

City of Carlisle, Iowa
Planning and Zoning Commission
Regular Meeting
May 16, 2022
7:00 P.M.
City Council Chambers – 100 N. 1st Street

Join Zoom Meeting - <https://zoom.us/j/9951930479> Meeting ID: 995 193 0479

One tap mobile – Call 1-312-626-6799, enter 995 193 0479# when prompted

We encourage all videoconferencing or calling in to let staff know who you are for the record and then mute your microphone or phone until you would like to speak to provide a better overall experience.

Call to order

Determine quorum

New Business and Action Items

1. Discussion and Possible Action on Recommendation for Acquisition Plat for Public Right-of-way for Parcel AF
2. Discussion and Possible Action on Site Plan for Snap-on Warehouse at Lot 1 in Scotch Ridge Business Park Plat 3

Administrator/Engineer/Commission Reports

Adjournment

**** PLEASE NOTE THAT THIS AGENDA MAY CHANGE UP TO 24 HOURS PRIOR TO THE MEETING ****

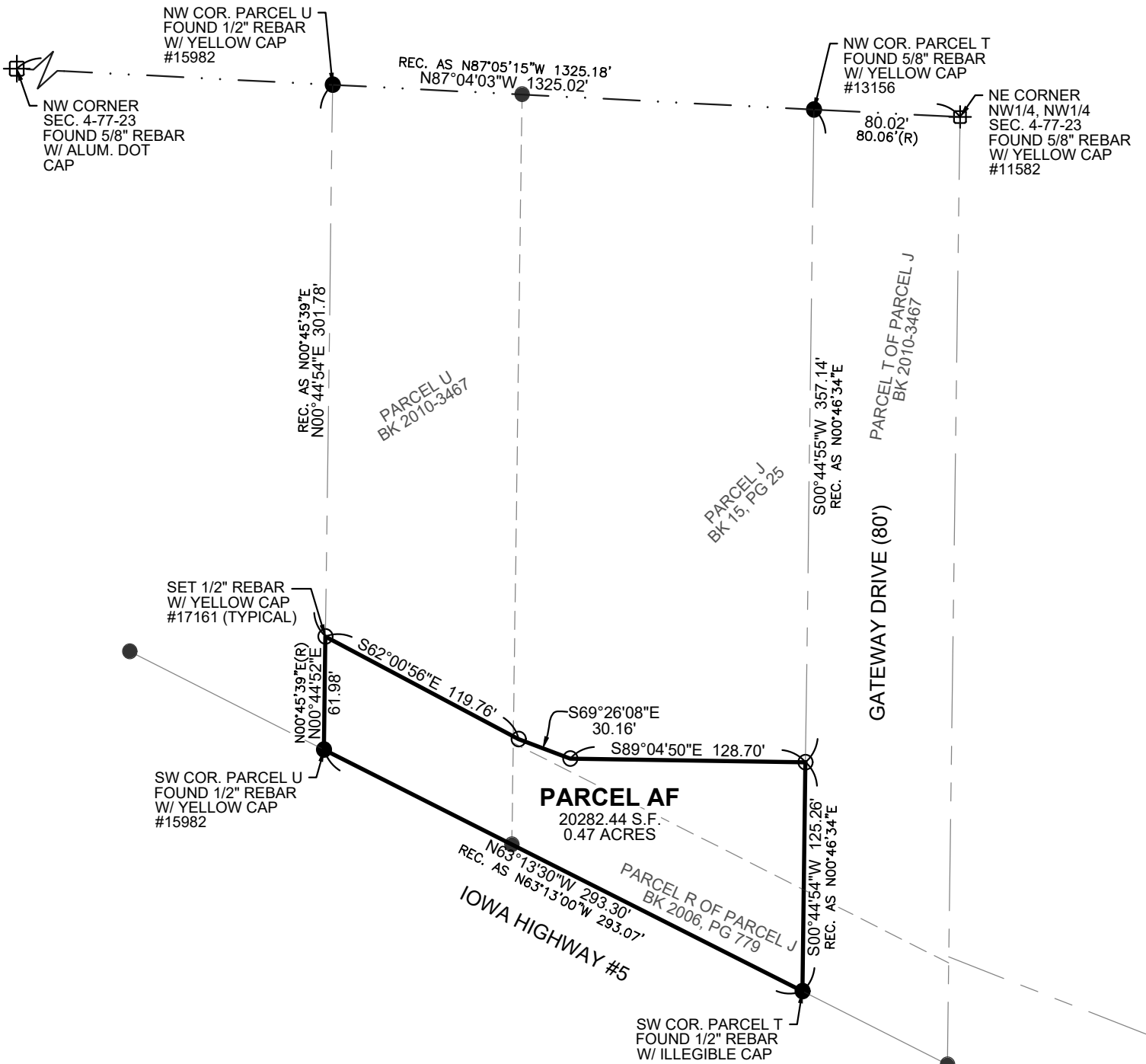
ACQUISITION PLAT

LOCATION: IN PARCELS J, R & U IN THE NW1/4, NW1/4 SEC. 4-77-23, CARLISLE, WARREN COUNTY, IOWA

PROPRIETOR: CASEY'S MARKETING COMPANY

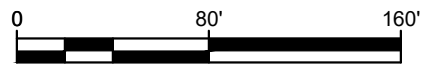
REQUESTED BY: CITY OF CARLISLE FOR ACQUISITION OF PUBLIC RIGHT OF WAY

SURVEYOR: R. BRADLEY STUMBO, PLS #17161
FOX STRAND
AMES, IA 50010
515-233-0000



Survey Description-Parcel AF:

That part of Parcel J, except Parcel T thereof, Parcel R of Parcel J and Parcel U, all in the Northwest Quarter of the Northwest Quarter of Section 4, Township 77 North, Range 23 West of the 5th P.M., City of Carlisle, Warren County, being described as follows: Commencing at the Northeast Corner of said Northwest Quarter of the Northwest Quarter; thence N87°04'03"W, 80.02 feet along the north line thereof to the Northwest Corner of said Parcel T of Parcel J, said point also being on the west line of Gateway Drive; thence S00°44'55"W, 357.14 feet along the west line thereof to the point of beginning; thence continuing S00°44'54"W, 125.26 feet to the Southwest Corner of said Parcel T of Parcel J; thence N63°13'30"W, 293.30 feet along the south line of said Parcels J and U to the Southwest Corner of said Parcel U; thence N00°44'52"E, 61.98 feet along the west line thereof; thence S62°00'56"E, 119.76 feet; thence S69°26'08"E, 30.16 feet; thence S89°04'50"E, 128.70 feet to the point of beginning, containing 0.47 acres.



STRAND ASSOCIATES
FOX Strand
414 South 17th Street, Suite 107
Ames, Iowa 50010
Phone: (515) 233-0000
FAX: (515) 233-0103

I hereby certify that this land surveying document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

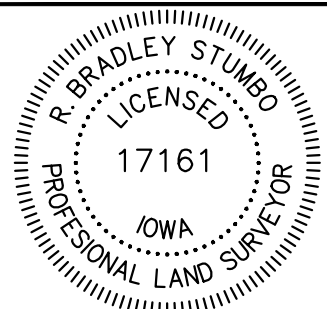
R. Bradley Stumbo

5/09/22

R. BRADLEY STUMBO, PLS
License number 17161

DATE

My license renewal date is December 31, 2023.





FOX Strand, Inc.
414 South 17th Street, Suite 107
Ames, IA 50010
(P) 513.233.0000
www.strand.com

DATE: May 13, 2022

TO: Deven Markley
City Administrator, City of Carlisle
100 N. 1st Street
Carlisle, IA 50047

RE: Snap-On Warehouse – Site Plan Review
PROJECT #7023.050

FOX Strand has completed the second review for the Snap-On Warehouse Site Plan dated May 12, 2022 and have the following comments:

General Notes (for P&Z/Council & Staff):

1. This site plan resides within a plat of survey that was previously approved by Council.
2. The Owner has stated that no sprinkling will be provided.
3. The Owner has stated that all loading areas will be interior to the building and thus, there shall be no loading area buffering requirement applied to this site (165.06, 5, F, 14).
4. The Owner has noted that they are prepared to discuss traffic that will be generated by this site as well as seasonality for traffic.
5. The Developer has stated that a sand/oil separator will be located in the building.
6. The Owner is requesting the following waivers for City Code requirements by P&Z and Council:
 - a. **Overhead Doors must not face public right of way per 165.12, 3, A.**
 - (1) ***Buildings shall not expose service areas and equipment (transformers, generators, compressors, etc.), loading areas, nonresidential overhead doors, and similar features to the public rights-of-way or to adjacent residential property.***
 - (2) ***If it is not feasible to design and orient service areas and equipment (transformers, generators, compressors, etc.), loading areas, nonresidential overhead doors, and similar features so as not to face a public right-of-way or adjacent residential property, appropriate screening walls or fences with similar design features to the building (material, shape, color, etc.), additional landscape buffering or additional setbacks shall be required.***
 - b. **Shrubs and earthen berms are required in front yards per 165.06, 5, F, 9.**

Berms should be at least 3-ft tall.
 - c. **Metal panel walls are not allowed along the east and south elevations per 165.12, 3, C.**
 - (3) ***The use of metal panels or sheet metal will not be considered an acceptable material for any primary or accessory building in any residential or commercial district. Metal panels may be used on the walls of buildings in M-1, M-2, MM-1 and RM-1 districts that do not face or that are not visible from a public right-of-way.***

Discussion is necessary as to whether the requested waivers shall be granted.

Site Plan General Comments:

7. Scotch Ridge Plat 3 (submitted but not reviewed/approved) proposes a storm sewer easement along the north line of the subject parcel and a public utility easement along the south and east lines of the subject parcel. **FOX Strand recommends** that the site plan show the proposed easements as contemplated by the initial submittal of Scotch Ridge Plat 3 and/or that an agreement is given for platting of these easements to mitigate problems in obtaining the easements during the platting of Scotch Ridge Plat 3. **Discussion is necessary** whether the City should require an agreement by the Owner to sign an agreement to provide easement as shown on Scotch Ridge Plat 3 ahead of approval of this site plan. See attached for a draft version of said final plat.
8. The fire department and building officials have yet to provide a 2nd review of the site plan. Additional comments may be coming.

Sheet C2.1 – Layout Plan Comments:

9. Please clarify the type of all proposed outdoor lighting including wallpacks. Please verify it meets 165.06, 5, I of the Carlisle Code. Please verify pole height and that the fixtures are sharp cutoff.

Sheet C3.1 – Grading Plan Comments:

10. Is there supposed to be a curb cut at the 787.87 G label near the southern entrance? Please label and provide erosion control.
11. How will the 784 contour in the NE corner of the parking area drain? This may require some coordination with Erin O. at CDA as CDA is responsible for the roadway CDs. Please show the new intake that is described on sheet C3.1.

Sheet C4.1 – Utility Plan Comments:

12. Please label the overflow elevations in the outlet structure.

Building Elevations Comments

13. Please provide elevation plans for review that shows ALL sides of the structure. Please state the color and type of building materials for all sides. Please clarify the height of the building and aesthetic features shown on your rendering.
14. It is highly recommended that you bring detailed building materials and color schemes with you to P & Z and Council for discussion.

Please provide a response letter addressing all comments from this review letter and/or state what was modified to address comments.

SITE PLAN REVIEW SCHEDULE:

PLANNING & ZONING: May 16, 2022 at 7:00 at the Carlisle City Hall

COUNCIL MEETING: May 23, 2022 at 6:30 at the Carlisle City Hall

If you have any questions or concerns, please contact Mitch Holtz. We reserve the right to modify and/or add to these comments.



Mitch Holtz, P.E.

Attachments: Draft – Scotch Ridge Plat 3 Final Plat

Copy to: Deven Markley, City Administrator



May 12, 2022

Honorable Mayor, City Council and Plan and Zoning Commission
195 N. 1st Street
Carlisle, Iowa 50047
ATTN: Deven Markley

Re: Waiver Request
Snap-On Warehouse Site Plan (BE #220102)

Dear Honorable Mayor, City Council and Plan and Zoning Commission Members:

On behalf of Trent Thompson, we respectfully request a permanent waiver to allow for nonresidential overhead doors to face the public ROW and waive any earthen berm requirements per City Code for the proposed Snap-On Warehouse development.

The Snap-On Warehouse Site Plan proposes developing the southeast 0.72-acre area of Parcel 2022-8 located in "part of Outlot Z Scotch Ridge Business Park Plat 1". The land is currently undeveloped and zoned to M-1 "Light Industrial" with adjacent lots being similarly zoned as commercial or industrial.

With the similar usage in this area along with accommodating vehicle circulation, preserving the remainder of the parcel for future expansion/development and accommodating the proposed detention basin at the Southwest corner of the lot, the owner requests that the proposed landscaping supplement for the earthen berm and screen for the overhead doors.

We appreciate your time and consideration of this waiver request and look forward to any further discussion at your regular meetings. Please do not hesitate to contact me if you have any questions or concerns.

Respectfully Submitted,

Seth Sunderman, Project Manager
Bishop Engineering

SCOTCH RIDGE PLAT 3

FINAL PLAT

INDEX LEGEND
 LOCATION: OUTLOT 'Z', SCOTCH RIDGE BUSINESS PARK PLAT 1, EXCEPT PARCEL '2022-8'
 REQUESTOR: SCOTCH RIDGE LLC
 PROPRIETOR: SCOTCH RIDGE LLC, 544 4TH STREET, WEST DES MOINES, IA 50265-4620
 SURVEYOR: MICHAEL A. BROONER
 SURVEYOR COMPANY: CIVIL DESIGN ADVANTAGE
 PREPARED BY & RETURN TO: CIVIL DESIGN ADVANTAGE, 4121 NW URBANDALE DRIVE, URBANDALE, IA 50322, PH: 515-369-4400

OWNER / APPLICANT

SCOTCH RIDGE LLC
 544 4TH STREET
 WEST DES MOINES, IA 50265-4620

ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE
 4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PH: 515-369-4400

