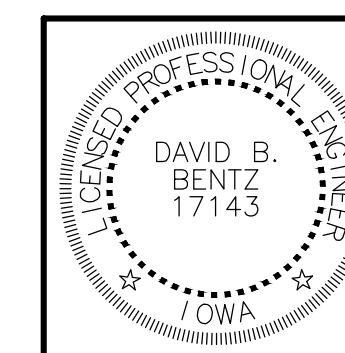
POINT #9001
NORTHING = 545504.86
EASTING = 1641216.18
ELEVATION = 865.92
DESCRIPTION: CUT "X"

POINT #9002
NORTHING = 544531.13
EASTING = 1640877.83
ELEVATION = 867.98
DESCRIPTION: CUT "X"

ONSITE TBM
BURY BOLT ON HYDRANT
NORTHING = 545077.45
EASTING = 1640994.56
ELEVATION = 886.02

SURVEY NOTES:

- SURVEY WORK WAS COMPLETED BY BISHOP ENGINEERING ON 2/24/2021. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: PRELIMINARY DATE: _____
DAVID B. BENTZ, PE. 17143

LICENSE RENEWAL DATE: DEC. 31, 2021
PAGES OR SHEETS COVERED BY THIS SEAL: ALL SHEETS

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Des Moines, Iowa 50322-3825
Phone: (515) 276-0467 Fax: (515) 276-0217
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CARLISLE COMMONS- SITE PLAN
BLUESTEM DRIVE, CARLISLE, IOWA

COVER SHEET

REFERENCE NUMBER:

DRAWN BY:
BK

CHECKED BY:
DB

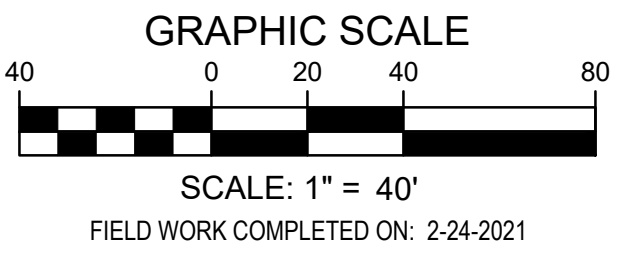
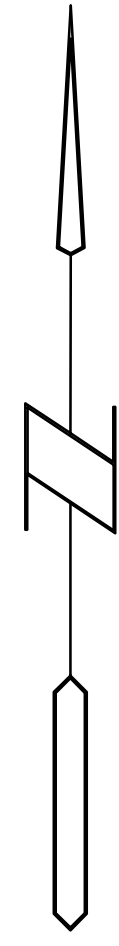
REVISION DATE:
04/20/2021 CITY#1
05/10/2021 CITY#2
05/14/2021 CITY#3

PROJECT NUMBER:
210080

SHEET NUMBER:
C0.1

PRELIMINARY- NOT FOR CONSTRUCTION

CARLISLE COMMONS SITE SURVEY/REMOVALS



NOTES:
1. ADJACENT PROPERTY OWNER INFORMATION OBTAINED FROM WARREN COUNTY ASSESSORS WEB PAGE
2. PARENTHESIS () DENOTES PREVIOUSLY RECORDED BEARINGS AND DISTANCES

ABBREVIATIONS:

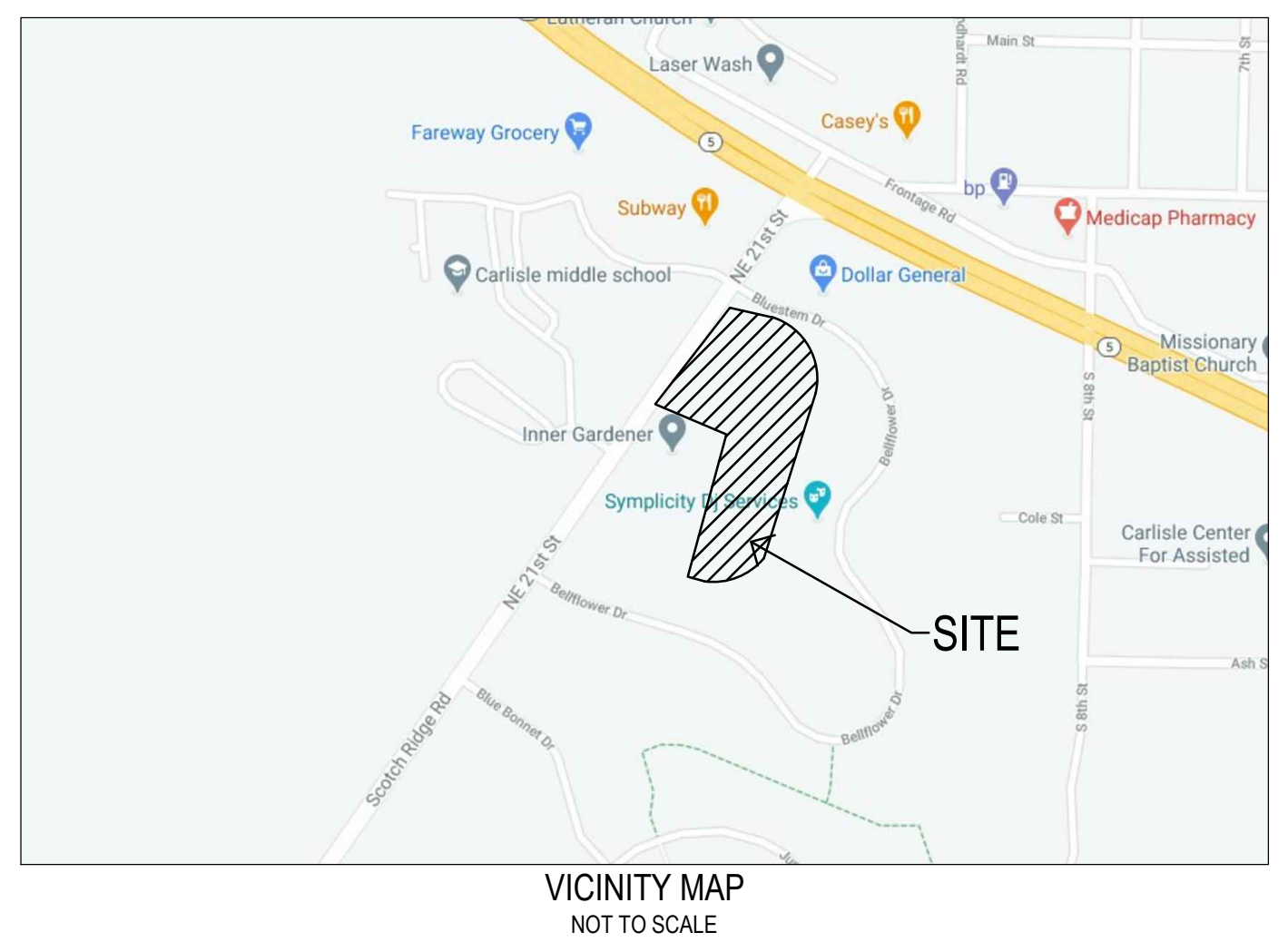
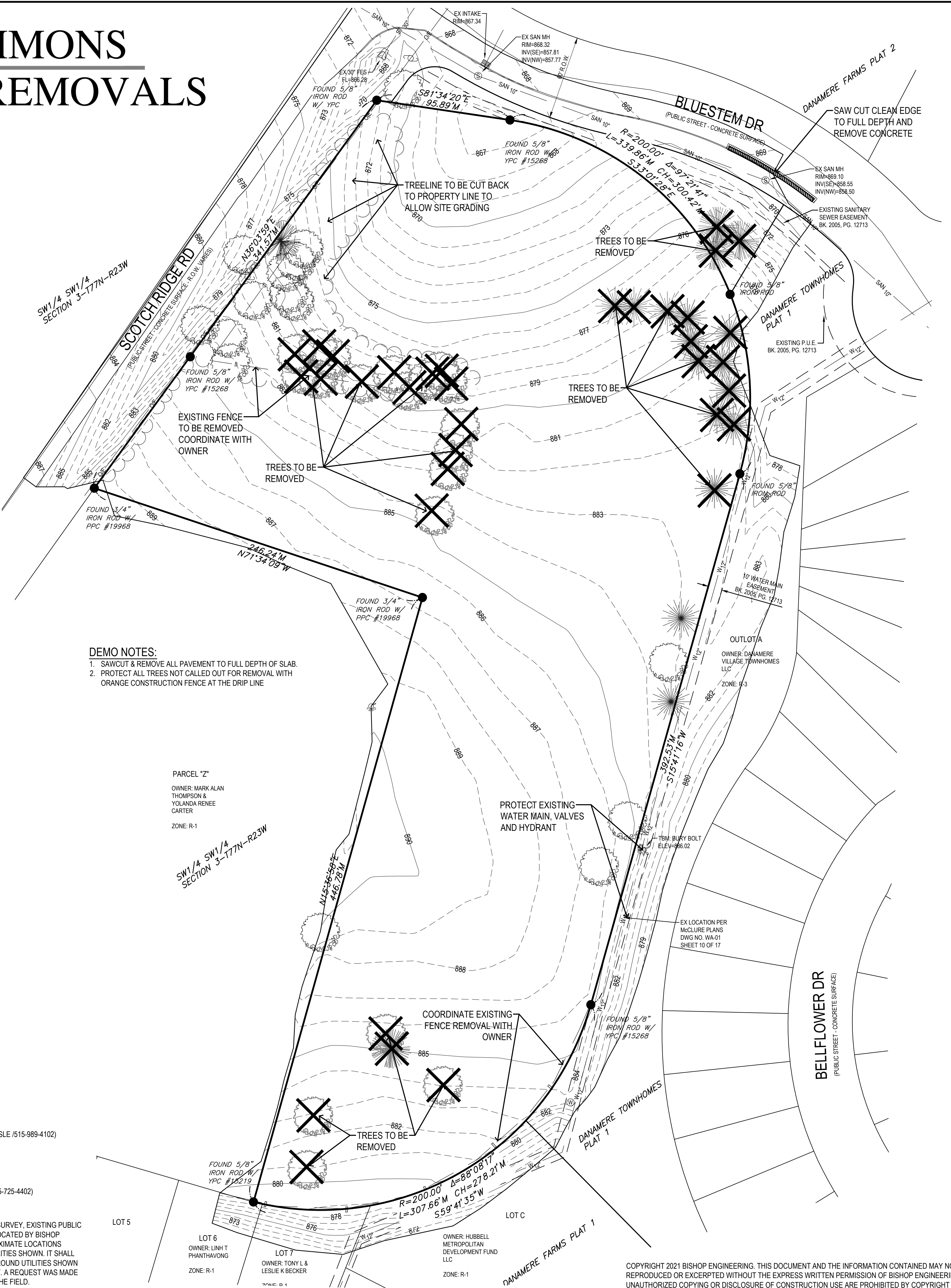
AC	ACRES
ASPH	ASPHALT
BK	BOOK
CONC	CONCRETE
D	DEEDED DISTANCE
EX	EXISTING
ENCL	ENCLOSURE
FF	FINISHED FLOOR
FL	FLOW LINE
FRAC	FRACTIONAL
M	MEASURED DISTANCE
MH	MANHOLE
OPC	ORANGE PLASTIC CAP
P	PLATTED DISTANCE
PG	PAGE
POB	POINT OF BEGINNING
PCC	POINT OF COMMENCEMENT
PRA	PREVIOUSLY RECORDED AS
PUE	PUBLIC UTILITY EASEMENT
ROW	RIGHT OF WAY
RPC	RED PLASTIC CAP
SF	SQUARE FEET
SAN	SANITARY
TYP	TYPICAL
YPC	YELLOW PLASTIC CAP
N	NORTH
S	SOUTH
E	EAST
W	WEST