DATE OF SURVEY

APRIL 25, 2022

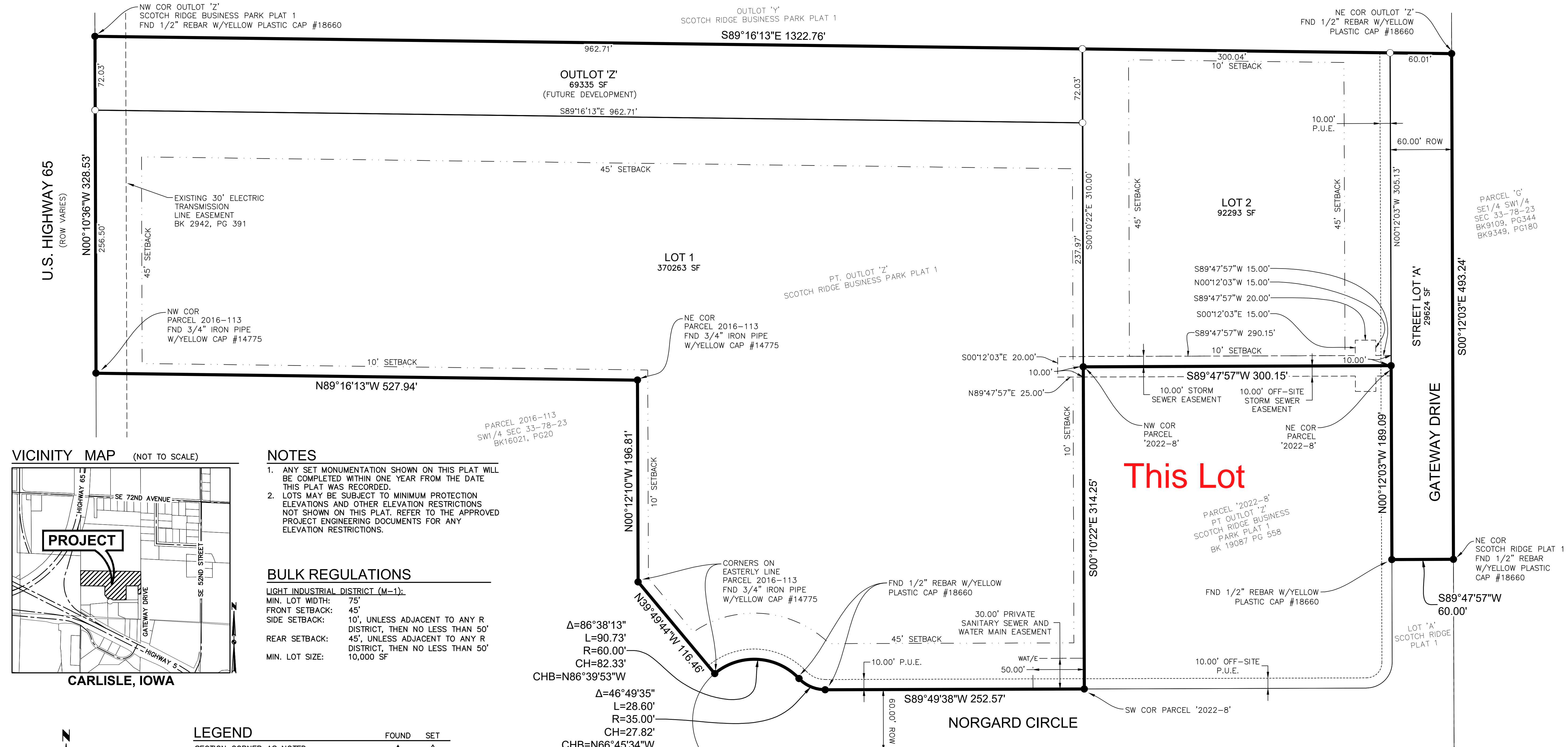
ZONING

EXISTING: C-2: COMMERCIAL DISTRICT
 PROPOSED: M-1: LIGHT INDUSTRIAL DISTRICT

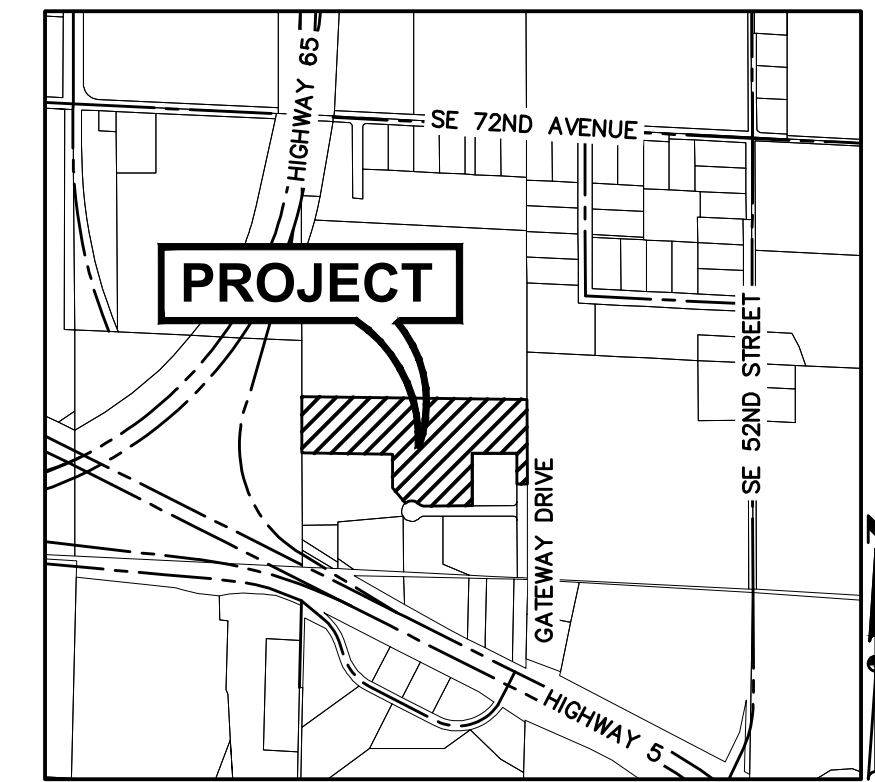
PLAT DESCRIPTION

OUTLOT 'Z', SCOTCH RIDGE BUSINESS PARK PLAT 1, AN OFFICIAL PLAT IN THE CITY OF CARLISLE, POLK COUNTY, IOWA, EXCEPT PARCEL '2022-8' OF SAID OUTLOT 'Z' AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 19087, PAGE 558.

THE PROPERTY CONTAINS 12.89 ACRES (561,515 SQUARE FEET) AND IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.



VICINITY MAP (NOT TO SCALE)



NOTES

- ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE COMPLETED WITHIN ONE YEAR FROM THE DATE THIS PLAT WAS RECORDED.
- LOTS MAY BE SUBJECT TO MINIMUM PROTECTION ELEVATIONS AND OTHER ELEVATION RESTRICTIONS NOT SHOWN ON THIS PLAT. REFER TO THE APPROVED PROJECT ENGINEERING DOCUMENTS FOR ANY ELEVATION RESTRICTIONS.

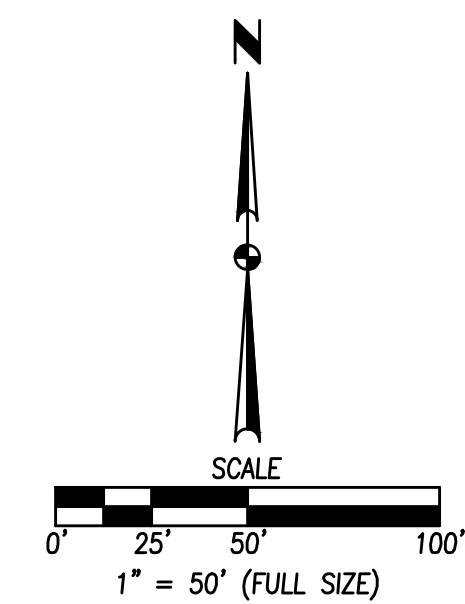
BULK REGULATIONS

LIGHT INDUSTRIAL DISTRICT (M-1):

- MIN. LOT WIDTH: 75'
- FRONT SETBACK: 45'
- SIDE SETBACK: 10', UNLESS ADJACENT TO ANY R DISTRICT, THEN NO LESS THAN 50'
- REAR SETBACK: 45', UNLESS ADJACENT TO ANY R DISTRICT, THEN NO LESS THAN 50'
- MIN. LOT SIZE: 10,000 SF

LEGEND

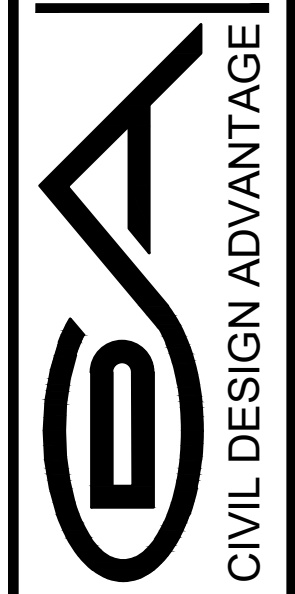
	FOUND	SET
SECTION CORNER AS NOTED	●	△
1/2" REBAR, YELLOW PLASTIC CAP #15980 (UNLESS OTHERWISE NOTED)	●	○
MEASURED BEARING & DISTANCE	M	
RECORDED BEARING & DISTANCE	R	
DEEDED BEARING & DISTANCE	D	
PUBLIC UTILITY EASEMENT	P.U.E.	
CURVE ARC LENGTH	AL	
LOT ADDRESS	(1234)	
CENTERLINE	---	
SECTION LINE	---	
EASEMENT LINE	---	
BUILDING SETBACK LINE	---	
PLAT BOUNDARY	---	



FILE: H:\2022\2202023\2202023-FINAL PLAT.DWG
 COMMENT: 2202023-04-25-15:30
 PLOTTED BY: ERIC CALLENBERG
 DATE: 4/29/2022 3:27 PM

DATE	REVISIONS	FIRST SUBMITTAL
04/29/22		

4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400



CIVIL DESIGN ADVANTAGE
 CARLISLE, IOWA

SCOTCH RIDGE PLAT 3
 FINAL PLAT

2201.023

PRELIMINARY

NOT FOR CONSTRUCTION

MICHAEL A. BROONER
 LICENSE NUMBER 15980
 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2022
 PAGES OR SHEETS COVERED BY THIS SEAL:

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

MICHAEL A. BROONER, P.L.S. DATE _____
 LICENSE NUMBER 15980
 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2022
 PAGES OR SHEETS COVERED BY THIS SEAL: _____

THIS SHEET

SNAP-ON WAREHOUSE SITE IMPROVEMENT PLANS

SHEET INDEX:

- C0.1 COVER SHEET
- C1.1 EX. CONDITIONS & DEMO PLAN
- C2.1 LAYOUT PLAN
- C3.1 GRADING PLAN
- C4.1 UTILITY PLAN
- C5.1 LANDSCAPE PLAN
- C6.1 DETAILS SHEET
- C7.1 SWPPP

PROPERTY DESCRIPTION:

A PART OF OUTLOT 2, SCOTCH RIDGE BUSINESS PARK PLAT 1, AN OFFICIAL PLAT IN THE CITY OF CARLISLE, POLK COUNTY, IOWA.

SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

AREA:
94,203 SQUARE FEET - 2.16 ACRES

OWNER:
SCOTCH RIDGE LLC
544 4TH STREET
WEST DES MOINES, IOWA 50265

PREPARED FOR:
SNAP-ON
ATTN: TRENT THOMPSON
PHONE #: 515-689-0048

ZONING:
INFORMATION OBTAINED FROM CITY OF CARLISLE ZONING MAP
C-2 HIGHWAY COMMERCIAL DISTRICT
BUILDING HEIGHT = 35' MAX
FRONT SETBACK = 45'
SIDE & REAR SETBACK = 0'

FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF CARLISLE AT 515-989-3224

PARKING REQUIREMENTS:

1 STALL PER REGULAR EMPLOYEE (4 REGULAR EMPLOYEES)
1 STALL PER REGULAR CUSTOMER (1 REGULAR CUSTOMER)
TOTAL STALLS REQUIRED = 5 STALLS
TOTAL STALL PROVIDED = 5 STALLS (1 NC. 1HC STALLS)

OPEN SPACE/IMPERVIOUS REQUIREMENTS:

TOTAL SITE AREA = 94,203 S.F. (2.16 AC)
REQUIRED OPEN SPACE = 18,841 S.F. (20%)
EXISTING OPEN SPACE = 93,903 S.F. (99.7%)
EXISTING IMPERVIOUS = 300 S.F. (0.3%)

PROPOSED OPEN SPACE = 74,709 S.F. (79.3%)
PROPOSED IMPERVIOUS = 19,494 S.F. (20.7%)

NET INCREASE IMPERVIOUS AREA = 19,194 S.F. (0.44 ACRES)

SITE CONTROL AND BENCHMARKS:

BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS
DATUM = NAD 83, IOWA SOUTH
BENCHMARK DATUM = NAVD88, GEOID 18

POINT #9000
NORTHING = 550,580.43
EASTING = 1,636,260.02
ELEVATION = 787.87
DESCRIPTION: REBAR BASE

POINT #9006
NORTHING = 550,558.17
EASTING = 1,635,860.28
ELEVATION = 789.50
DESCRIPTION: CUT "X" IN MANHOLE RIM

UTILITY MAPS PROVIDED BY:

- ELECTRIC (MIDAMERICAN ENERGY) / (515) 252-6632
- FIBER OPTIC (MEDIACOM) / (515) 246-6668



GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH SUDAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF CARLISLE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF CARLISLE.
- GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
- THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.

PAVING NOTES:

- THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SEEDED IN ACCORDANCE WITH CITY OF CARLISLE STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SUDAS.
- SUBGRADE PREPARATION AND PAVEMENTS WILL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUB BASE PRIOR TO ANY PAVEMENT BEING PLACED.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVELED PATH MUST HAVE A.D.A. DETECTABLE WARNING PANEL(S) AS PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

UTILITY NOTES:

- QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH AS-BUILT TOPO OF DETENTION POND & DETENTION POND STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING BISHOP ENGINEERING (AT 515-276-0467) TO PERFORM SAID AS-BUILT SURVEY. IF DETENTION PONDS HAVE BEEN GRADED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT TOPO SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
- ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
- ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
- SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2%. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATERMAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING.
- MANDREL AND PRESSURE TESTS SHALL BE REQUIRED FOR ALL PROPOSED SANITARY LINES. TELEVISION OF THE SANITARY SEWER SYSTEM SHALL BE COMPLETED PRIOR TO PAVING UNLESS OTHERWISE APPROVED BY JURISDICTION.
- WATERMANS SHALL BE C-900. SIZE OF WATERMAIN AS SHOWN ON PLANS.
- THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
- PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF CARLISLE.
- TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF CARLISLE WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- THE MINIMUM HYDRANT LEAD SHALL BE 3.5 FEET.

UTILITY CONFLICT NOTES:

- UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION

WETLAND NOTES:

- BISHOP ENGINEERING DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

SURVEY NOTES:

- SURVEY WORK WAS COMPLETED BY BISHOP ENGINEERING ON 04-19-2022.

CITY OF CARLISLE STANDARD NOTES:

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF CARLISLE SUPPLEMENTAL SPECIFICATIONS.
- A PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING WITH THE CITY OF CARLISLE & FOX ENGINEERING.
- THE CITY OF CARLISLE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK. CALL CITY OF CARLISLE (TOMMY THOMPSON 515-505-4299) & FOX ENGINEERING (JOHN GADE 515-233-0000).
- ALL PERMITS (IDNR, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- ALL UTILITY CONTRACTORS AND/OR OWNERS SHALL BE RESPONSIBLE TO PROVIDE THE CITY OF CARLISLE WITH "AS-BUILT" DRAWINGS OF ALL IMPROVEMENTS.
- ALL SIGNAGE SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR.
- ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS.

SANITARY SEWER NOTES:

- THE CONTRACTOR IS REQUIRED TO PLACE A TEMPORARY PLUG IN THE EXISTING DOWNSTREAM SANITARY SEWER MANHOLE PRIOR TO THE START OF CONSTRUCTION. THE PLUG SHALL BE REMOVED FOLLOWING APPROVAL OF CONSTRUCTION BY THE CITY OF CARLISLE.
- SANITARY GRAVITY PIPE MATERIAL SHALL BE PVC SDR 26 OR TRUSS (8" TO 15").
- SANITARY GRAVITY SERVICE PIPE MATERIAL SHALL BE PVC SDR 23.5 (4" TO 6").
- ALL SANITARY SEWER MANHOLES CASTINGS SHALL BE SEALED WITH INTERIOR CHIMNEY SEALS. IN ADDITION, THE MINIMUM SPACER RING SIZE IS 4-INCHES AND THE MAXIMUM NUMBER OF SPACER RINGS SHALL NOT EXCEED 12-INCHES.
- ALL SANITARY SEWER MANHOLES SHALL HAVE STEPS.
- ALL SANITARY SEWER MANHOLE CASTINGS LOCATED WITHIN PAVEMENT SHALL BE BOXED OUT.
- MANDREL AND PRESSURE TESTS ARE REQUIRED FOR ALL SANITARY SEWER LINES (8" AND ABOVE) PRIOR TO PAVING. IN ADDITION, ALL SANITARY SEWER LINES SHALL BE TELEVISED. THE SEWER SYSTEM SHALL BE FLUSHED WITH WATER PRIOR TO TELEVISION.

WATER MAIN NOTES:

- ALL FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURION 250 (3-WAY A-423), 6" MJ SHOE, 2-1/2" HOSE NOZZLE, 4-1/2" STEAMER NOZZLE, NST THREADS, PENTAGON OPERATING NUT, CHAIN ON CAP, OPEN LEFT, AND FACTORY PAINTED RED. THE MINIMUM HYDRANT LEAD SHALL BE 2-FEET.
- ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF CARLISLE WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- A TRACER WIRE RECEPTACLE SHALL BE INSTALLED AT EACH HYDRANT (FLUSH MOUNT VALVCO OR APPROVED EQUAL).
- TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN.
- ALL VALVES SHALL BE RESILIENT WEDGE GATE VALVES.
- WATER SERVICE SHALL BE 1-INCH MINIMUM TYPE K COPPER.
- THE CONTRACTOR IS RESPONSIBLE FOR PRESSURE TESTING, CHLORINATION, AND BACTERIA TEST.

STORM SEWER NOTES:

- ALL STORM SEWER IN THE ROW SHALL BE RCP, UNLESS OTHERWISE APPROVED BY THE CITY.
- ALL FLARED END SECTIONS SHALL HAVE FOOTINGS AND APRON GRATES. THE LAST 3 PIPE SECTIONS AND THE FLARED END SECTION ON ALL CULVERTS SHALL BE TIED. ALL STORM SEWER JOINTS SHALL BE WRAPPED WITH ENGINEERING FABRIC.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY FIELD TILE DAMAGED DURING CONSTRUCTION. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES.
- ALL SUMP SERVICE LINES SHALL HAVE TRACER WIRE.
- ALL RIP-RAP SHALL BE UNDERLAIN WITH ENGINEERING FABRIC AS SPECIFIED IN THE URBAN SPECIFICATIONS.

UTILITY CONFLICT NOTES:

- UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION.
- CONTRACTOR SHALL USE O-RING GASKET JOINTS FOR STORM SEWER AND SANITARY SEWER AT CROSSINGS WITH WATER WHERE STORM OR SANITARY SEWER CROSSED OVER OR LESS THAN 18 INCHES BELOW WATER. O-RING GASKET JOINTS SHALL BE EXTENDED UNTIL WATER AND SEWER ARE AT LEAST 10 FEET APART. ALL O-RING GASKET JOINTS SHALL BE CONSIDERED INCIDENTAL TO BID. IF N-12 PIPE IS USED FOR STORM SEWER, CONTRACTOR SHALL USE WATER-TIGHT N-12 PIPE, CENTERED ON THE CROSSING.
- FOR ALL CRITICAL CROSSINGS WITH EXISTING UTILITIES, THE ELEVATION OF THE EXISTING UTILITY SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. NOTIFY BISHOP ENGINEERING PRIOR TO CONSTRUCTION IF A CONFLICT EXISTS.

STAKING NOTES:

- CONTRACTOR IS REQUIRED TO HAVE ALL STAKING DONE UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR AND IN COORDINATION WITH THE PROJECT ENGINEER.
- CONTRACTOR IS REQUIRED TO HAVE ALL STAKING DONE DIRECTLY UNDER THE GENERAL CONTRACTOR BY A SINGLE COMPANY.
- STAKING DOES NOT RELIEVE CONTRACTOR OF ULTIMATE RESPONSIBILITY TO CONSTRUCT THE PROJECT PER PLAN.

PAVEMENT SAWCUT NOTES:

- CONTRACTOR TO PROVIDE SAWCUT JOINTING PLAN TO SETH SUNDERMAN, BISHOP ENGINEERING (515-276-0467) OR SSUNDERMAN@BISHOPENGR.COM PRIOR TO ANY CONCRETE PAVEMENT INSTALLATION.
- PAVEMENT MAY BE REQUIRED TO BE REMOVED AND REPLACED IF PLACED WITHOUT AN APPROVED PLAN.
- LONGITUDINAL JOINTS IN DRIVE LANES & THE OUTER MOST JOINT OF ALL PARKING AREAS SHALL BE SUDAS TYPE L-1' OR L-2' JOINTS AND HAVE STEEL INTERIOR PARKING LOT JOINTS, OTHER THAN THE OUTER MOST JOINT, DO NOT NEED STEEL AND SHALL BE SUDAS TYPE 'B' JOINTS.
- ALL TRANSVERSE JOINTS SHALL BE SUDAS TYPE 'C' OR TYPE 'DW' JOINTS WITH STEEL IN THE CASE OF A DAY'S WORK JOINT.

PAVEMENT PLACEMENT NOTES:

- SEE PROJECT SPECIFICATION SECTION 32 13 13 FOR LASER SCREED REQUIREMENTS.



VICINITY MAP
SCALE: 1" = 1,000'

SPECIFICATIONS NOTES:

- IN THE EVENT OF A DISCREPANCY BETWEEN THE SNAP-ON WAREHOUSE PROJECT SPECIFICATIONS AND CITY OF CARLISLE REQUIREMENTS AND SPECIFICATIONS, PLUMBING CODE, AND URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENT (SUDAS 2022), THE CITY OF CARLISLE STANDARD SPECIFICATIONS SHALL GOVERN.
- FOR ALL SPECIFICATION DISCREPANCIES, PROJECT ENGINEER SHALL BE CONTACTED PRIOR TO PROCEEDING WITH CONSTRUCTION. IF ENGINEER IS NOT CONTACTED, CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PROBLEMS THAT RESULT FROM SAID DISCREPANCIES.
- FOR ALL SPECIFICATION DISCREPANCIES, CONTRACTOR MUST OBTAIN WRITTEN APPROVAL FROM THE CITY OF CARLISLE ENGINEERING DEPARTMENT FOR ANY CHANGES TO PROPOSED SITE INFRASTRUCTURE OR GRADES PRIOR TO PROCEEDING WITH ANY CHANGES.

REQUIRED AS-BUILT NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COST OF AS-BUILT TOPO OF ALL DETENTION PONDS & DETENTION POND STORM SEWER.
- CONTRACTOR SHALL CONTACT BISHOP ENGINEERING (SETH SUNDERMAN AT 515-276-0467) TO PERFORM SAID AS-BUILT SURVEYS.
- IF ANYTHING HAS BEEN CONSTRUCTED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.

EARTHWORK BALANCE NOTES:

- SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY. CONTRACTOR RESPONSIBLE FOR MAKING THE SITE EARTHWORK BALANCE.
- THIS INCLUDES BUT IS NOT LIMITED TO TOPSOIL, POOR SOILS AND STRUCTURAL FILL NECESSARY TO MEET PROJECT PLANS AND SPECIFICATIONS.

STORM & SANITARY TELEVISION NOTES:

- CONTRACTOR IS REQUIRED TO TELEVISION ALL SANITARY AND STORM SEWER SYSTEM PRIOR TO PAVING OPERATIONS.
- CONTRACTOR SHALL SEND VIDEO INSPECTION TO THE ENGINEER FOR APPROVAL PRIOR TO PAVING.
- CONTRACTOR SHALL PROVIDE COPIES OF THE REPORTS AND VIDEOS TO THE CARLISLE ENGINEERING DEPARTMENT FOR APPROVAL PRIOR TO PAVING.

SWPPP NOTES:

- STORM WATER POLLUTION PREVENTION PLAN HAS BEEN PREPARED BY BISHOP ENGINEERING. CONTACT GOWIN AGBLEZE (515-276-0467) FOR A COPY OF THE SWPPP.
- THIS PROJECT INCLUDES SAWCUTTING OR CONCRETE GRINDING SO PROTECTION OF STORM SEWERS AND DRAINAGE WAYS WILL NEED TO BE PROVIDED FROM SLURRY FROM THE CONCRETE OPERATIONS. SEE SWPPP SHEET FOR ADDITIONAL DETAILS.

GEOTECHNICAL REPORT:

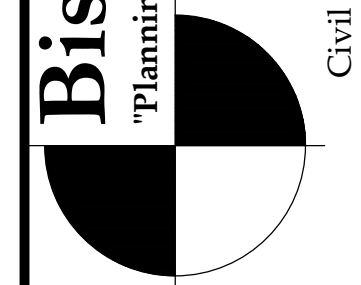
- GEOTECHNICAL REPORT FOR SITE WAS NOT PROVIDED BY OWNER.
- THE DESIGN AND SPECIFICATIONS IN THE APPROVED CONSTRUCTION DOCUMENTS ARE BASED ON TYPICAL CONDITIONS AND ARE NOT BASED ON RECOMMENDATIONS FROM SITE SPECIFIC GEOTECHNICAL REPORT.
- THE RECOMMENDED DESIGN AND SPECIFICATIONS HAVE BEEN APPROVED BY THE OWNER.
- ANY RECOMMENDATIONS MADE BY THE OWNER'S SELECTED GEOTECHNICAL FIRM SHALL GOVERN.

ABBREVIATIONS:

AC	ACRES	SAN	SANITARY
ASPH	ASPHALT	ST	STORM SEWER
BK	BOOK	W	WATER LINE
CONC	CONCRETE	G	GAS LINE
D	DEEDED DISTANCE	UE	UNDERGROUND ELECTRIC
EX	EXISTING	O/E	OVERHEAD ELECTRIC
ENCL	ENCLOSURE	TELE	TELEPHONE LINE
FF	FINISHED FLOOR	FO	FIBER OPTIC
FL	FLOW LINE	CATV	CABLE TV
FRAC	FRACTIONAL	SM	STORM MANHOLE
M	MEASURED DISTANCE	CI	CURB INTAKE
MH	MANHOLE	SI	SURFACE INTAKE
OPC	ORANGE PLASTIC CAP	FLS	FLARED END SECTION
P	PLATTED DISTANCE	S	SANITARY MANHOLE
PG	PAGE	CN	CLEANOUT
POB	POINT OF BEGINNING	FH	FIRE HYDRANT
POC	POINT OF COMMENCEMENT	SP	SPRINKLER
PRA	PREVIOUSLY RECORDED AS	ICV	IRRIGATION CONTROL VALVE
PUE	PUBLIC UTILITY EASEMENT	WM	WATER MANHOLE
ROW	RIGHT OF WAY	W	WELL
RPC	RED PLASTIC CAP	WV	WATER VALVE
SF	SQUARE FEET	WSO	WATER SHUT OFF
SAN	SANITARY	YH	YARD HYDRANT
TYP	TYPICAL	EM	ELECTRIC MANHOLE
YPC	YELLOW PLASTIC CAP	EMR	ELECTRIC METER
N	NORTH	ER	ELECTRIC RISER
S	SOUTH	EV	ELECTRIC VAULT
E	EAST	P	POWER POLE
W	WEST	TP	TRANSFORMER POLE
		L	LIGHT POLE
		EJC	ELECTRIC JUNCTION BOX
		EP	ELECTRIC PANEL
		T	TRANSFORMER
		G	GROUND LIGHT
		GW	GUY WIRE
		EH	ELECTRIC HANDHOLE
		GM	GAS METER
		GV	GAS VALVE
		ACU	AIR CONDITIONING UNIT
		TR	TELEPHONE RISER
		TV	TELEPHONE VAULT
		TMH	TELEPHONE MANHOLE
		TSM	TRAFFIC SIGNAL MANHOLE
		FOM	FIBER OPTIC MANHOLE
		FORS	FIBER OPTIC RISER
		FOTV	FIBER OPTIC VAULT
		CTV	CABLE TV RISER
		S	SIGN
		B	BOLLARD
		N	DENOTES NUMBER OF PARKING STALLS
		PC	PROPERTY CORNER - FOUND AS NOTED
		PP	PROPERTY CORNER- PLACED AS NOTED
		SC	SECTION CORNER - FOUND AS NOTED

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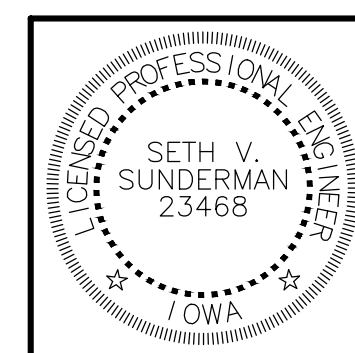
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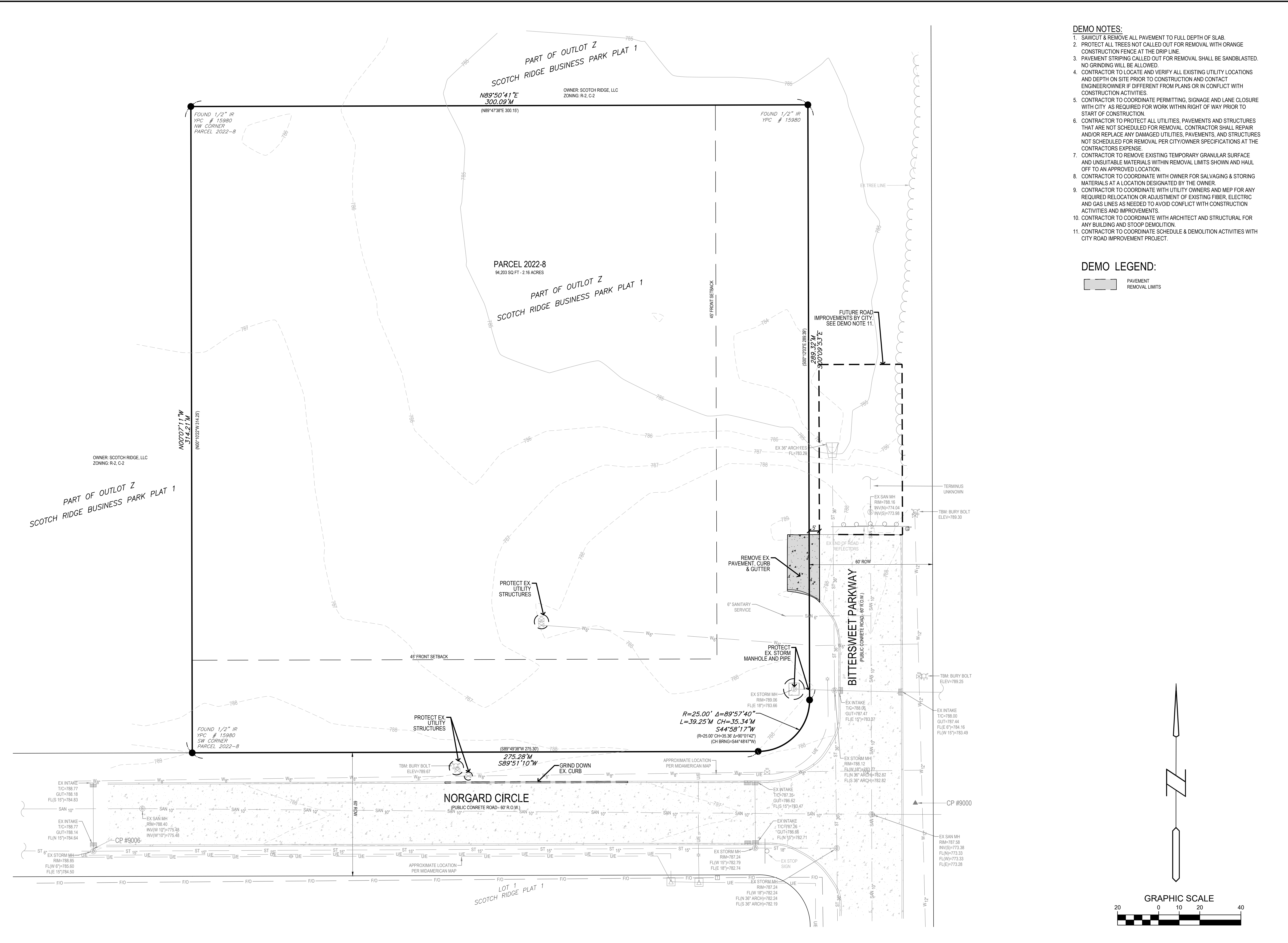
SIGNED: SETH V. SUNDERMAN, P.E. 23468 DATE:

LICENSE RENEWAL DATE: DEC. 31, 2023
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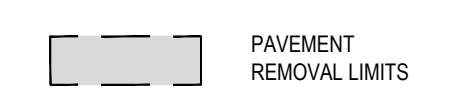
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DEMO NOTES:

1. SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.
2. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE.
3. PAVEMENT STRIPING CALLED OUT FOR REMOVAL SHALL BE SANDBLASTED. NO GRINDING WILL BE ALLOWED.
4. CONTRACTOR TO LOCATE AND VERIFY ALL EXISTING UTILITY LOCATIONS AND DEPTH ON SITE PRIOR TO CONSTRUCTION AND CONTACT ENGINEER/OWNER IF DIFFERENT FROM PLANS OR IN CONFLICT WITH CONSTRUCTION ACTIVITIES.
5. CONTRACTOR TO COORDINATE PERMITTING, SIGNAGE AND LANE CLOSURE WITH CITY AS REQUIRED FOR WORK WITHIN RIGHT OF WAY PRIOR TO START OF CONSTRUCTION.
6. CONTRACTOR TO PROTECT ALL UTILITIES, PAVEMENTS AND STRUCTURES THAT ARE NOT SCHEDULED FOR REMOVAL. CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY DAMAGED UTILITIES, PAVEMENTS, AND STRUCTURES NOT SCHEDULED FOR REMOVAL PER CITY/OWNER SPECIFICATIONS AT THE CONTRACTORS EXPENSE.
7. CONTRACTOR TO REMOVE EXISTING TEMPORARY GRANULAR SURFACE AND UNSUITABLE MATERIALS WITHIN REMOVAL LIMITS SHOWN AND HAUL OFF TO AN APPROVED LOCATION.
8. CONTRACTOR TO COORDINATE WITH OWNER FOR SALVAGING & STORING MATERIALS AT A LOCATION DESIGNATED BY THE OWNER.
9. CONTRACTOR TO COORDINATE WITH UTILITY OWNERS AND MEP FOR ANY REQUIRED RELOCATION OR ADJUSTMENT OF EXISTING FIBER, ELECTRIC AND GAS LINES AS NEEDED TO AVOID CONFLICT WITH CONSTRUCTION ACTIVITIES AND IMPROVEMENTS.
10. CONTRACTOR TO COORDINATE WITH ARCHITECT AND STRUCTURAL FOR ANY BUILDING AND STOOP DEMOLITION.
11. CONTRACTOR TO COORDINATE SCHEDULE & DEMOLITION ACTIVITIES WITH CITY ROAD IMPROVEMENT PROJECT.