UTILITY CONTACTS:

- SANITARY AND STORM SEWER (CITY OF CARLISLE /515-989-4102)
- WATER MAIN (CITY OF CARLISLE /515-989-4102)
- ELECTRIC (MIDAMERICAN /515-252-6632)
- FIBER OPTIC (MEDIACOM /515-246-2252)
- CABLE (CENTURYLINK /720-578-8090)
- GAS (MIDAMERICAN /515-252-6632)
- FIBER (IOWA COMMUNICATIONS NETWORK /515-725-4402)
- FIBER (UNITE OR UPN)

DEMO NOTES:

- SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.
- PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE



PROPERTY DESCRIPTION:
(INSTRUMENT # 2017-07410)
A PARCEL OF LAND LOCATED IN AND FORMING A PART OF PARCEL "Y" ALL IN THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 77 NORTH, RANGE 23 WEST OF THE 5TH P.M., WARREN COUNTY, IOWA.

CONTAINING 4.55 ACRES, SUBJECT TO ALL EASEMENTS, RESTRICTIONS AND COVENANTS OF RECORD.

ADDRESS:
1 SCOTCHDRIDGE ROAD

OWNER / PREPARED FOR:
PLS CUSTOM INTERIOR AND EXTERIOR LLC
3040 GATEWAY DRIVE
CARLISLE, IOWA 50047
RICHARD BROWN
PH: (515) 210-6206

ZONING:
PUD (PLANNED UNIT DEVELOPMENT)

FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF CARLISLE AT 515-989-3224

SITE CONTROL AND BENCHMARKS:
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS
DATUM = NAD 83, IOWA SOUTH
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POINT #9000
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DESCRIPTION: CUT "X"

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BURY BOLT ON HYDRANT
NORTHING = 545077.45
EASTING = 1640994.56
ELEVATION = 886.02

LEGEND:

— SAN —	SANITARY SEWER
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⊕	SANITARY MANHOLE
⊕	CLEANOUT
⊕	FIRE HYDRANT
⊕	SPRINKLER
⊕	IRRIGATION CONTROL VALVE
⊕	WATER MANHOLE
⊕	WELL
⊕	WATER VALVE
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⊕	ELECTRIC RISER
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⊕	ELECTRIC PANEL
⊕	TRANSFORMER
⊕	GROUND LIGHT
⊕	GUY WIRE
⊕	ELECTRIC HANDHOLE
⊕	GAS METER
⊕	GAS VALVE
⊕	AIR CONDITIONING UNIT
⊕	TELEPHONE RISER
⊕	TELEPHONE VAULT
⊕	TELEPHONE MANHOLE
⊕	TRAFFIC SIGNAL MANHOLE
⊕	FIBER OPTIC MANHOLE
⊕	FIBER OPTIC RISER
⊕	FIBER OPTIC FAULT
⊕	CABLE TV RISER
—	SIGN
—	BOLLARDS
⊕	DENOTES NUMBER OF PARKING STALLS
●	PROPERTY CORNER - FOUND AS NOTED
○	PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID # 14775 OR AS NOTED
⊕	SECTION CORNER - FOUND AS NOTED
▲	SITE CONTROL POINT - MONUMENT AS NOTED

CARLISLE COMMONS- SITE PLAN
BLUESTEM DRIVE, CARLISLE, IOWA

SITE SURVEY / REMOVALS

REFERENCE NUMBER:

DRAWN BY:
BK

CHECKED BY:
DB

REVISION DATE:
04/20/2021 CITY#1
05/10/2021 CITY#2
05/14/2021 CITY#3

PROJECT NUMBER:
210080

SHEET NUMBER:
C1.1

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Des Moines, Iowa 50322-3825
Phone: (515) 276-0467 Fax: (515) 276-0217
Civil Engineering & Land Surveying
Established 1959

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PRELIMINARY - NOT FOR CONSTRUCTION

5/14/2021 10:26:42 AM L:\LAND PROJECTS 2021\210080 - DAVIDSON PROPERTY-CARLISLE\DWG\C3 GRADING.DWG

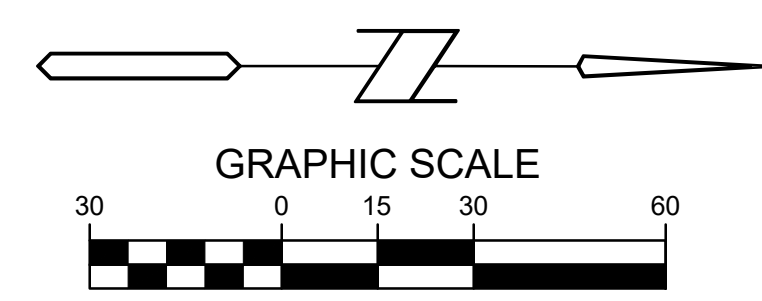
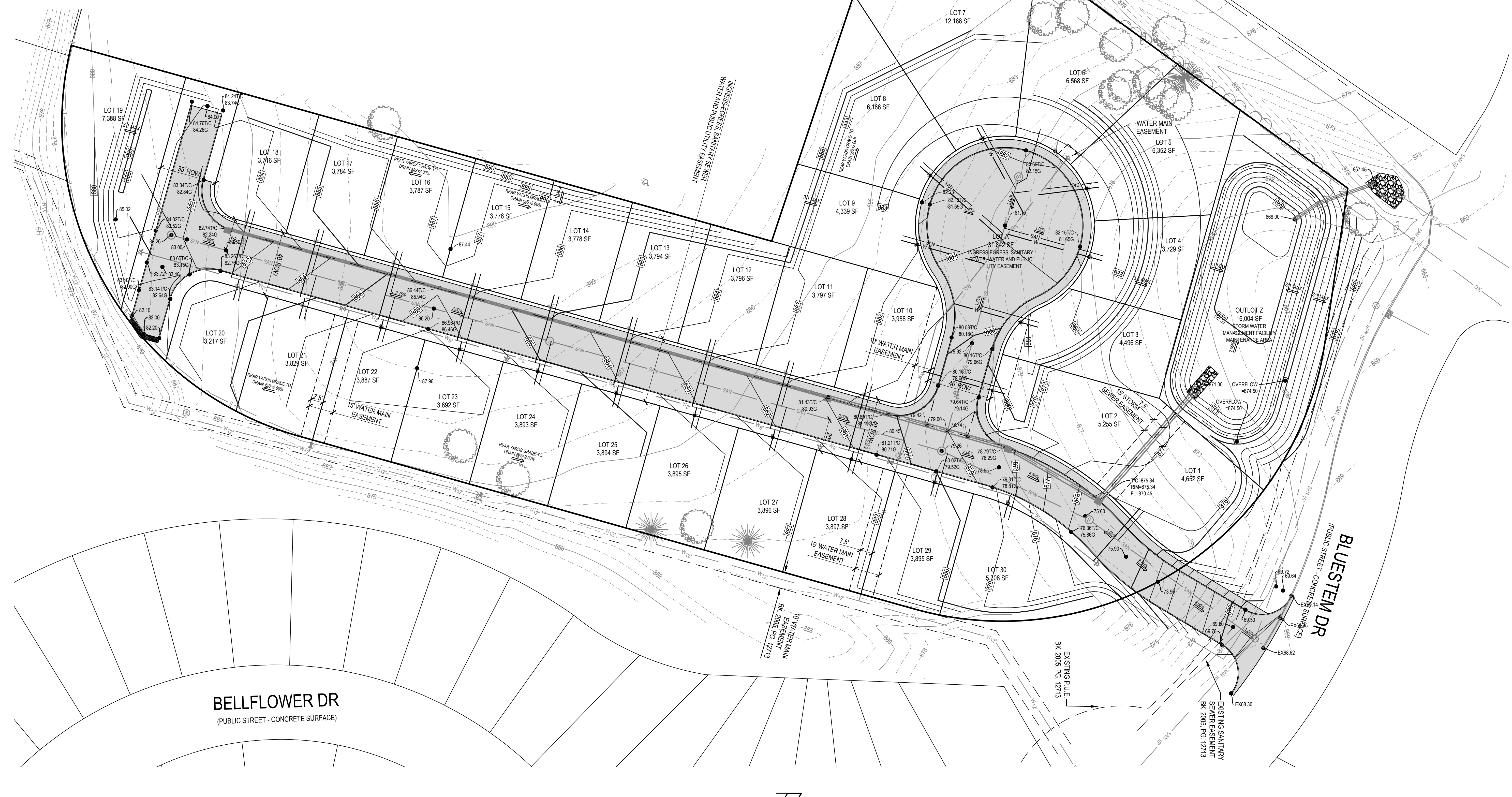
GRADING LEGEND:

- EXISTING CONTOUR -150-
- PROPOSED CONTOUR -150-
- FINISHED GROUND ELEVATION 150.50
- TOP OF CURB ELEVATION 150.50TC
- GUTTER ELEVATION 150.50G
- TOP OF WALL ELEVATION 150.50TW
- BOTTOM OF WALL ELEVATION 150.50BW
- EDGE OF WALK ELEVATION 150.50EW
- TOP OF STAIR ELEVATION 150.50TS
- BOTTOM OF STAIR ELEVATION 150.50BS

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.

TOPSOIL NOTES:

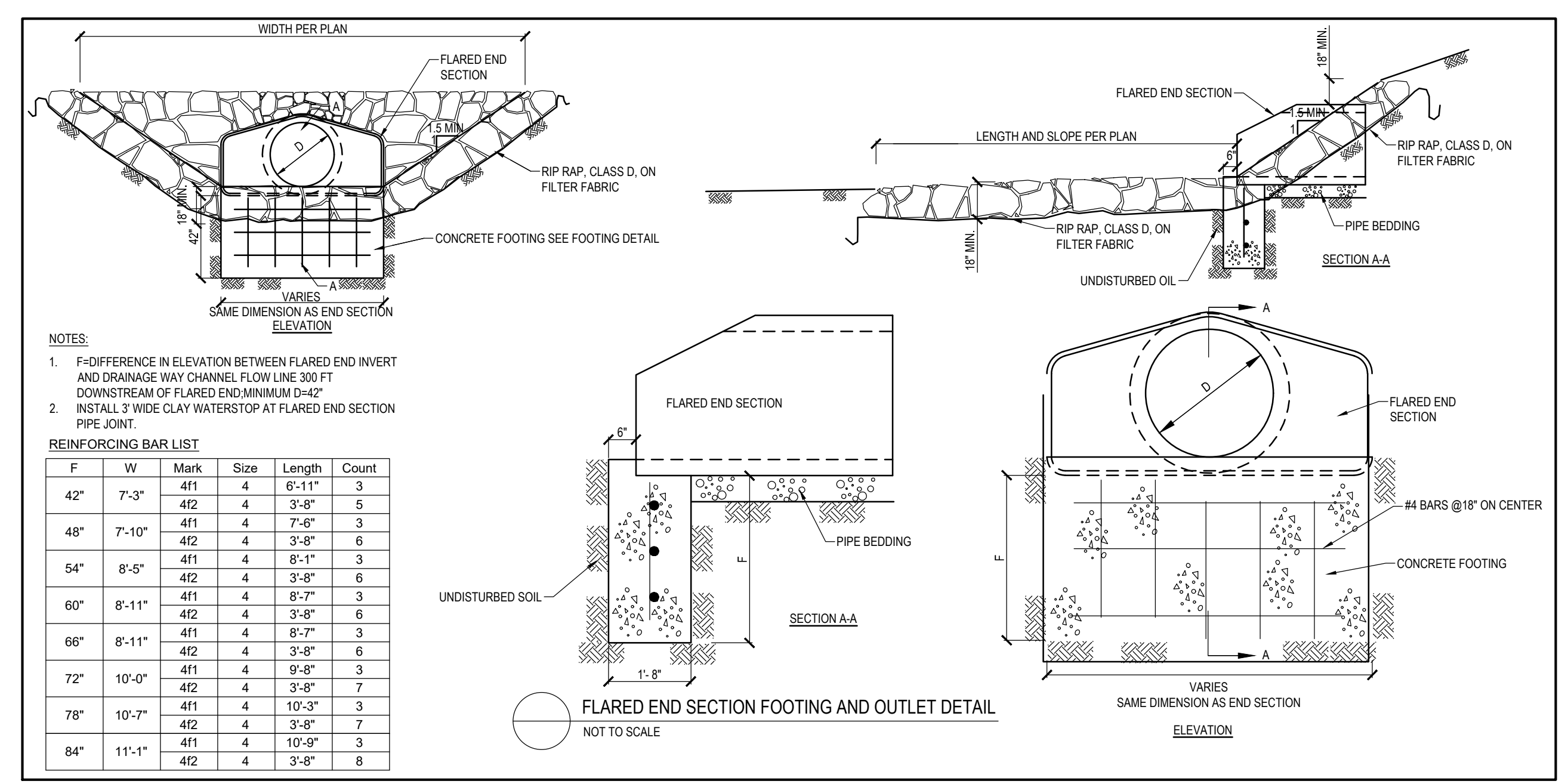
1. STRIP AND STOCKPILE THE TOP 8" OF SOIL ON ALL DISTURBED AREAS.
2. RESPREAD TOPSOIL TO A MINIMUM DEPTH OF 8" ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL, AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 6".
3. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
4. TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS, REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.



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 Des Moines, Iowa 50322-3825
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 Civil Engineering & Land Surveying Established 1959