DEMO LEGEND:



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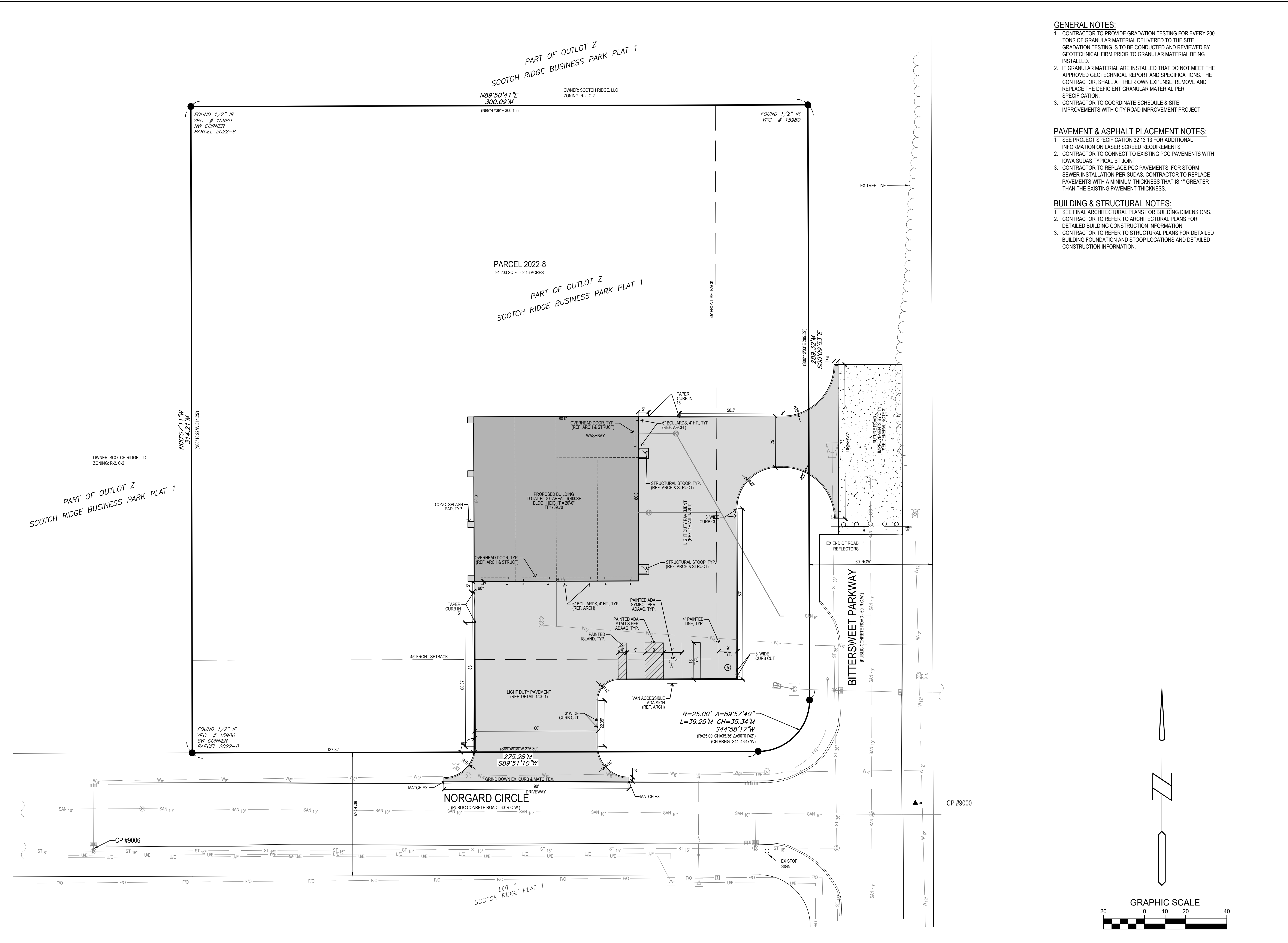
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DEMO PLAN

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- GENERAL NOTES:**
- CONTRACTOR TO PROVIDE GRADATION TESTING FOR EVERY 200 TONS OF GRANULAR MATERIAL DELIVERED TO THE SITE. GRADATION TESTING IS TO BE CONDUCTED AND REVIEWED BY GEOTECHNICAL FIRM PRIOR TO GRANULAR MATERIAL BEING INSTALLED.
 - IF GRANULAR MATERIAL ARE INSTALLED THAT DO NOT MEET THE APPROVED GEOTECHNICAL REPORT AND SPECIFICATIONS. THE CONTRACTOR SHALL AT THEIR OWN EXPENSE, REMOVE AND REPLACE THE DEFICIENT GRANULAR MATERIAL PER SPECIFICATION.
 - CONTRACTOR TO COORDINATE SCHEDULE & SITE IMPROVEMENTS WITH CITY ROAD IMPROVEMENT PROJECT.

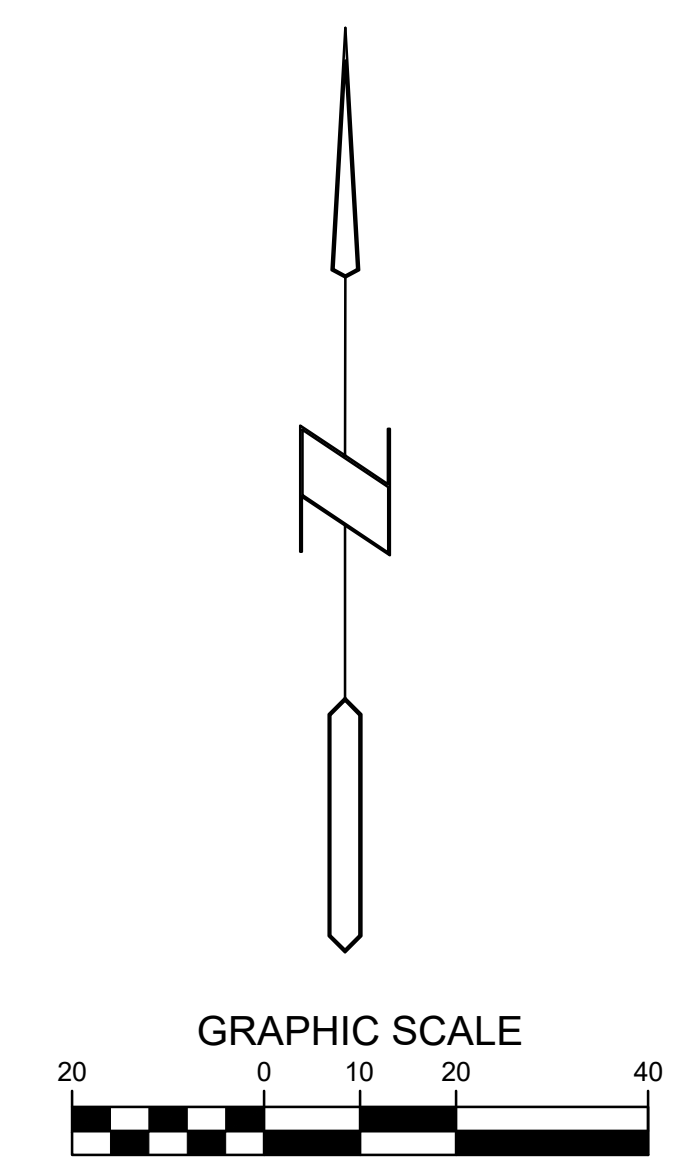
- PAVEMENT & ASPHALT PLACEMENT NOTES:**
- SEE PROJECT SPECIFICATION 32 13 13 FOR ADDITIONAL INFORMATION ON LASER SCREED REQUIREMENTS.
 - CONTRACTOR TO CONNECT TO EXISTING PCC PAVEMENTS WITH IOWA SUDAS TYPICAL BT JOINT.
 - CONTRACTOR TO REPLACE PCC PAVEMENTS FOR STORM SEWER INSTALLATION PER SUDAS. CONTRACTOR TO REPLACE PAVEMENTS WITH A MINIMUM THICKNESS THAT IS 1" GREATER THAN THE EXISTING PAVEMENT THICKNESS.

- BUILDING & STRUCTURAL NOTES:**
- SEE FINAL ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
 - CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR DETAILED BUILDING CONSTRUCTION INFORMATION.
 - CONTRACTOR TO REFER TO STRUCTURAL PLANS FOR DETAILED BUILDING FOUNDATION AND STOOP LOCATIONS AND DETAILED CONSTRUCTION INFORMATION.

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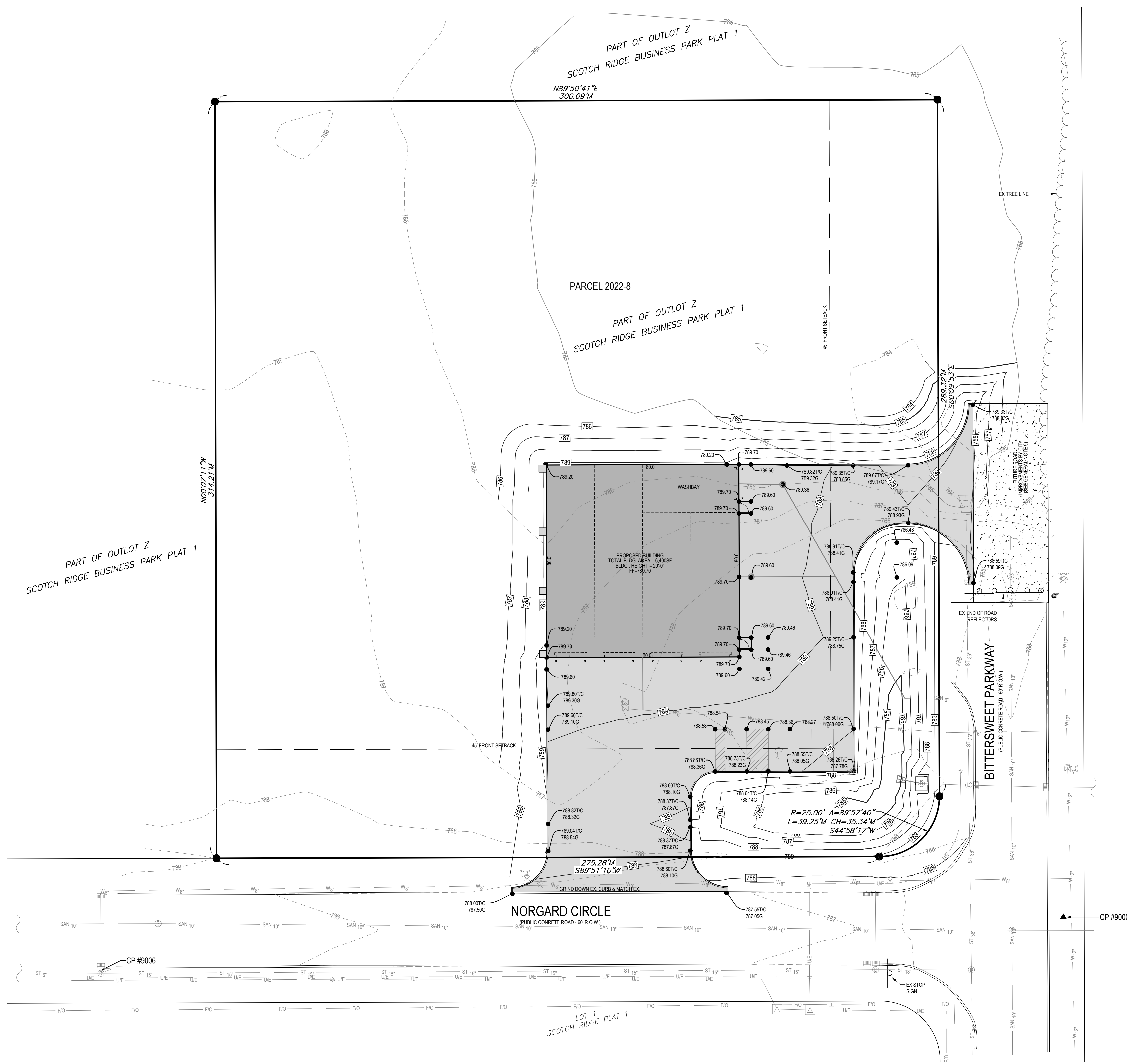
**SNAP-ON WAREHOUSE
 CARLISLE, IOWA
 LAYOUT PLAN**

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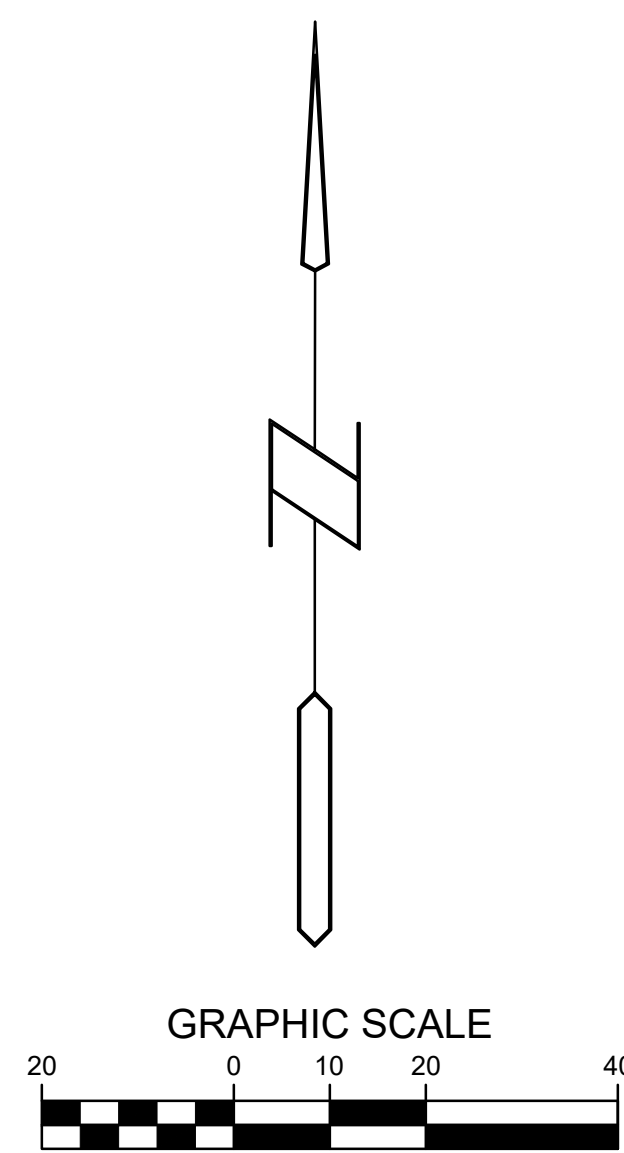
- GENERAL NOTES:**
1. CONTRACTOR TO COORDINATE WITH ARCHITECTURAL PLANS FOR BUILDING OVERHEAD AND MAN DOOR ELEVATION DETAILS. ALL BUILDING STOOPS SHALL HAVE A MINIMUM 1.0% CROSS SLOPE AND A MAX 2% CROSS SLOPE.
 2. CONTRACTOR TO VERIFY AND COORDINATE EXTERIOR PAVEMENT ELEVATIONS ADJACENT TO STOOP AND DOOR LOCATIONS TO PROVIDE A MINIMUM 1.0% SLOPE AND A MAX 5% SLOPE AWAY FROM BUILDING AND BUILDING STOOPS.
 3. ALL LIGHT DUTY AND HEAVY DUTY PAVEMENT AREAS SHALL HAVE A MINIMUM 1.0% SLOPE TO PROVIDE POSITIVE DRAINAGE.
 4. SIDEWALKS SHALL HAVE A MINIMUM 1.0% CROSS SLOPE AND A MAX 2% CROSS SLOPE AT ANY LOCATION.
 5. THE GENERAL CONTRACTOR AND THEIR SURVEYOR SHALL BE RESPONSIBLE FOR CREATING THE STAKING MODEL. CONTRACTOR TO VERIFY ALL GRADING ELEVATIONS AND CONTACT THE OWNER/ENGINEER PRIOR TO CONSTRUCTION, IF THERE ARE ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PLANS AND TYPICAL CONSTRUCTION STANDARDS AND TOLERANCES.
 6. ANY AS-BUILT PAVEMENTS AREAS THAT ARE IDENTIFIED TO HAVE LOW SPOTS OR PONDING SHALL BE REMOVED AND REPLACED, AT CONTRACTOR'S EXPENSE, AS NEEDED TO PROVIDE POSITIVE DRAINAGE.
 7. CONTRACTOR SHALL ADJUST EXISTING UTILITY STRUCTURES RIMS TO GRADE.
 8. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR ANY RELOCATION OR LOWERING OF EXISTING UTILITIES TO ACCOMMODATE GRADING AND NEW UTILITIES. ANY REMOVAL AND REPLACEMENT OF SAID UTILITIES SHALL BE INCIDENTAL.
 9. CONTRACTOR TO COORDINATE GRADING IMPROVEMENTS WITH THE CITY ROAD IMPROVEMENT PROJECT.