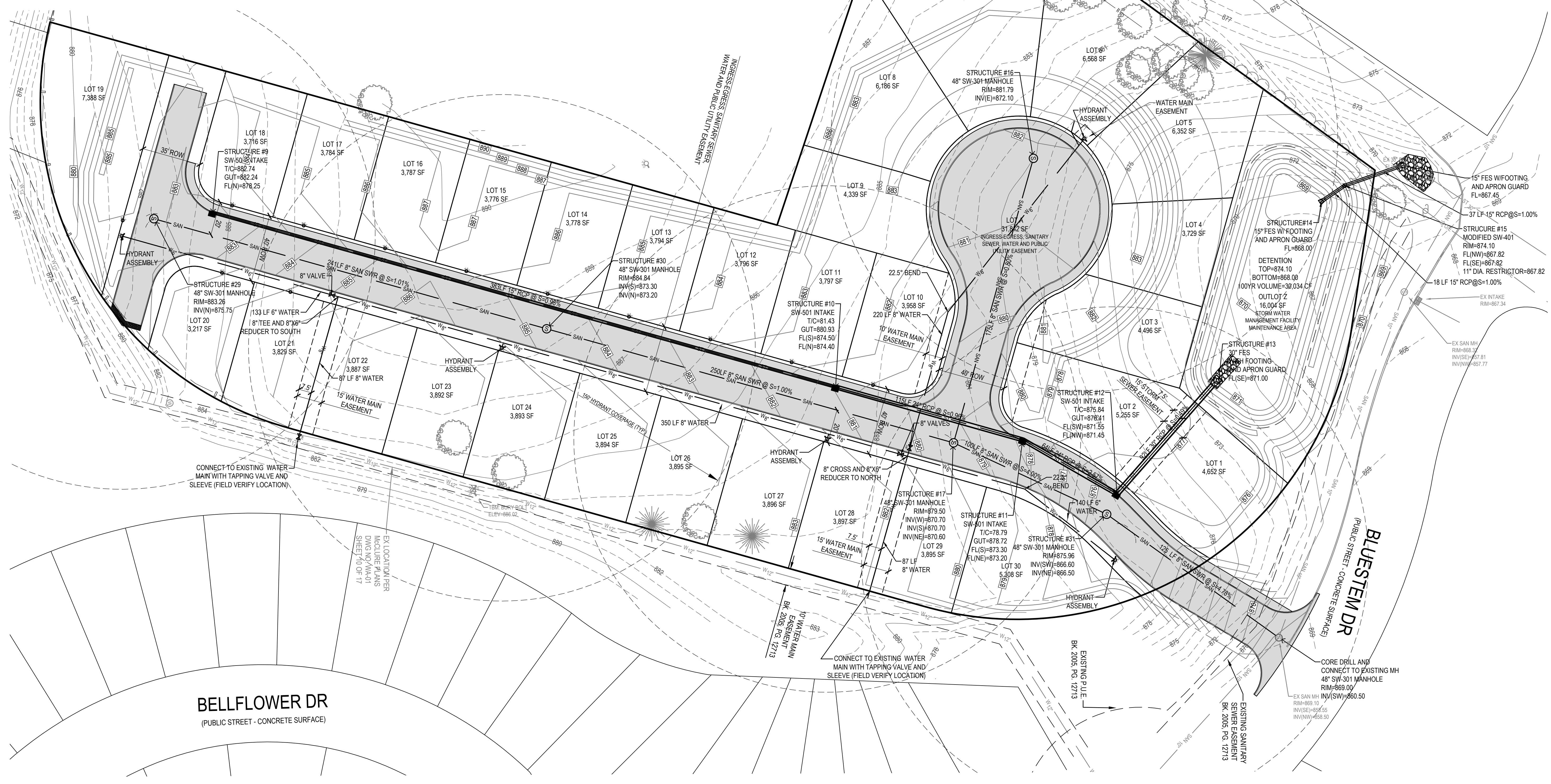
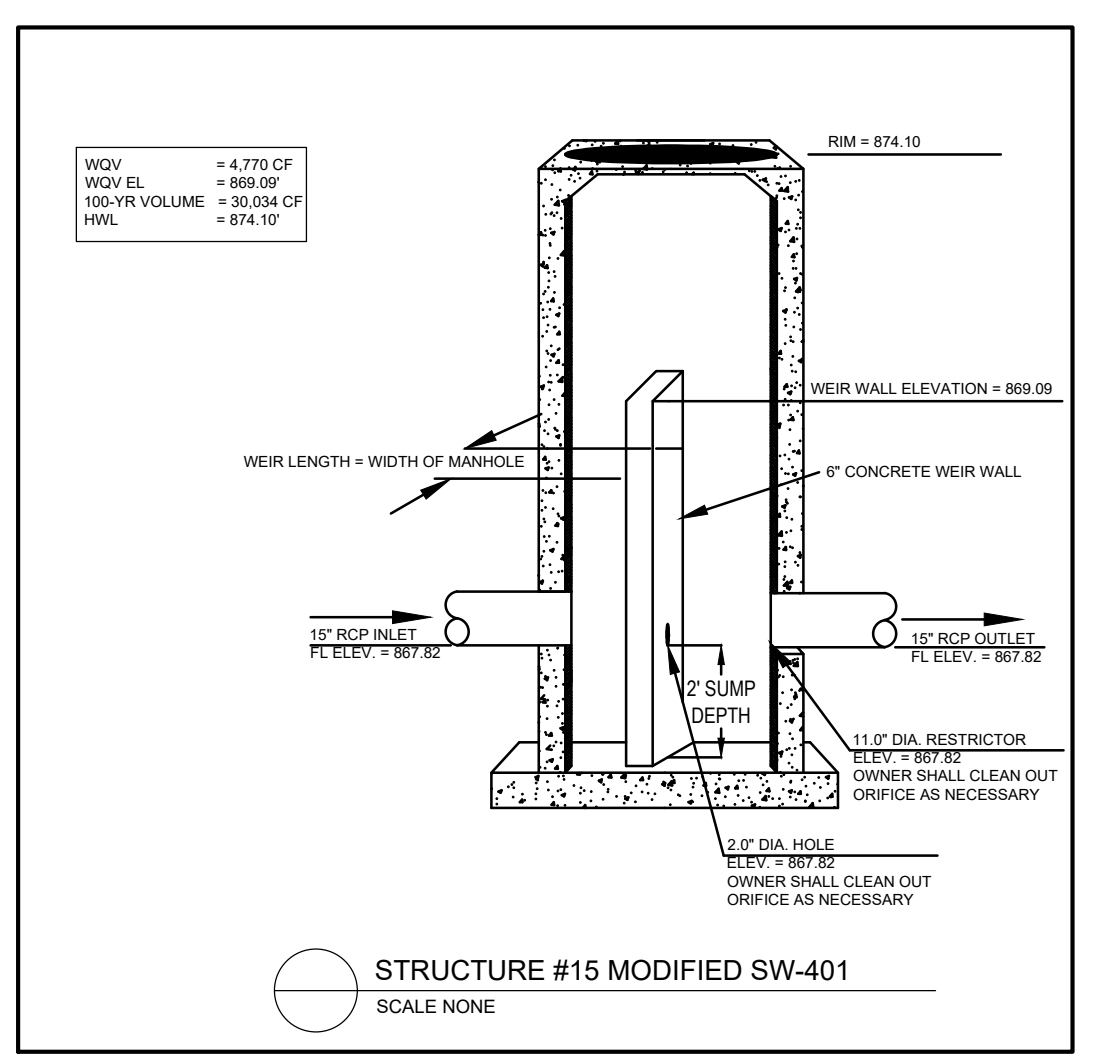
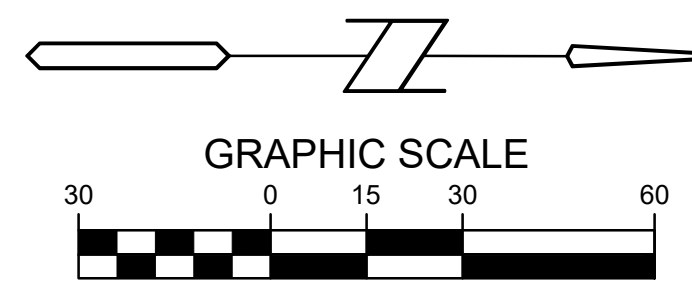
CARLISLE COMMONS- SITE PLAN
BLUESTEM DRIVE, CARLISLE, IOWA
GRADING PLAN

REFERENCE NUMBER:	
DRAWN BY:	BK
CHECKED BY:	DB
REVISION DATE:	04/20/2021 CITY#1 05/10/2021 CITY#2 05/14/2021 CITY#3
PROJECT NUMBER:	210080
SHEET NUMBER:	C3.1



UTILITY NOTES:

- ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
- ALL WATER LINES SHALL HAVE A MINIMUM OF 5'3" OF COVER UNLESS NOTED OTHERWISE.
- FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
- PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
- STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
- STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP.
- FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
- TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.



CARLISLE COMMONS - SITE PLAN
BLUESTEM DRIVE, CARLISLE, IOWA

REFERENCE NUMBER:	
DRAWN BY:	BK
CHECKED BY:	DB
REVISION DATE:	04/20/2021 CITY#1 05/10/2021 CITY#2 05/14/2021 CITY#3
PROJECT NUMBER:	210080
SHEET NUMBER:	C4.1

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LANDSCAPE NOTES:

- ALL SEEDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
- SEED ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SEED LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
- STAKE SOD ON ALL SLOPES 3 : 1 OR GREATER.
- PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE. THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
- IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
- STAKE AND WRAP ALL DECIDUOUS TREES IMMEDIATELY AFTER PLANTING. STAKE ALL TREES ACCORDING TO THE STAKING DETAILS. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD.
- THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
- NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT AND CITY OF CLIVE.
- CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.

SEEDING NOTES:

SEED: MIX TO BE "SUPER TURF 11" BY UNITED SEEDS (OR APPROVED EQUAL). SEED AT A RATE OF 440 LBS PER ACRE. SEEDING DATES, SITE PREPARATION, SEEDING INSTALLATION, WATER REQUIREMENTS, FERTILIZING, AND MOWING PER UNITED SEEDS TECH BULLETIN FOR SEED TYPE. OVERSEEDING (IF REQUIRED) TO BE INSTALLED AT 220 LBS PER ACRE.

HYDRO MULCH: HYDRO MULCH ALL SEEDED AREAS. WOOD CELLULOSE HYDRAULIC MULCH WITH TACKIFIER SHALL BE APPLIED AT A RATE OF 2,500 LBS PER ACRE.

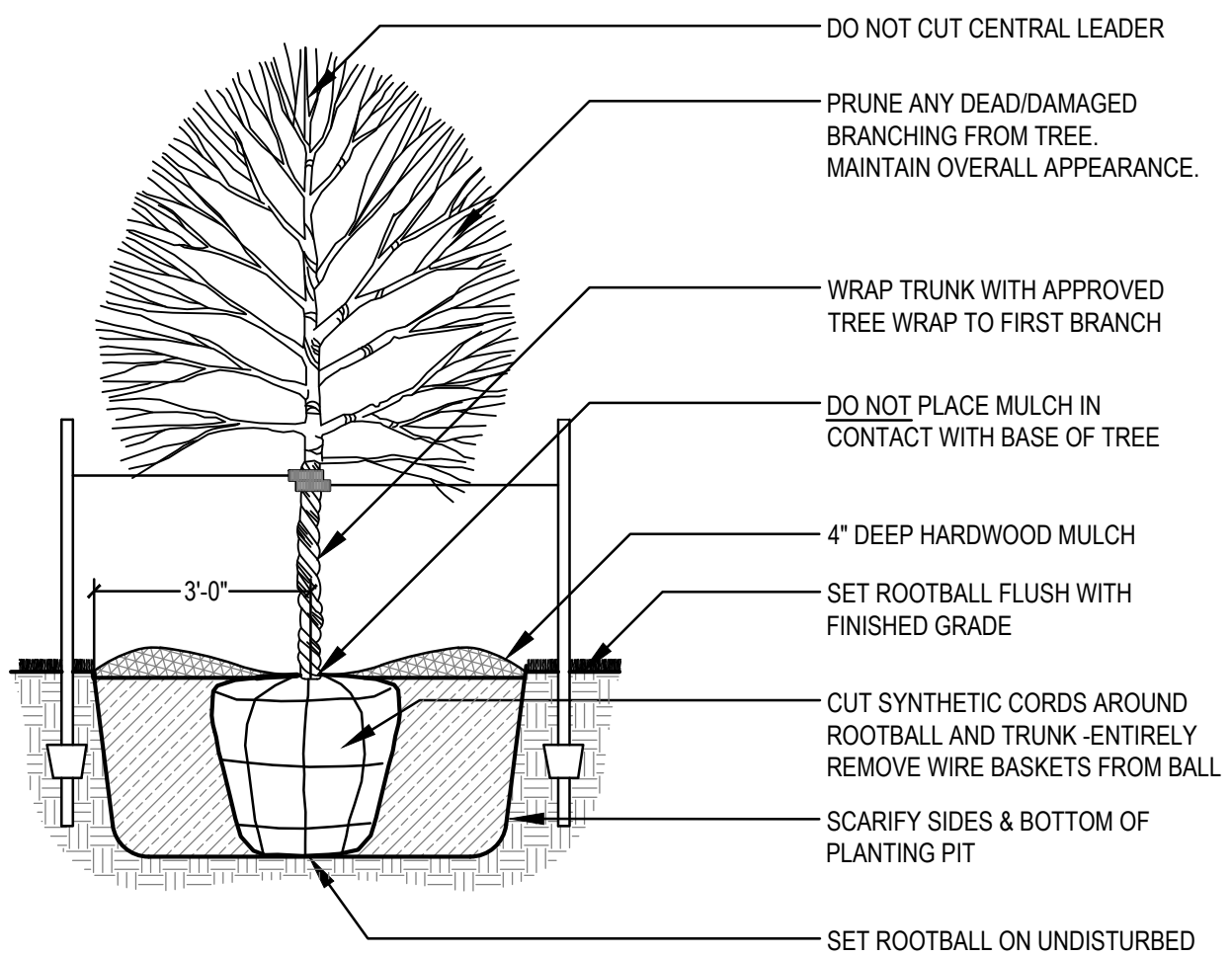
FERTILIZER: FERTILIZE ALL SEED TYPE I AREAS WITH PRODUCT SPECIFIED ABOVE AT RATE OF 250 LBS/ACRE.

ESTABLISHMENT: SATISFACTORY SEEDING LAWN. AT END OF MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED, FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90 PERCENT OVER ANY 10 SQ. FT. (0.92 SQ. M) AND BARE SPOTS NOT EXCEEDING 5 BY 5 INCHES. REESTABLISH LAWNS THAT DO NOT COMPLY WITH REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL LAWNS ARE SATISFACTORY.

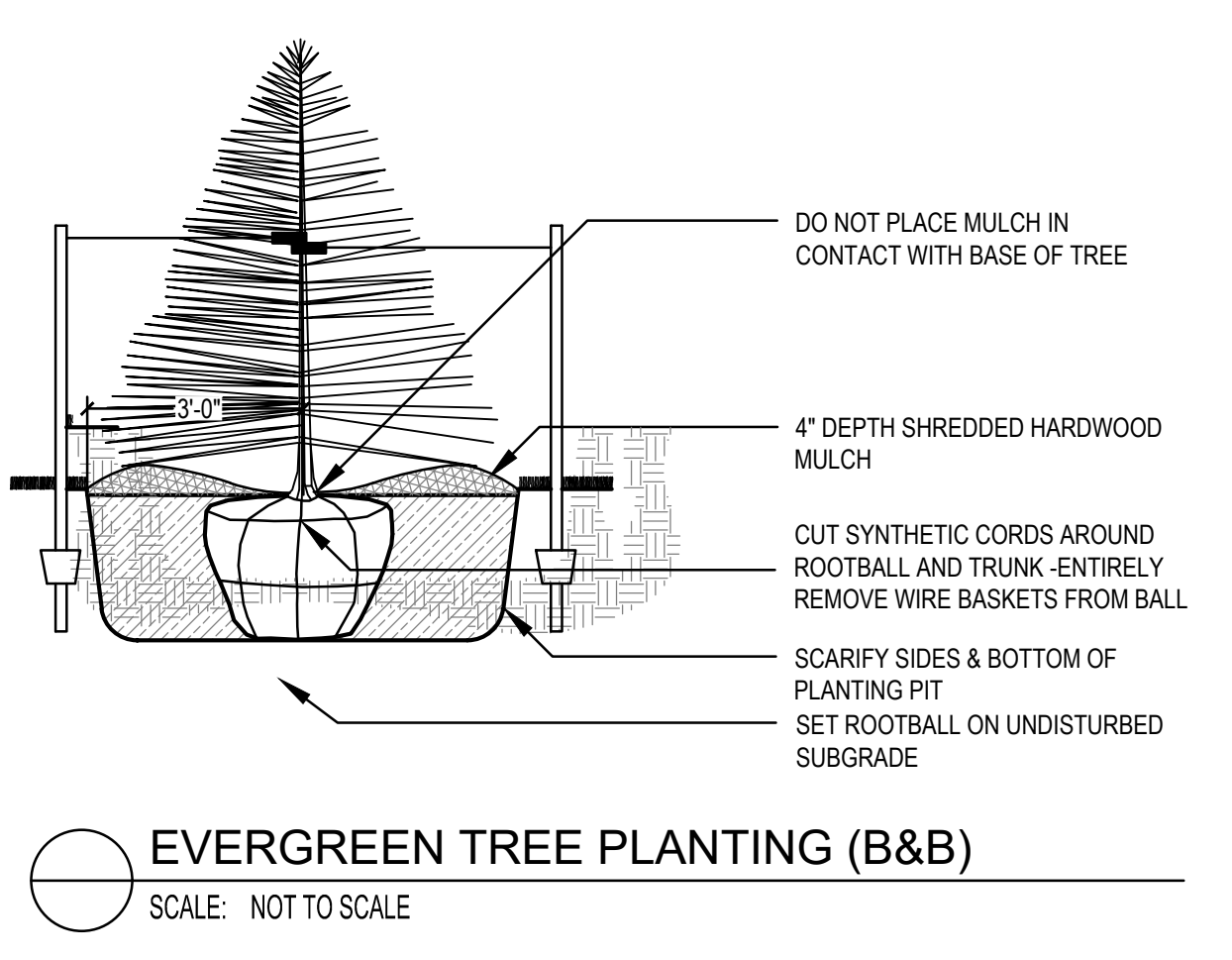
STAKING ORIENTATION
 NORTH NORTH
 2 STAKES - 3" CAL. & LESS
 3 STAKES - GREATER THAN 3" CAL.

USE HOSE GUARDS AROUND TRUNK ON STAKING WIRE. TIE WIRE TO STEEL POSTS PLACED OUTSIDE PLANT PIT.

LEAVE STAKES IN PLACE NO MORE THAN 1 YEAR FROM INSTALLATION. CONTRACTOR RESPONSIBLE FOR REMOVAL.



DECIDUOUS TREE PLANTING (TYP.)
 SCALE: NOT TO SCALE



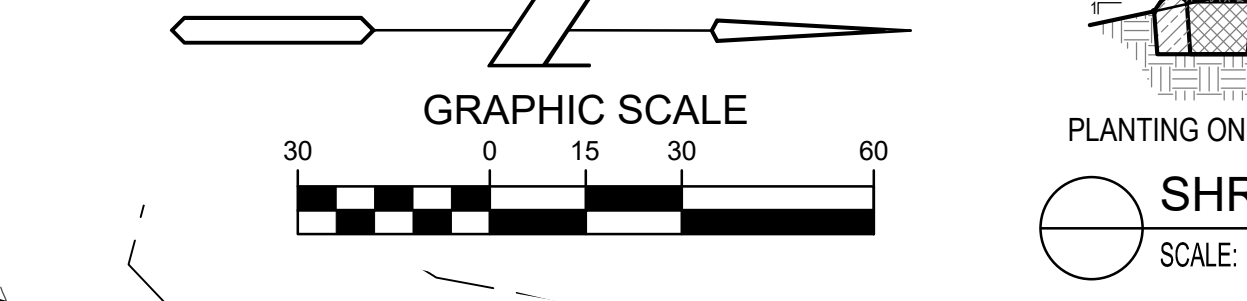
EVERGREEN TREE PLANTING (B&B)
 SCALE: NOT TO SCALE

LANDSCAPE REQUIREMENTS:

TOTAL SIZE OF LOT = 198,196 S.F.
 REQUIRED OPEN SPACE (20%) = 39,640 S.F.
 ASSUMED IMPERVIOUS (53%) = 105,500 SF
 ASSUMED OPENSAPCE (47%) = 92,698 SF