- BUILDING DOOR ELEVATIONS:**
1. THE ELEVATIONS SHOWN AT THE BUILDING DOORS AND BUILDING WALLS ON THE GRADING PLAN ARE FOR COORDINATION ONLY. BUILDING ARCHITECTURAL/STRUCTURAL PLANS AND DETAILS SHALL GOVERN FOR BUILDING DOOR ELEVATIONS, STOOP SLOPES AND EXPOSED WALLS OR FOOTINGS.
 2. CONTRACTOR TO COORDINATE AND VERIFY ALL BUILDING AND DOOR ELEVATIONS WITH EXTERIOR IMPROVEMENTS TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING PRIOR TO CONSTRUCTION. IF THERE IS A DISCREPANCY, CONTRACTOR TO CONTACT OWNER/ENGINEER FOR DIRECTION PRIOR TO CONSTRUCTION AND/OR INSTALLATION.

- ADA RAMP & LANDING NOTES:**
1. RAMPS ON SIDEWALKS THAT EXCEED 5% RUNNING SLOPE MUST HAVE A MINIMUM OF 5'x5' LANDING AT THE TOP AND BOTTOM OF THE RAMP. THE LANDING SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
 2. NOT ALL RAMPS AND LANDINGS ARE CALLED OUT ON PLANS. ANYWHERE A WALK EXCEEDS 5% SLOPE, AS SHOWN ON THE GRADING PLAN, SHALL BE CONSIDERED AN ADA RAMP AND THEREFORE MUST HAVE LANDINGS.

- TOPSOIL NOTES:**
1. STRIP AND STOCKPILE THE TOP 8" OF SOIL ON ALL DISTURBED AREAS.
 2. RESPREAD TOPSOIL TO A MINIMUM DEPTH OF 8" ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 8".
 3. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
 4. TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.
 6. CONTRACTOR TO GRADE AND RE-SPREAD TOPSOIL THE TEMPORARY GRANULAR STORAGE YARD AREAS AFTER ROCK SURFACE, MOBILE OFFICE AND STORAGE CONTAINERS HAVE BEEN REMOVED.

- GRADING LEGEND:**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - FINISHED GROUND ELEVATION
 - TOP OF CURB ELEVATION
 - GUTTER ELEVATION
 - TOP OF WALL ELEVATION
 - BOTTOM OF WALL ELEVATION
 - EDGE OF WALK ELEVATION
 - TOP OF STAIR ELEVATION
 - BOTTOM OF STAIR ELEVATION
- NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.



SNAP-ON WAREHOUSE
CARLISLE, IOWA

GRADING PLAN

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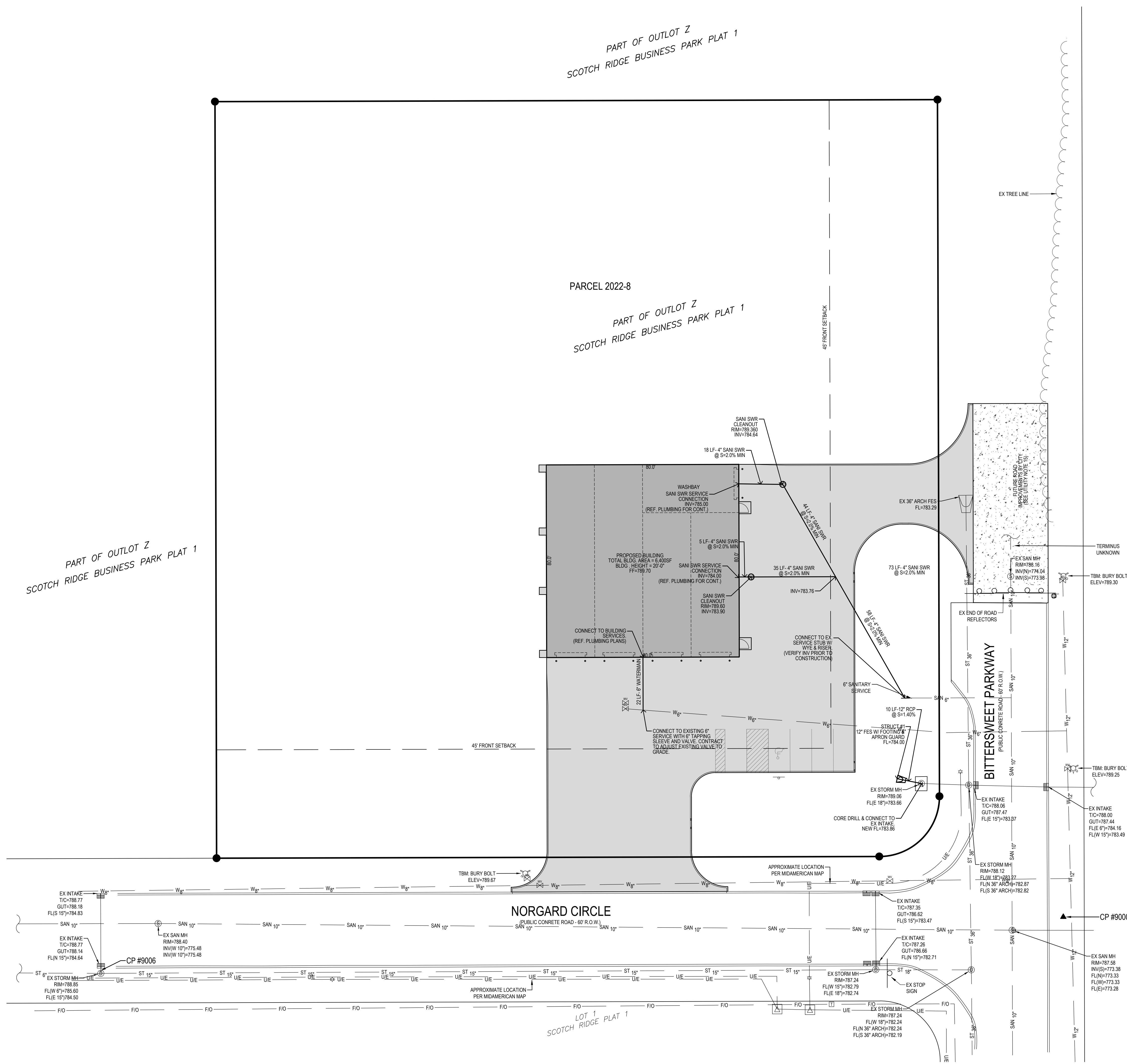
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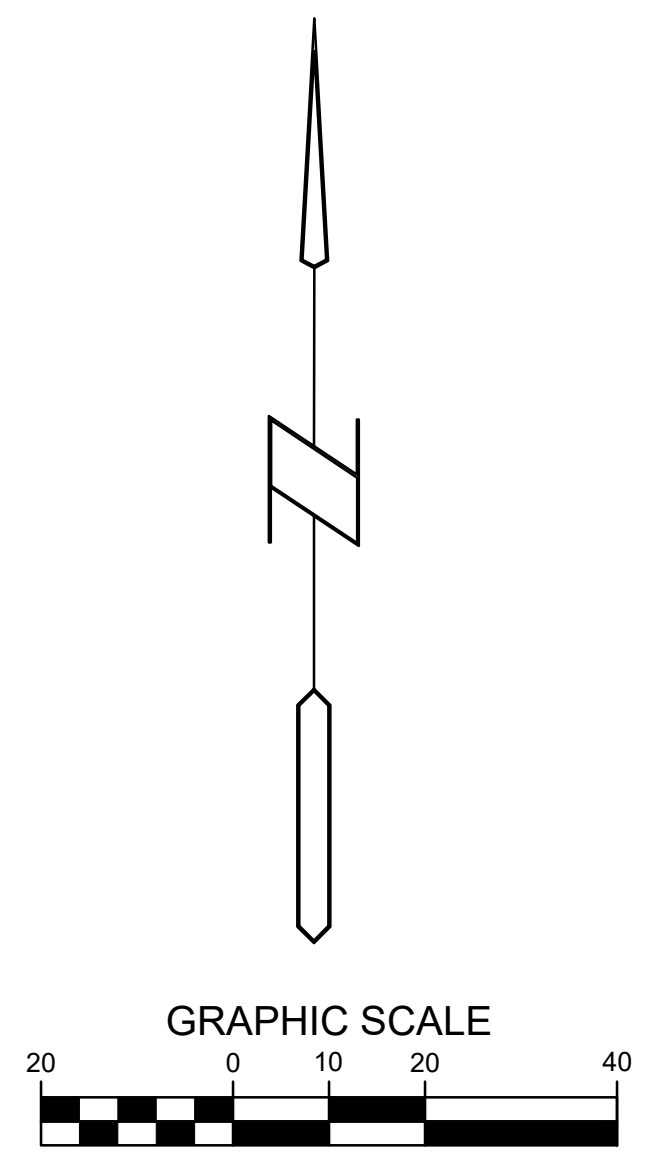
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- UTILITY NOTES:**
1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
 2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5.5' OF COVER UNLESS NOTED OTHERWISE.
 3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
 4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
 5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
 6. STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP.
 7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
 8. NITRILE GASKETS ARE REQUIRED WHERE WATER MAIN CROSSES UNDER STORM SEWER.
 9. C900 PIPE REQUIRED FOR SANITARY SEWER WHERE WATER MAIN CROSSES UNDER SANITARY SEWER.
 10. ALL NYLOPLAST BASINS SHALL HAVE CASTINGS SECURELY FASTENED TO THE BASIN BODY, AND ALL GRATES SHALL BE BOLTED DOWN TO THE CASTINGS.
 11. REFER TO MEP & TECHNOLOGICAL PLANS FOR ALL ELECTRICAL/FIBER/CONDUIT/GAS ROUTING & LOCATIONS. SAID UTILITIES HAVE BEEN SHOWN FOR COORDINATION PURPOSES ONLY.
 12. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER FOR SITE SERVICE CONNECTIONS AND ROUTINGS TO AVOID CONFLICT WITH THE BUILDING CONSTRUCTION.
 13. CONTRACTOR TO COORDINATE WITH CITY OF CARLISLE FOR ANY PERMITTING AND CONSTRUCTION REQUIREMENTS FOR WORK WITHIN CITY ROW AND CONNECTION TO PUBLIC UTILITIES PRIOR TO CONSTRUCTION.
 14. CONTRACTOR SHALL ADJUST EXISTING UTILITY RIMS AND STRUCTURES TO GRADE. CONTRACTOR TO REFER TO MEP PLANS FOR ALL LIGHTING FIXTURE, POWER POST AND CHARGING STATIONS TYPES AND LOCATIONS. EXTERIOR LIGHT FIXTURE, POWER POST AND CHARGING STATIONS HAVE BEEN SHOWN FOR COORDINATION ONLY.
 15. CONTRACTOR TO COORDINATE STORM IMPROVEMENTS WITH THE CITY ROAD IMPROVEMENT PROJECT.