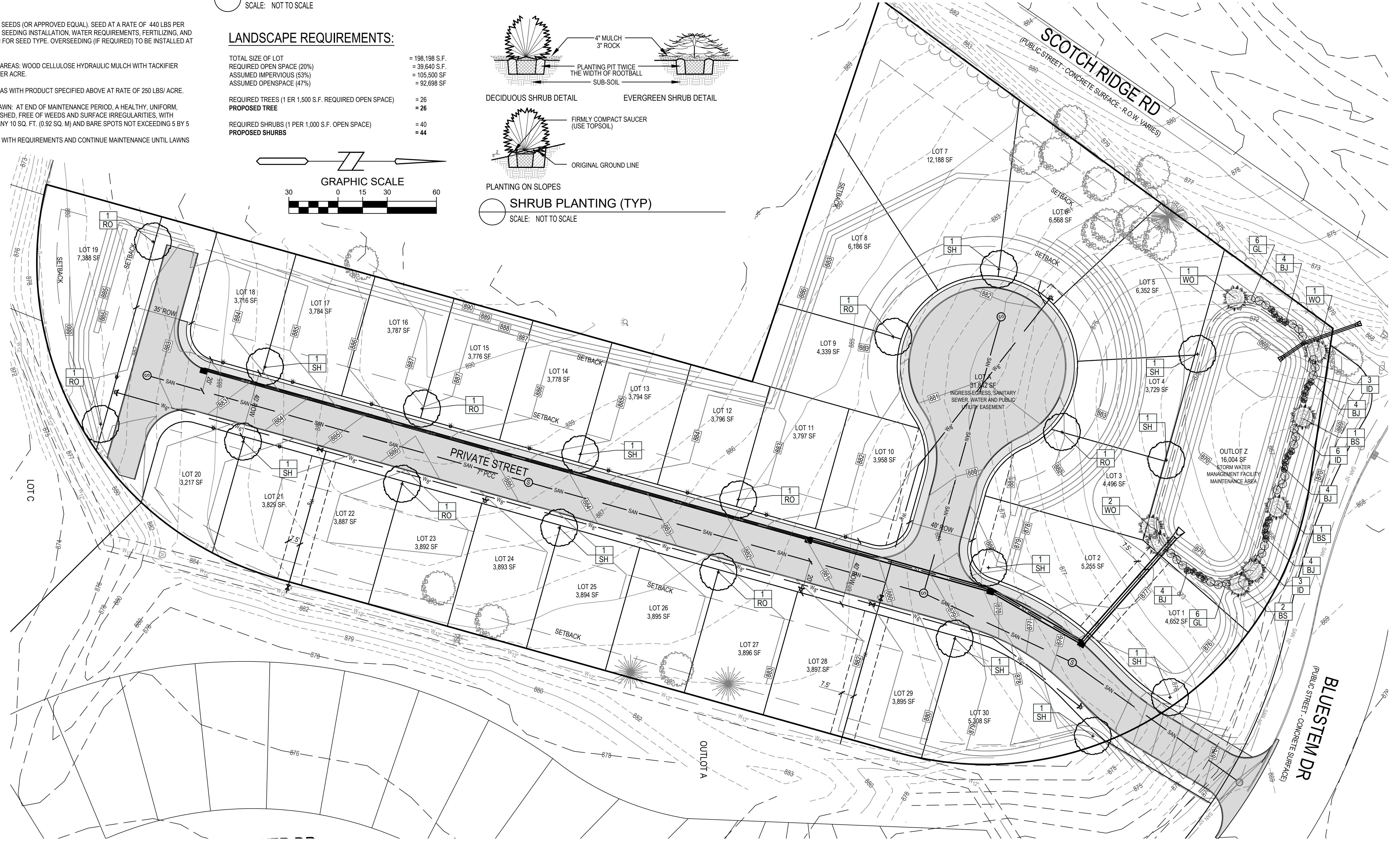
REQUIRED TREES (1 ER 1,500 S.F. REQUIRED OPEN SPACE) = 26
 PROPOSED TREE = 26

REQUIRED SHRUBS (1 PER 1,000 S.F. OPEN SPACE) = 40
 PROPOSED SHRUBS = 44



PLANTING SCHEDULE

CODE	QUAN	COMMON NAME	LATIN NAME	SIZE	ROOT	NOTES
OVERSTORY TREES						
SH	10	SKYLINE HONEYLOCUST	GLEDITSIA TRIACANTHOS 'SKYLINE'	2.0" CAL	B&B	MATCHED SPECIMENS
RO	8	RED OAK	QUERCUS RUBRA	2.5" CAL	B&B	MATCHED SPECIMENS
EVERGREEN TREES						
WP	4	WHITE PINE	PINUS STROBUS	6'	B&B	FULL FORM TO GROUND
BH	4	BLACK HILLS SPRUCE	PICEA GLAUCA DENSATA	6'	B&B	FULL FORM TO GROUND
SHRUBS						
ID	12	ISANT I DOGWOOD	CORNUS SERICEA 'ISANTI'	#5	CONT	FULL FORM - MATCHED
GL	12	GROW LO SUMAC	RHUS AROMATICA 'GROW'LOW'	#5	CONT	FULL FORM - MATCHED
BJ	20	BUFFALO JUNIPER	JUNIPERUA SABINO 'BUFFALO'	#5	CONT	FULL FORM - MATCHED



STORM WATER POLLUTION PREVENTION PLAN

PROPERTY DESCRIPTION:

(INSTRUMENT # 2021-02465)
A PARCEL OF LAND LOCATED IN AND FORMING A PART OF PARCEL "Y" ALL IN THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 77 NORTH, RANGE 23 WEST OF THE 5TH P.M., WARREN COUNTY, IOWA.

CONTAINING 4.55 ACRES, SUBJECT TO ALL EASEMENTS, RESTRICTIONS AND COVENANTS OF RECORD.

ADDRESS:
1 SCOTCHRIDGE ROAD

OWNER / PREPARED FOR:
PLS CUSTOM INTERIOR AND EXTERIOR LLC
3040 GATEWAY DRIVE
CARLISLE, IOWA 50047
RICHARD BROWN
PH: (515) 210-6206

ZONING:
INFORMATION OBTAINED FROM CARLISLE ZONING MAP
EXISTING: R-1 (LIGHT DENSITY RESIDENTIAL)
PROPOSED: PUD (PLANNED UNIT DEVELOPMENT)

FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF CARLISLE AT 515-989-3224

SITE CONTROL AND BENCHMARKS:

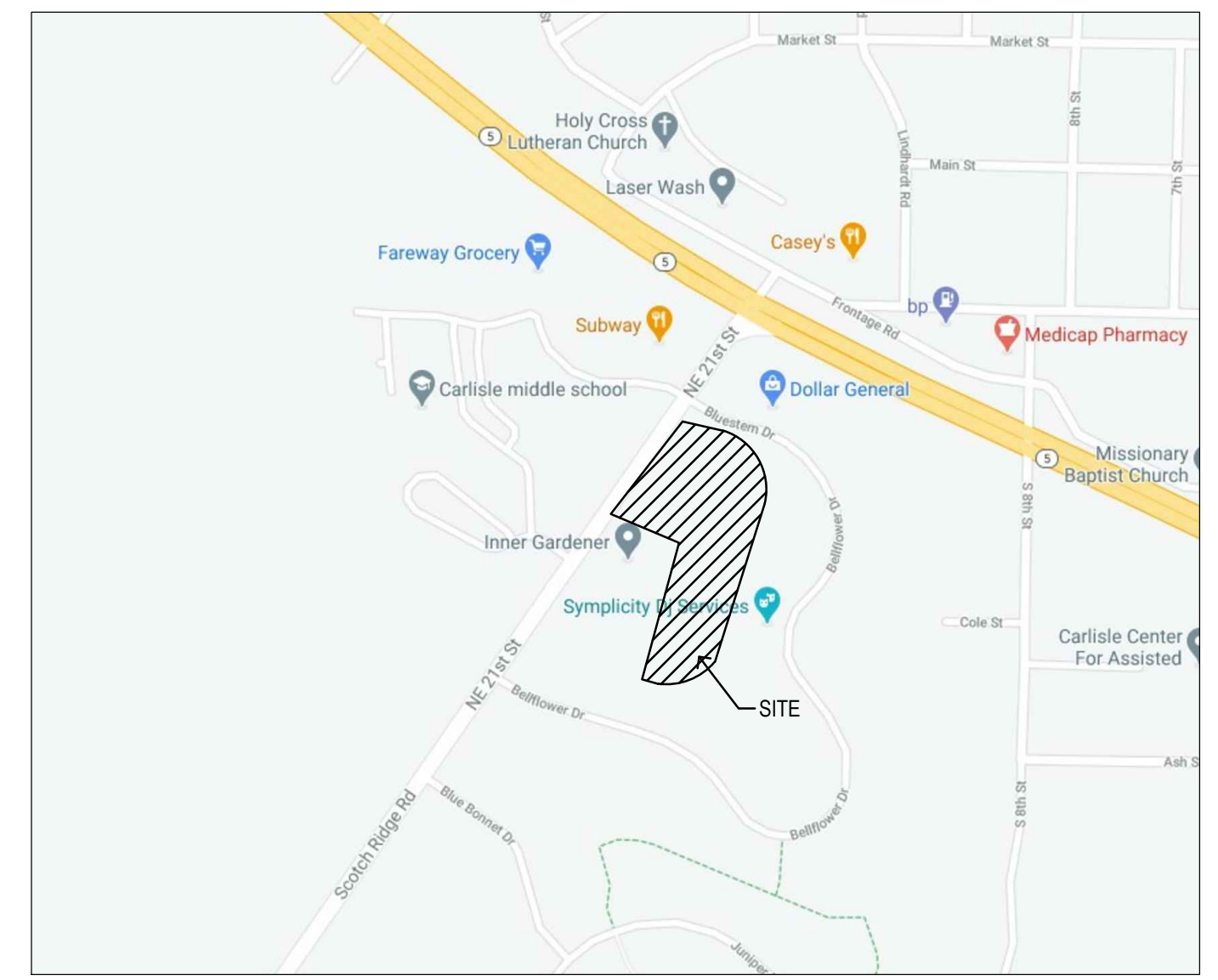
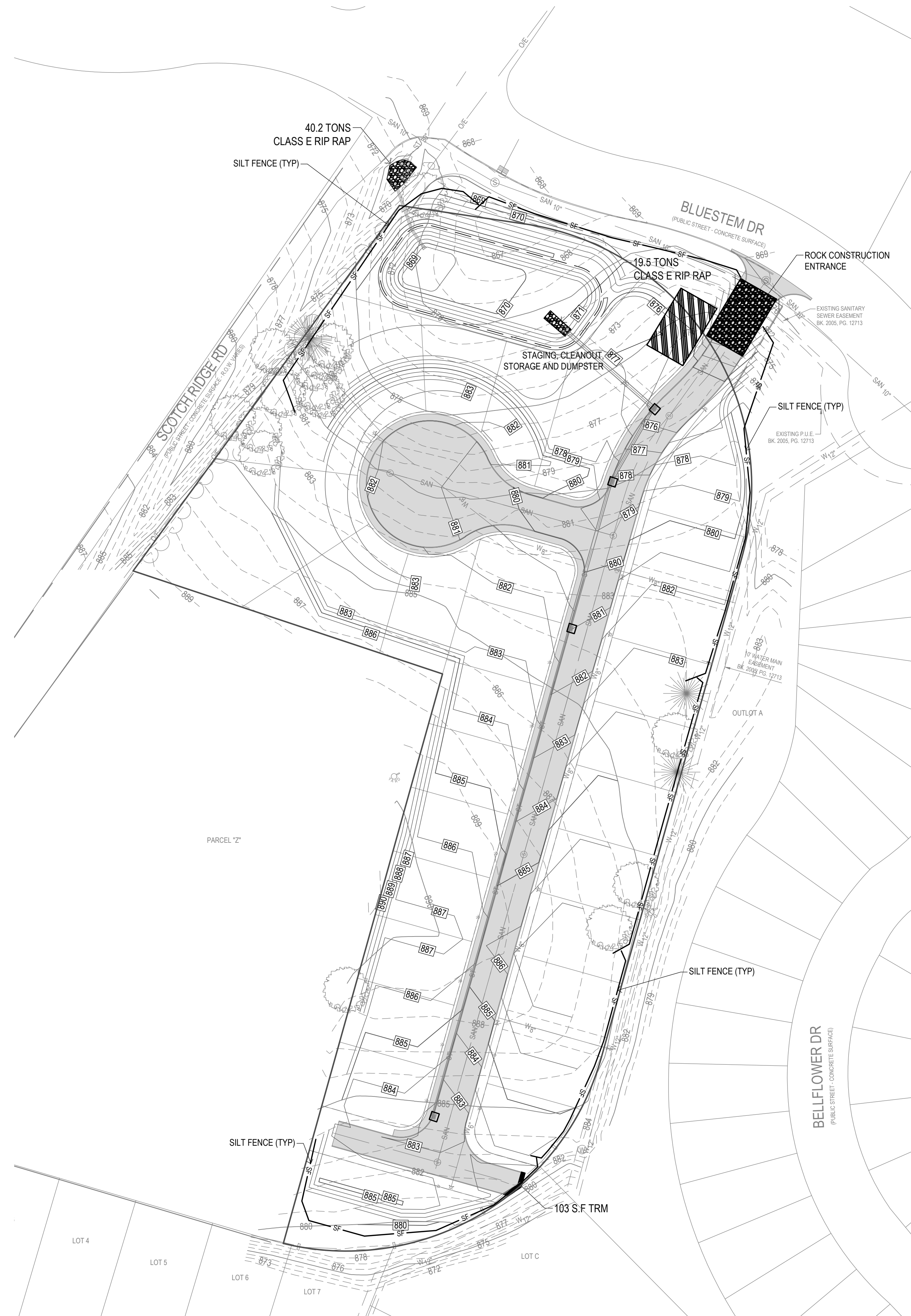
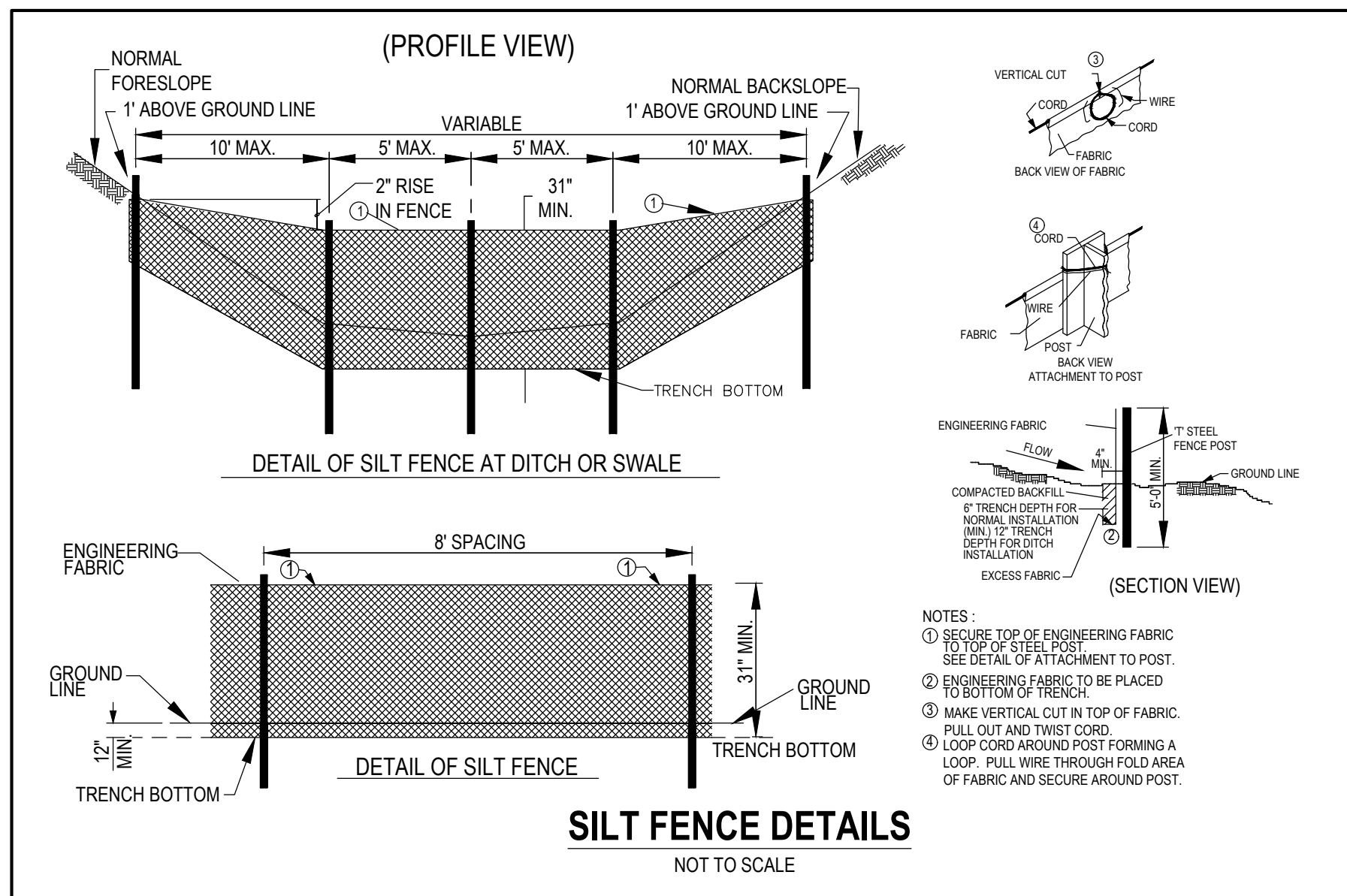
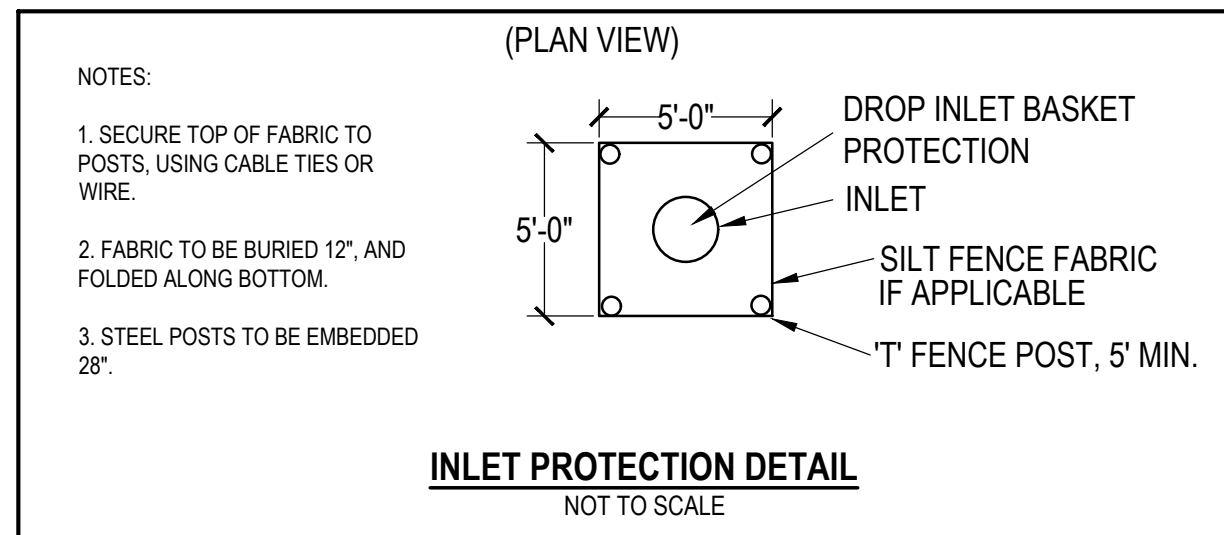
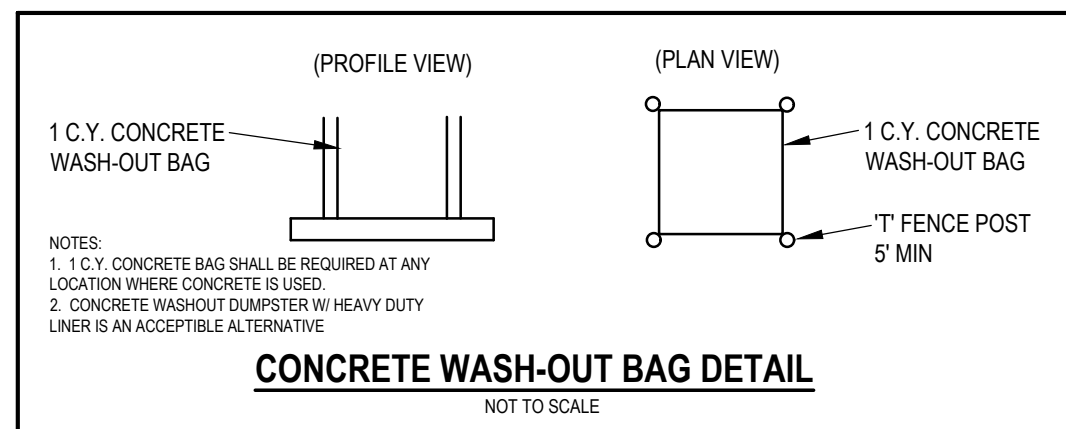
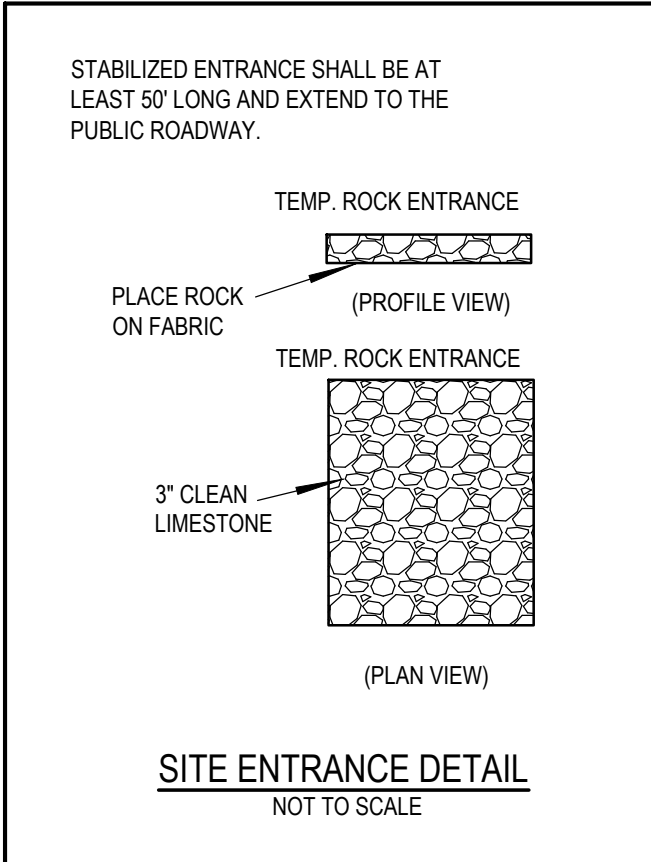
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS
DATUM = NAD 83, IOWA SOUTH
BENCHMARK DATUM = NAVD88, GEOID 18