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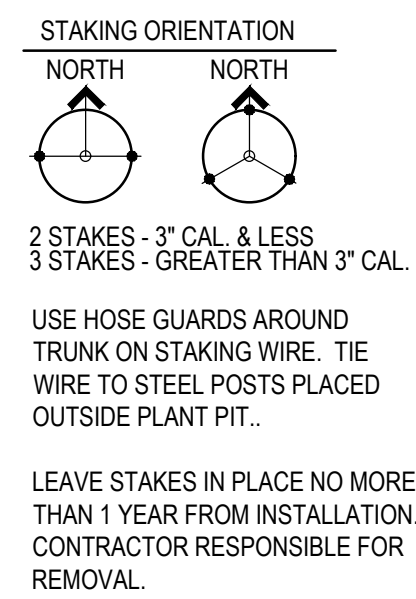
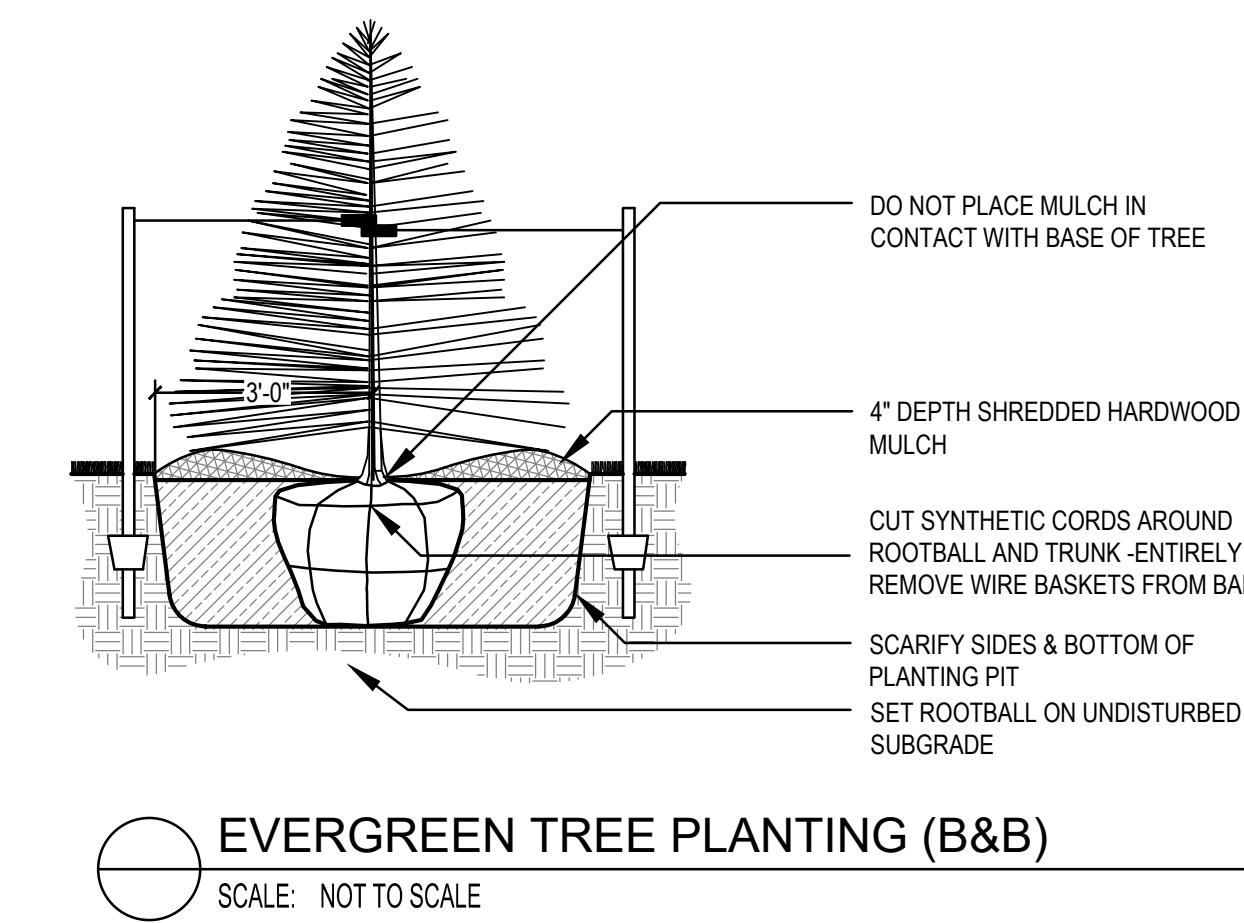
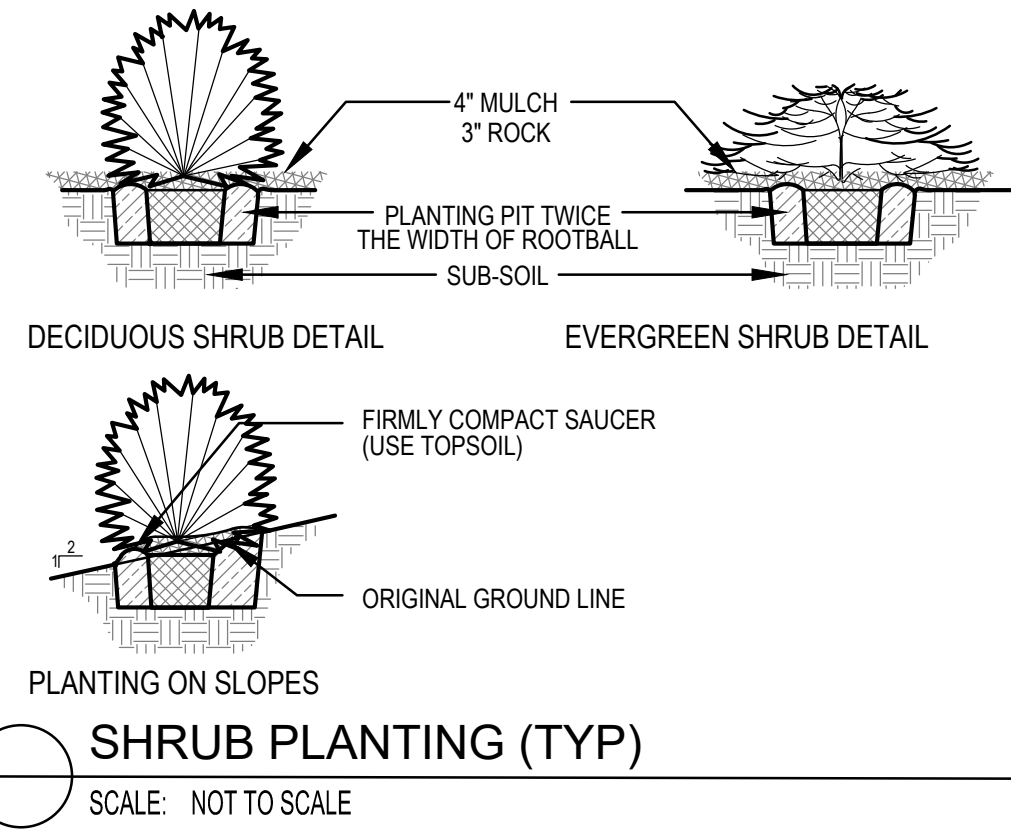
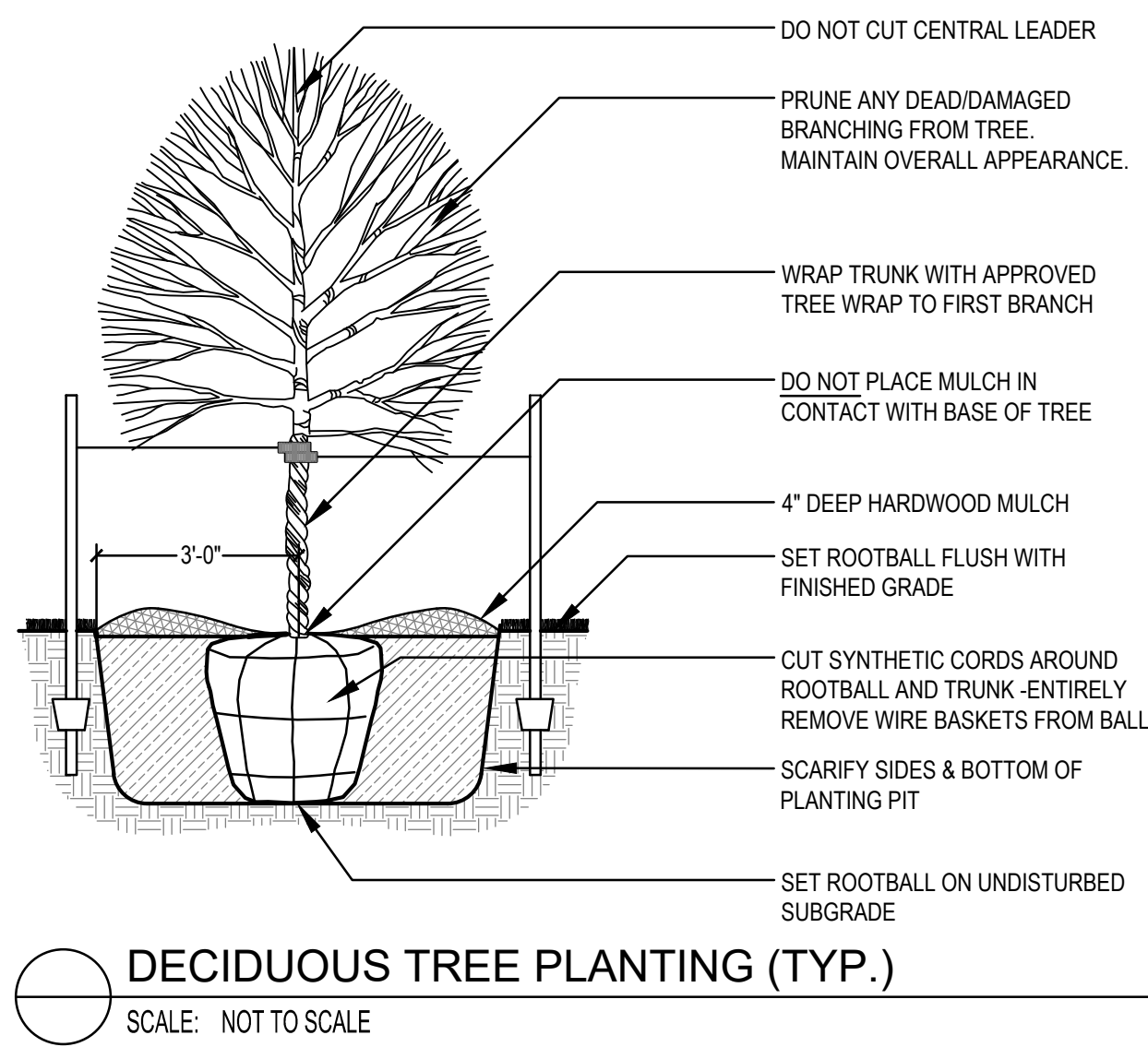
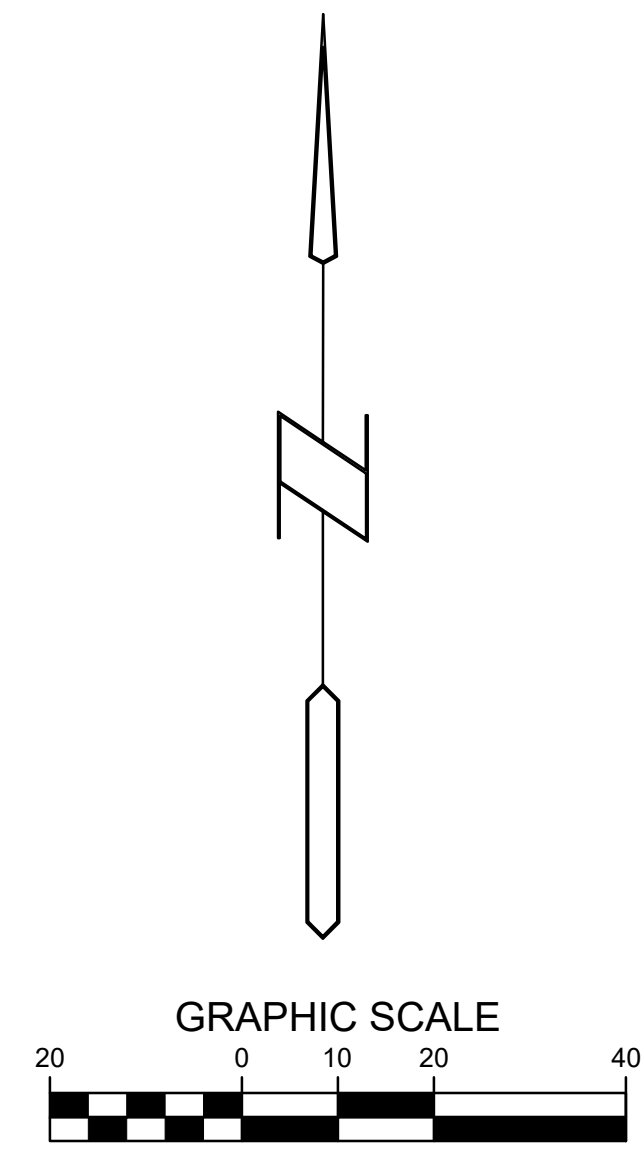
SNAP-ON WAREHOUSE
CARLISLE, IOWA
UTILITY PLAN

REFERENCE NUMBER:	
DRAWN BY:	GSA
CHECKED BY:	SVS
REVISION DATE:	1ST CITY SUB 2022-04-28
PROJECT NUMBER:	220102
SHEET NUMBER:	C4.1

PRELIMINARY- NOT FOR CONSTRUCTION

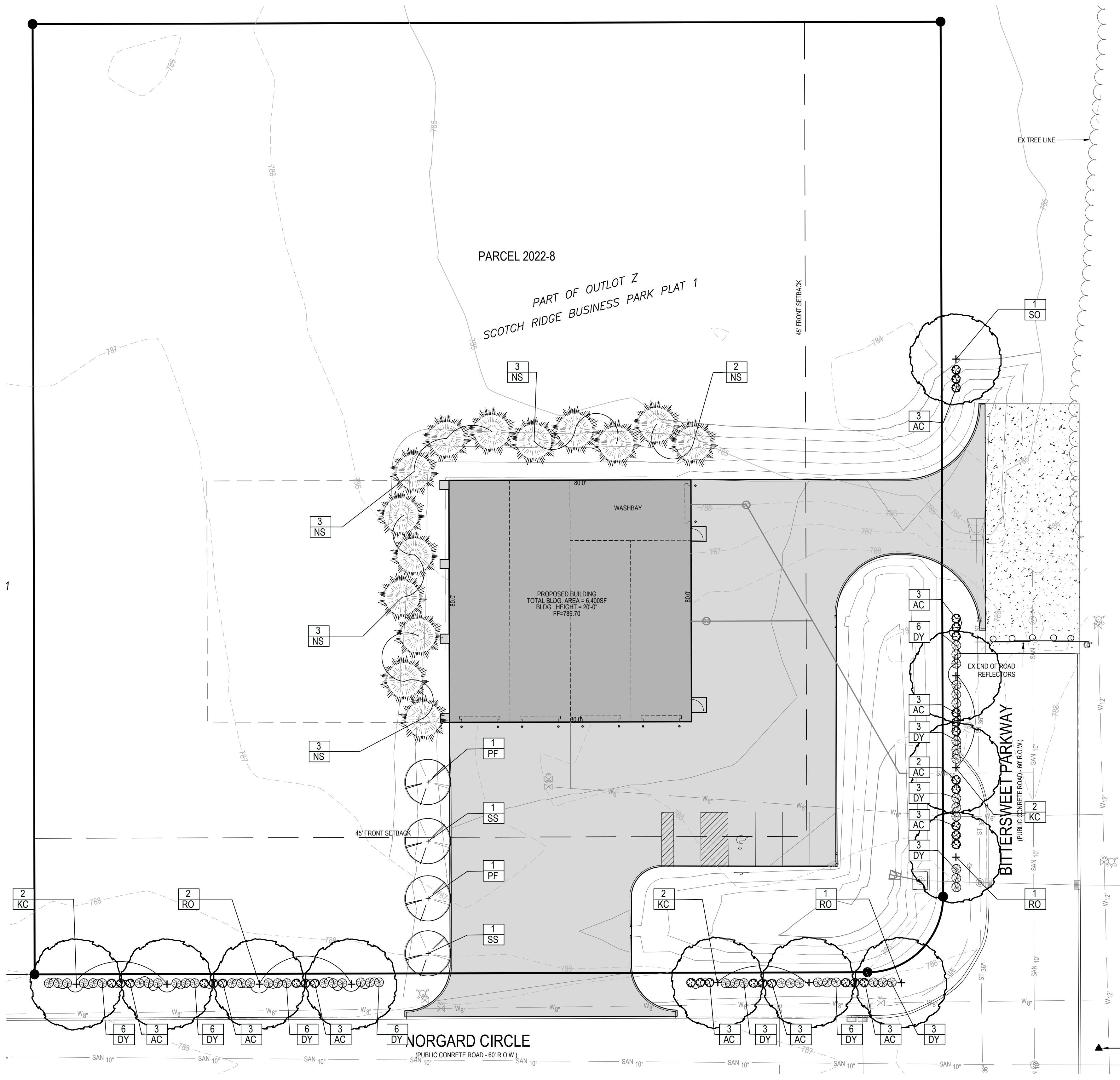
LANDSCAPE NOTES:

- ALL SEEDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
- SEED ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SEED LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
- STAKE SOD ON ALL SLOPES 3 : 1 OR GREATER.
- PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE.
- FOR WARRANTY PURPOSES, THE DATE OF INITIAL ACCEPTANCE SHALL BE SUBMITTED IN WRITING TO THE OWNER AND/OR OWNER'S REPRESENTATIVE AFTER ALL PLANT MATERIALS HAVE BEEN INSTALLED AND REVIEWED BY OWNER OR OWNER'S REPRESENTATIVE. PLANT MATERIALS WILL ONLY BE ACCEPTED IF THEY ARE IN AN ALIVE AND THRIVING CONDITION.
- CONDITIONAL ACCEPTANCE OF PLANT MATERIAL MAY BE GIVEN FOR PLANTS INSTALLED IN A DORMANT CONDITION WITH INITIAL ACCEPTANCE OCCURRING THE FOLLOWING SPRING ONCE THEY ARE SHOWN TO BE ALIVE AND THRIVING.
- IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS (INCLUDING SIZING INFORMATION) MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
- STAKING AND GUYING OF TREES SHALL BE AT THE DISCRETION OF THE CONTRACTOR BASED ON CURRENT ACCEPTED NURSERY STANDARDS. GENERALLY, TREES IN LARGE OPEN AREAS SUBJECT TO SIGNIFICANT WIND SHALL BE STAKED. STAKE AND WRAP TREES IMMEDIATELY AFTER PLANTING. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD. REMOVE ALL STAKES AND GUY WIRES NO MORE THAN ONE YEAR AFTER INSTALLATION.
- THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
- NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
- ALL EDGING SHALL BE DURAEDEGE 3/16" STEEL EDGING - COLOR BLACK, OR APPROVED EQUAL.
- CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
- ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL BE MULCHED WITH 4" THICK SHREDDED HARDWOOD MULCH.
- ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH IS INSTALLED.



PLANTING SCHEDULE

CODE	QUAN	COMMON NAME	LATIN NAME	SIZE	ROOT	NOTES
OVERSTORY TREES						
KC	6	KENTUCKY COFFEETREE	<i>GYMNOLADUS DIOICUS</i>	2.0" CAL.	B&B	MATCHED SPECIMENS
RO	5	RED OAK	<i>QUERCUS RUBRA</i>	2.0" CAL.	B&B	MATCHED SPECIMENS
ORNAMENTAL TREES						
PF	2	PRAIRIE FIRE CRABAPPLE	<i>MALUS X. 'PRAIRIE FIRE'</i>	1.5" CAL.	B&B	MATCHED SPECIMENS
SS	2	SNOWDRIFT CRABAPPLE	<i>MALUS X. 'SNOWDRIFT'</i>	1.5" CAL.	B&B	MATCHED SPECIMENS
EVERGREEN TREES						
NS	14	NORWAY SPRUCE	<i>PICEA ABIES</i>	6'	B&B	FULL FORM TO GROUND
SHRUBS						
AC	32	ALPINE CURRANT	<i>RIBES ALPINUM</i>	#5	CONT	FULL FORM - MATCHED
DY	51	DENSIFORMIS YEW	<i>TAXUS MEDIA 'DENSIFORMIS'</i>	36"	B&B	FULL FORM - MATCHED



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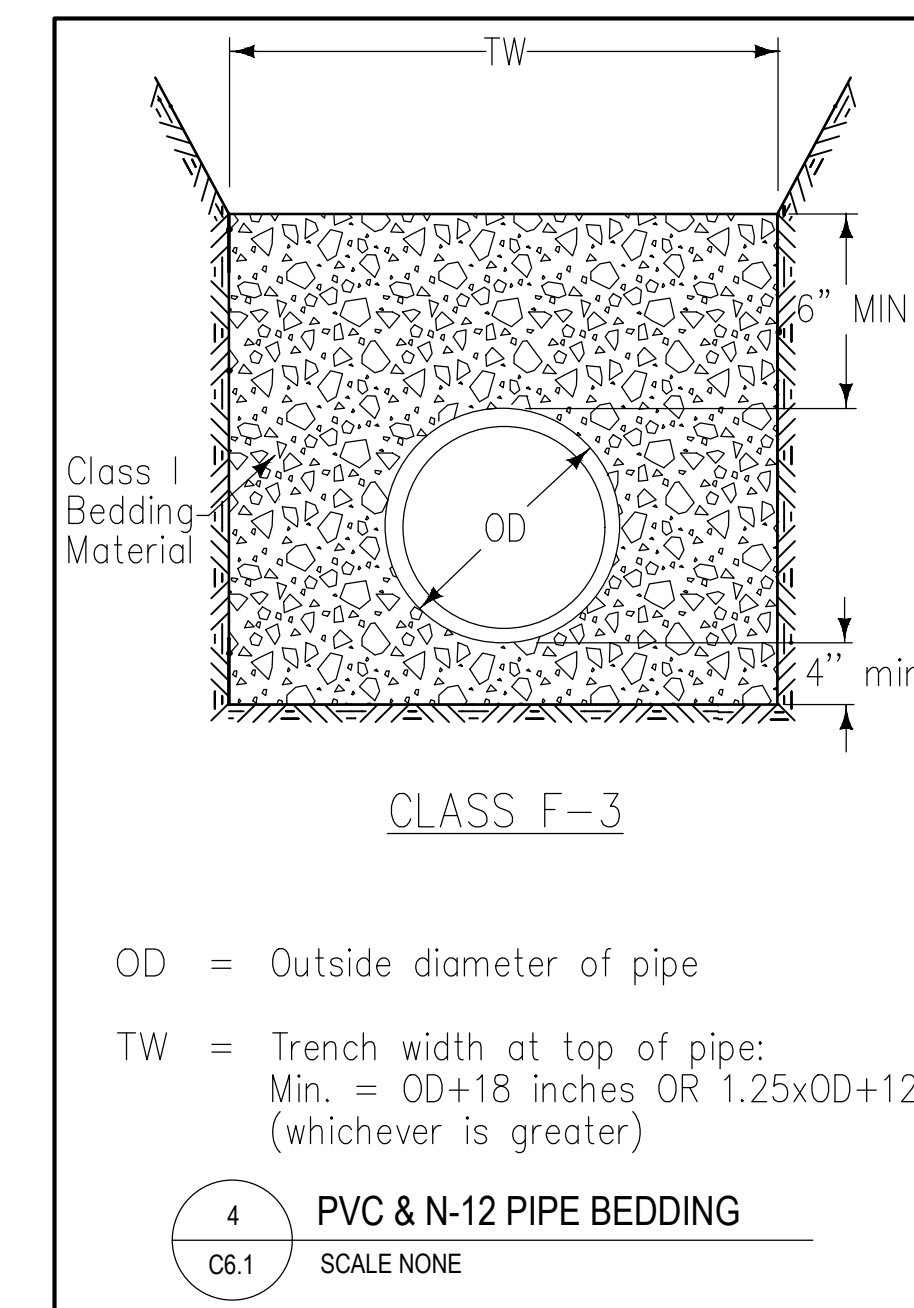
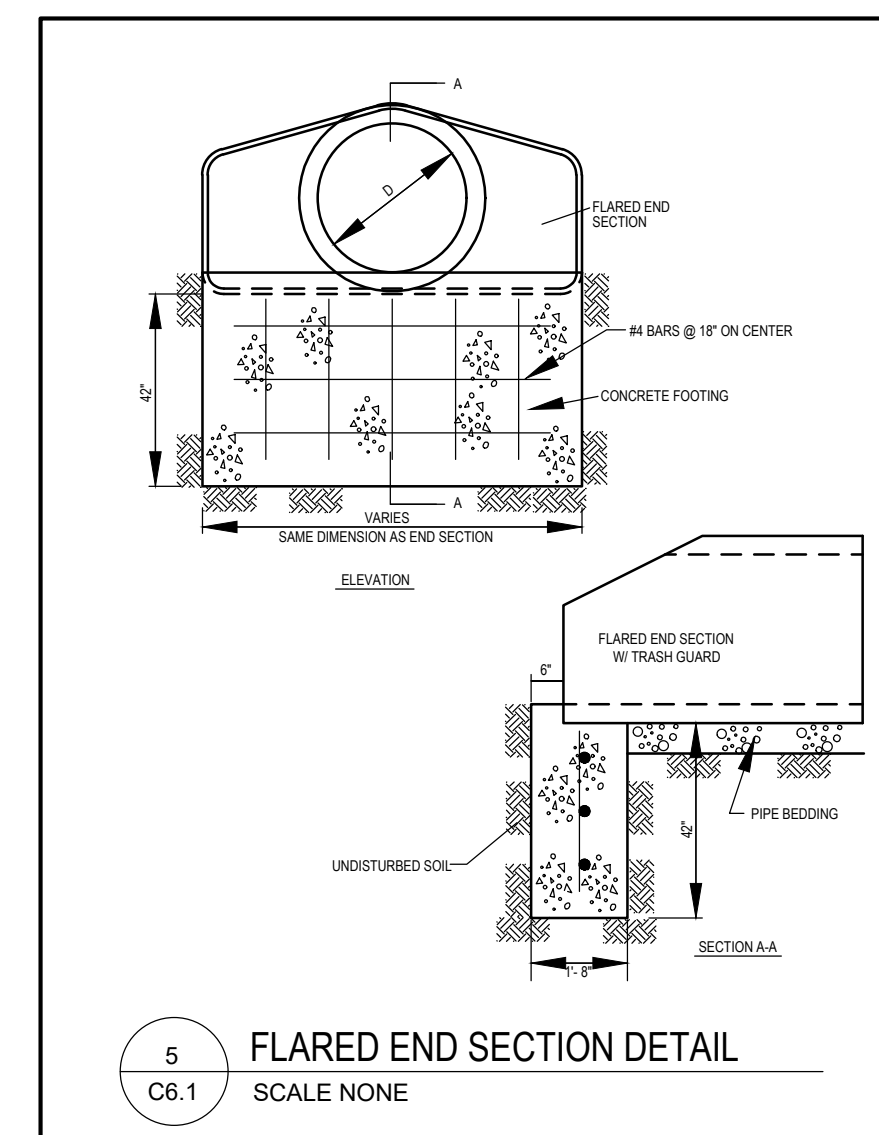
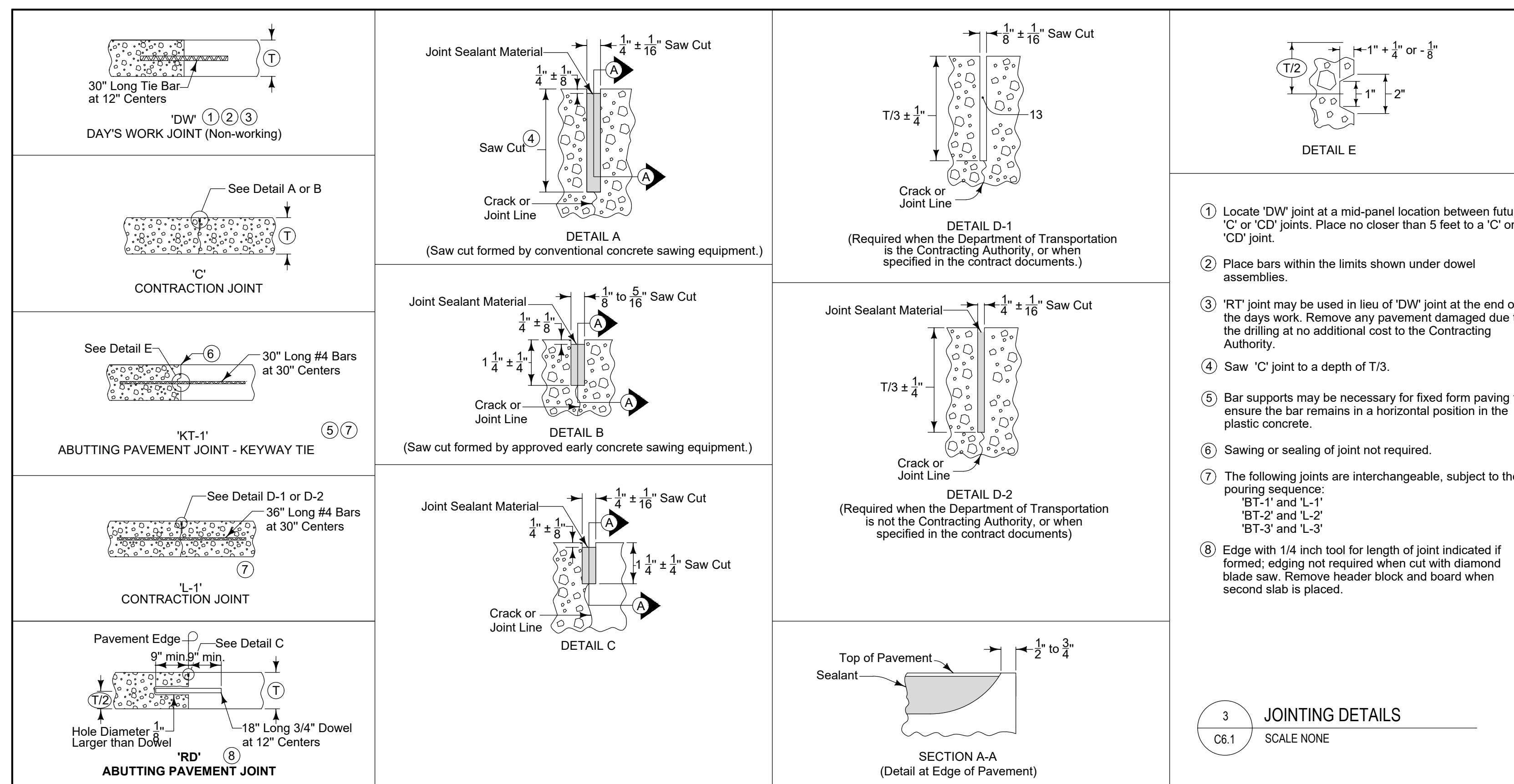
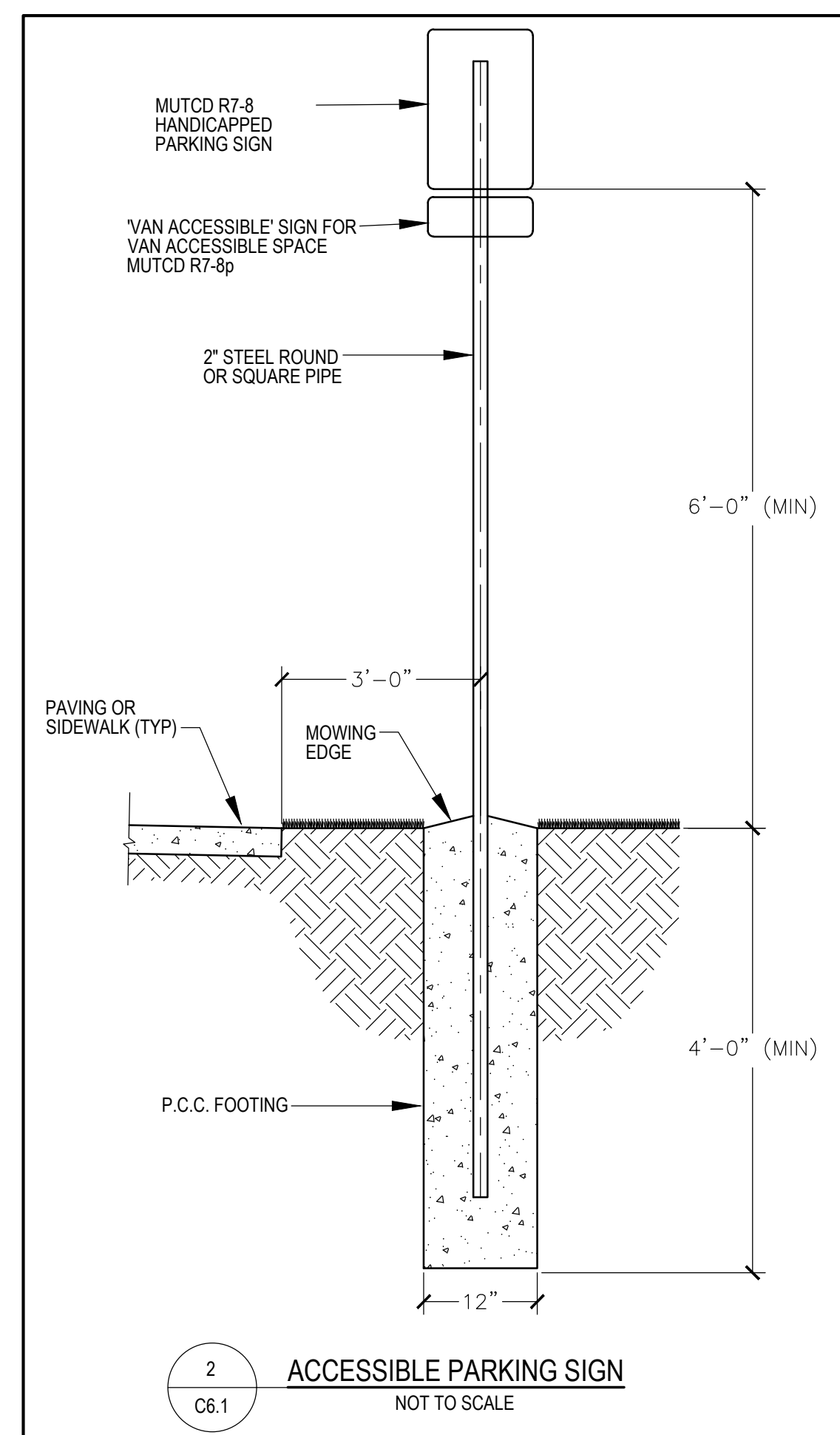
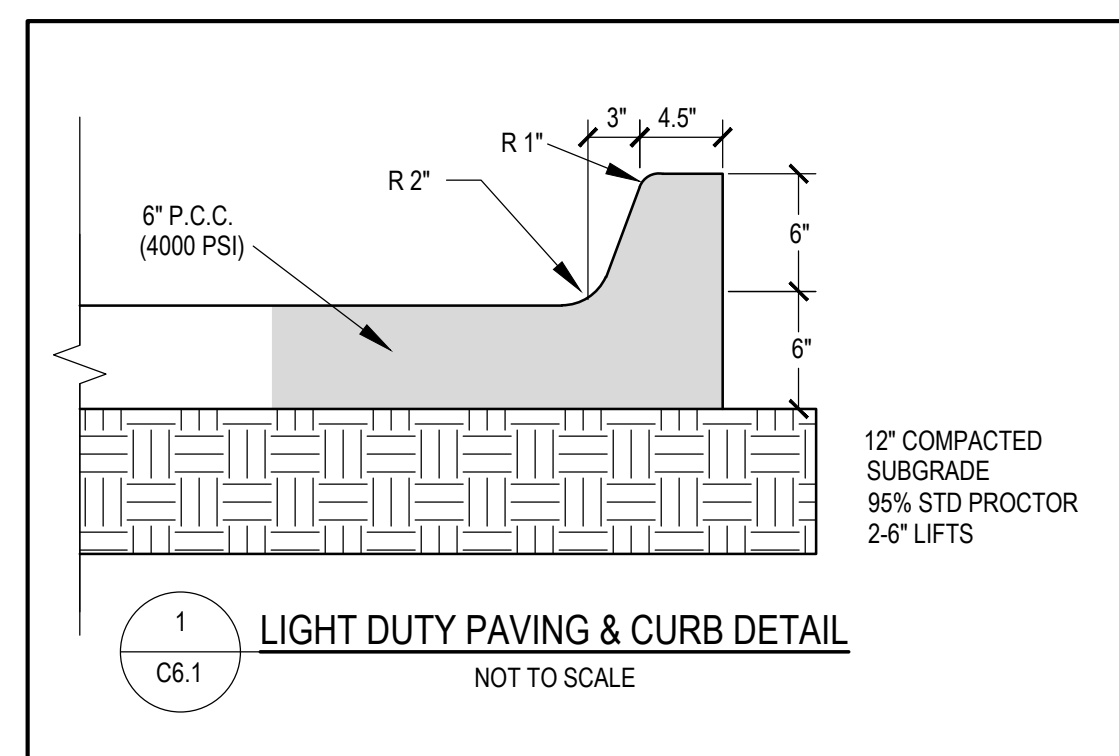
**SNAP-ON WAREHOUSE
 CARLISLE, IOWA
 LANDSCAPE PLAN**

REFERENCE NUMBER:	
DRAWN BY:	GSA
CHECKED BY:	SVS
REVISION DATE:	
PROJECT NUMBER:	220102
SHEET NUMBER:	C5.1

I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA. IOWA REGISTRATION NO. 449.
 BY: MICHAEL D. GAUNT LICENSE RENEWAL DATE: JUNE 30, 2022

SIGNED: _____ DATE: _____





SNAP-ON WAREHOUSE
CARLISLE, IOWA

DETAILS SHEET

REFERENCE NUMBER:

DRAWN BY:
GSA

CHECKED BY:
SVS

REVISION DATE:
1ST CITY SUB 2022-04-28

PROJECT NUMBER:
220102

SHEET NUMBER:

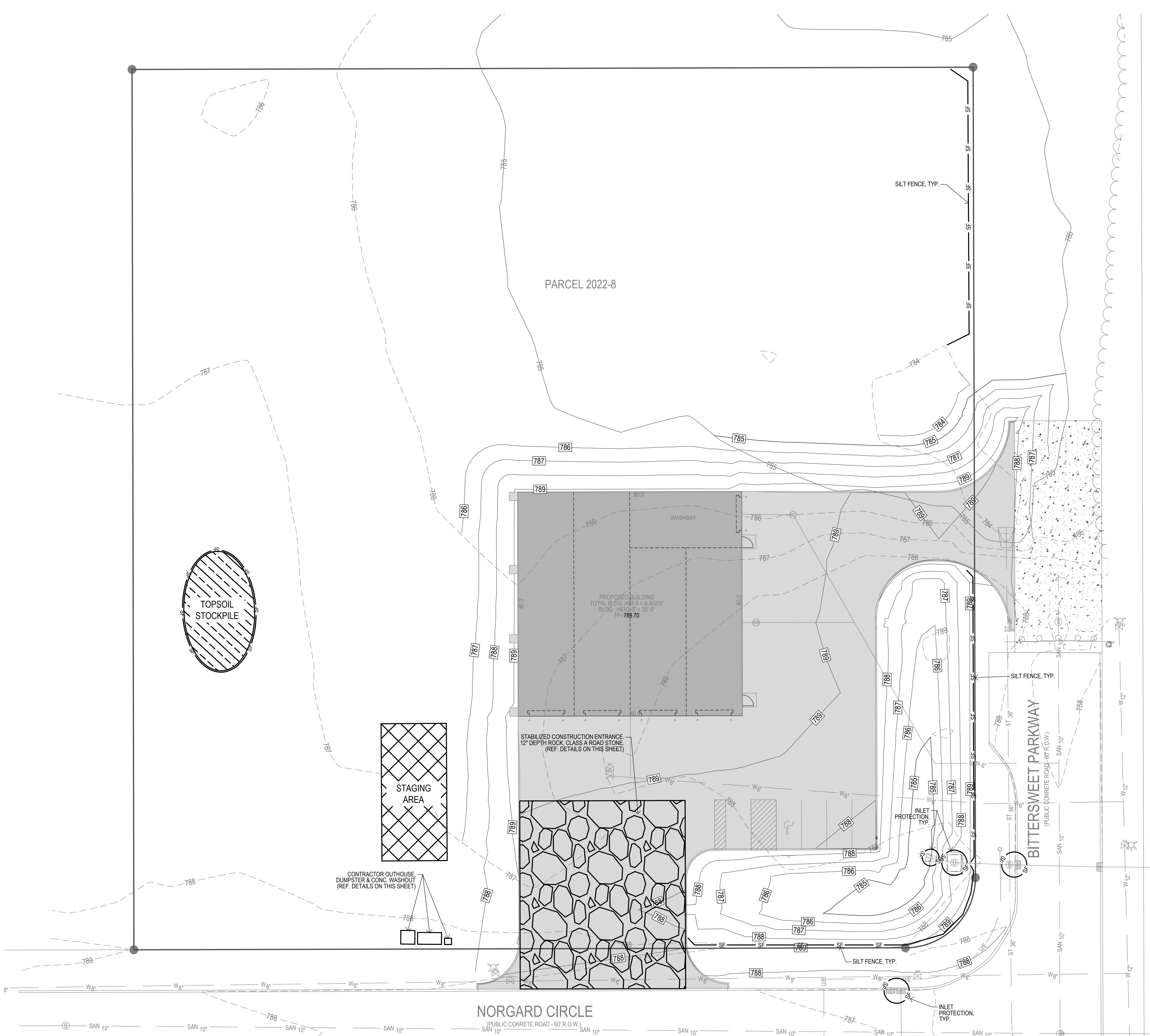
C6.1

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PRELIMINARY - NOT FOR CONSTRUCTION

STORM WATER POLLUTION PREVENTION PLAN



PROPERTY DESCRIPTION:
A PART OF OUTLOT 7, SCOTCH RIDGE BUSINESS PARK PLAT 1, AN OFFICIAL PLAT IN THE CITY OF CARLISLE, POLK COUNTY, IOWA.

SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

AREA:
94,203 SQUARE FEET - 2.16 ACRES

OWNER:
SCOTCH RIDGE LLC
544 4TH STREET
WEST DES MOINES, IOWA 50265

PREPARED FOR:
SNAP-ON
ATTN: TRENT THOMPSON
PHONE #: 515-689-0048

ZONING:
INFORMATION OBTAINED FROM CITY OF CARLISLE
ZONING MAP
C-2 COMMERCIAL
FRONT SETBACK = 45'
SIDE & REAR SETBACK = 0'

FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF CARLISLE AT 515-989-3224

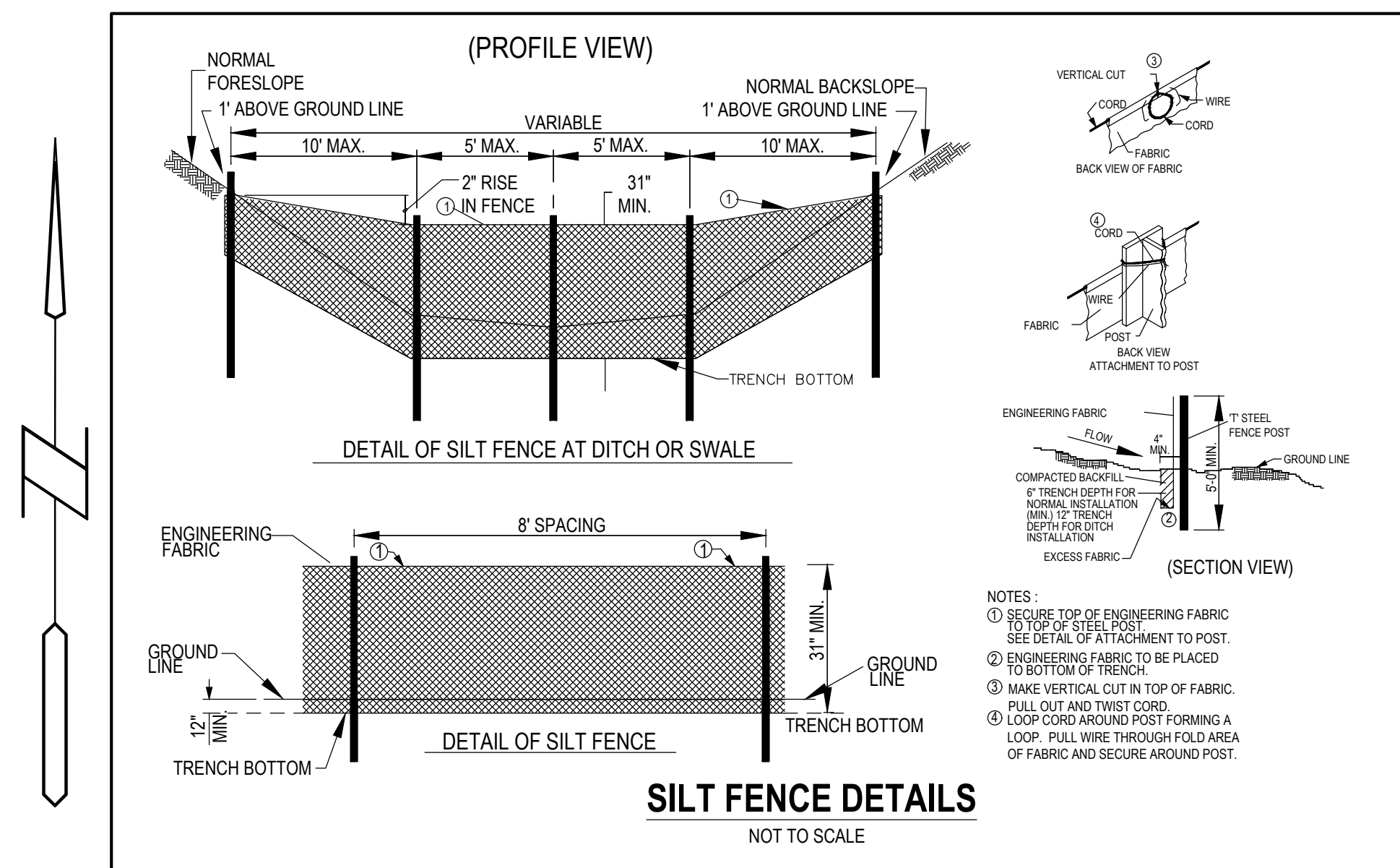
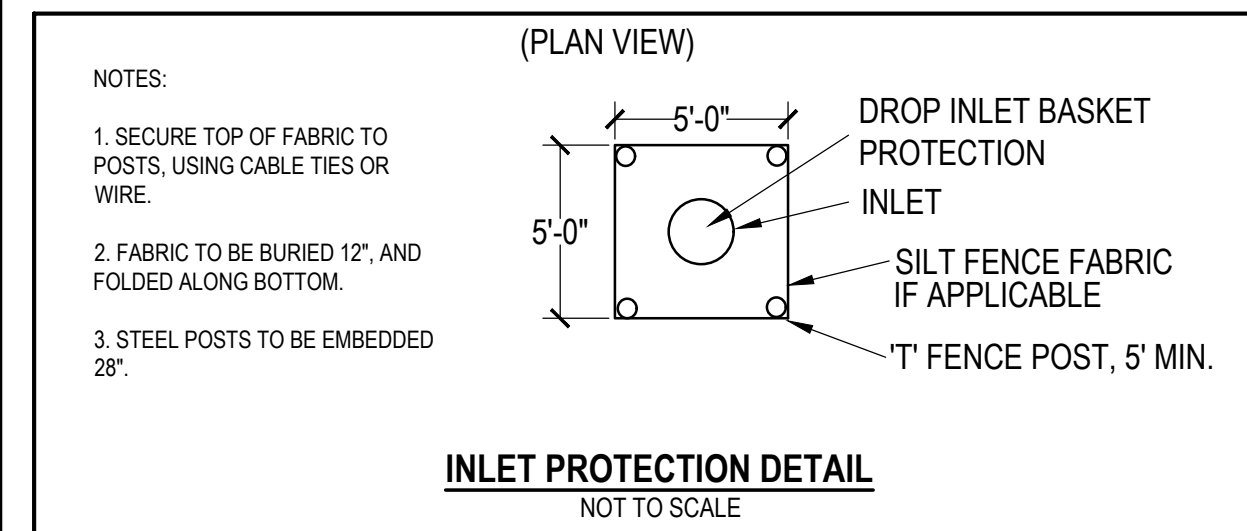
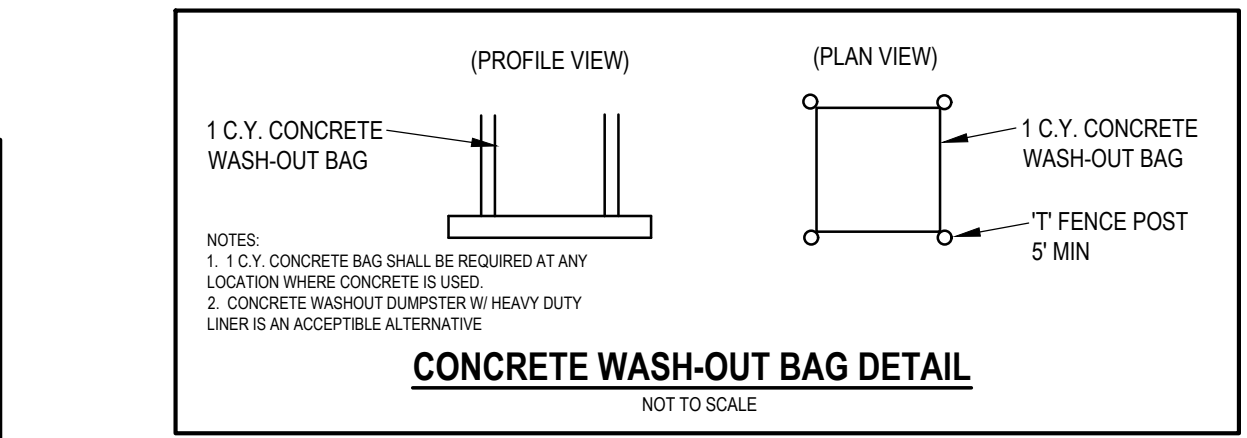
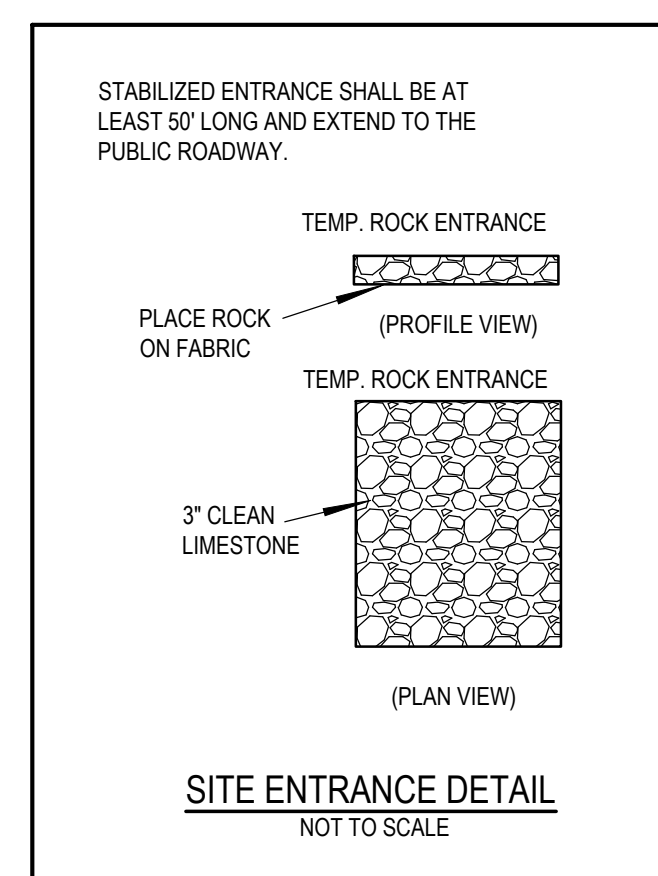
SITE CONTROL AND BENCHMARKS:
BASIS OF BEARING OBTAINED FROM GPS
OBSERVATIONS DATUM = NAD 83, IOWA SOUTH
BENCHMARK DATUM = NAVD88, GEOID 18

POINT #9000
NORTHING = 550,580.43
EASTING = 1,635,260.02
ELEVATION = 787.87
DESCRIPTION: REBAR BASE

POINT #9006
NORTHING = 550,558.17
EASTING = 1,635,860.28
ELEVATION = 789.50
DESCRIPTION: CUT "X" IN MANHOLE RIM



- EROSION CONTROL NOTES:**
- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS AND NOTE. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
 - SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
 - INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
 - INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
 - INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
 - OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REVISING AND/OR INSTALLING ADDITIONAL EROSION CONTROL MEASURES/SEEDING AS NEEDED TO ACCOMMODATE THE CONSTRUCTION PHASING AND SWPPP INSPECTOR REQUIREMENTS. SUCH CHANGES SHALL BE INCIDENTAL TO THE PROJECT. ALL CHANGES SHALL BE DOCUMENTED AND RECORDED.



GRADING LEGEND:

EXISTING CONTOUR	---	150
PROPOSED CONTOUR	---	150
FINISHED GROUND ELEVATION	●	150.50
TOP OF CURB ELEVATION	●	150.50T/C
GUTTER ELEVATION	●	150.50G
TOP OF WALL ELEVATION	●	150.50T/W
BOTTOM OF WALL ELEVATION	●	150.50B/W
EDGE OF WALK ELEVATION	●	150.50E/W
TOP OF STAIR ELEVATION	●	150.50T/S
BOTTOM OF STAIR ELEVATION	●	150.50B/S

LEGEND:

-SF-SF-SF	SILT FENCE (TYP)
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
[Rock Pattern]	STABILIZED ENTRANCE AT LEAST 50' LONG-12" DEEP CLASS "A" ROAD STONE ON GEOTEXTILE

DISTURBED AREA = 0.9 ACRES±

EROSION CONTROL REMOVAL NOTES:

- AFTER FINAL STABILIZATION HAS OCCURED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.

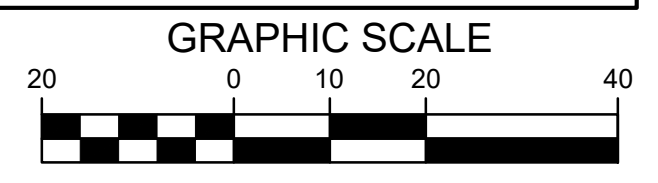


UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

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4/28/2022 4:45:30 PM L:\LAND PROJECTS 2022\220102 THOMPSON WAREHOUSE\DWG\C7 SWPPP.DWG