POINT #9000
NORTHING = 545574.71
EASTING = 1641147.61
ELEVATION = 868.69
DESCRIPTION: SET 3/4" IRON PIPE WITH RPC

POINT #9001
NORTHING = 545504.86
EASTING = 1641216.18
ELEVATION = 865.92
DESCRIPTION: CUT "X"

POINT #9002
NORTHING = 544531.13
EASTING = 1640877.83
ELEVATION = 867.99
DESCRIPTION: CUT "X"

ONSITE TBM
BURY BOLT ON HYDRANT
NORTHING = 545077.45
EASTING = 1640994.56
ELEVATION = 886.02



EROSION CONTROL NOTES:

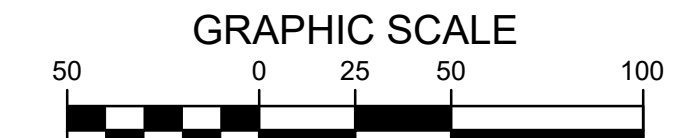
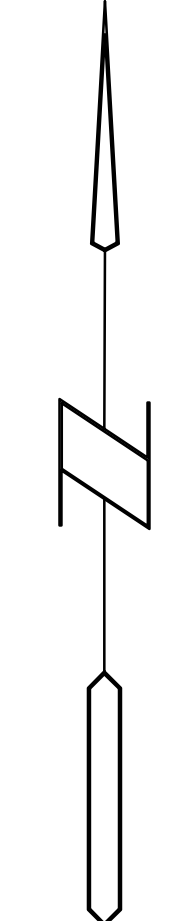
- 1. SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS AND NOTE. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
- 2. SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
- 3. INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
- 4. INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
- 5. INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
- 6. OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
- 7. CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
- 8. CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- 9. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

EROSION CONTROL REMOVAL NOTES:

- 1. AFTER FINAL STABILIZATION HAS OCCURED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO, SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.

LEGEND:

- 120- EXISTING CONTOUR
- 120- PROPOSED CONTOUR
- SF SILT FENCE
- SAN SANITARY SEWER
- ST STORM SEWER
- W WATER LINE
- G GAS LINE
- UE UNDERGROUND ELECTRIC
- O/E OVERHEAD ELECTRIC
- TELE TELEPHONE LINE
- F/O FIBER OPTIC
- CATV CABLE TV
- SM STORM MANHOLE
- CI CURB INTAKE
- SI SURFACE INTAKE
- FE FLARED END SECTION
- SM SANITARY MANHOLE
- CO CLEANOUT
- FH FIRE HYDRANT
- SP SPRINKLER
- ICV IRRIGATION CONTROL VALVE
- WM WATER MANHOLE
- WELL
- WV WATER VALVE
- WS WATER SHUT OFF
- YD YARD HYDRANT
- EM ELECTRIC MANHOLE
- EM ELECTRIC METER
- ER ELECTRIC RISER
- EV ELECTRIC VAULT
- PP POWER POLE
- TP TRANSFORMER POLE
- LP LIGHT POLE
- EJ ELECTRIC JUNCTION BOX
- EP ELECTRIC PANEL
- TR TRANSFORMER
- GL GROUND LIGHT
- GW GUY WIRE
- EH ELECTRIC HANDHOLE
- GM GAS METER
- GV GAS VALVE
- ACU AIR CONDITIONING UNIT
- TR TELEPHONE RISER
- TV TELEPHONE VAULT
- TM TELEPHONE MANHOLE
- TSM TRAFFIC SIGNAL MANHOLE
- FR FIBER OPTIC RISER
- FF FIBER OPTIC FAULT
- CR CABLE TV RISER
- SIGN



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CARLISLE COMMONS- SITE PLAN
BLUESTEM DRIVE, CARLISLE, IOWA
SWPPP

REFERENCE NUMBER:	
DRAWN BY:	BK
CHECKED BY:	DB
REVISION DATE:	04/20/2021 CITY#1 05/10/2021 CITY#2 05/14/2021 CITY#3
PROJECT NUMBER:	210080
SHEET NUMBER:	C7.1

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UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS ARE PRESENT.









