

City of Carlisle, Iowa
Planning and Zoning Commission
Regular Meeting
March 20, 2023

7:00 P.M.

City Council Chambers – 100 N. 1st Street

Join Zoom Meeting - <https://zoom.us/j/9951930479>

Meeting ID: 995 193 0479

One tap mobile – Call 1-312-626-6799, enter 995 193 0479# when prompted

We encourage all videoconferencing or calling in to let staff know who you are for the record and then mute your microphone or phone until you would like to speak to provide a better overall experience.

Call to order

Determine quorum

New Business and Action Items

1. Discussion and Possible Action on Plat of Surveys for Parcels 2202-1226 and 2202-1227 Within 2 Mile Review Jurisdiction
2. Discussion and Possible Action on Site Plan for Carlisle High School Maintenance Facility
3. Discussion and Possible Action on Site Plan for Carlisle High School Parking Expansion #2
4. Discussion and Possible Action on Site Plan for Freedom Storage Phase 2

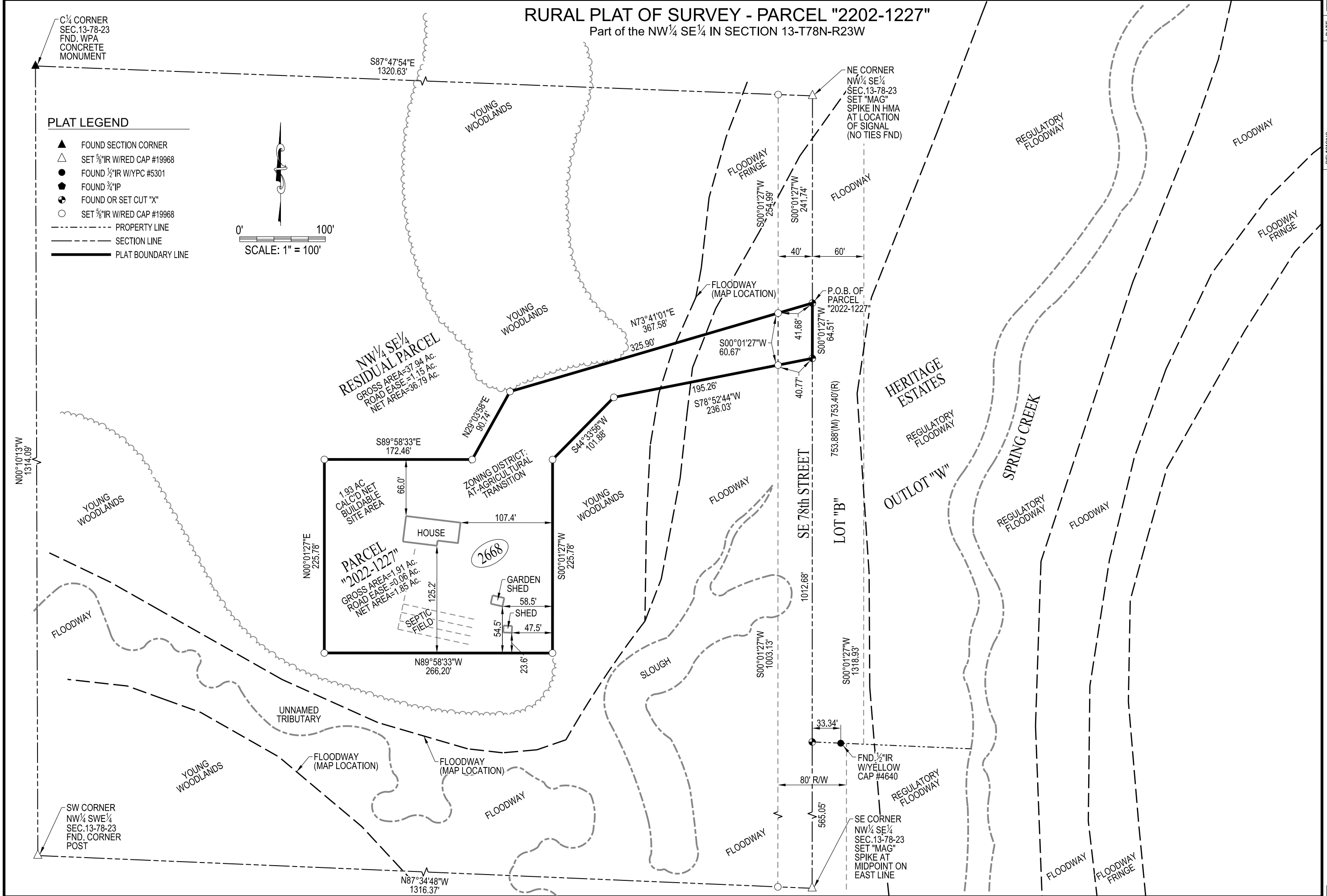
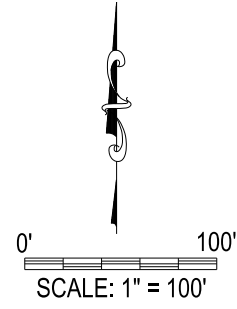
Administrator/Engineer/Commission Reports

Adjournment

**** PLEASE NOTE THAT THIS AGENDA MAY CHANGE UP TO 24 HOURS PRIOR TO THE MEETING ****

RURAL PLAT OF SURVEY - PARCEL "2202-1227"
 Part of the NW¼ SE¼ IN SECTION 13-T78N-R23W

- PLAT LEGEND**
- ▲ FOUND SECTION CORNER
 - △ SET 5/8" IR W/RED CAP #19968
 - FOUND 1/2" IR W/YPC #5301
 - FOUND 3/4" IP
 - FOUND OR SET CUT "X"
 - SET 5/8" IR W/RED CAP #19968
 - - - PROPERTY LINE
 - - - SECTION LINE
 - PLAT BOUNDARY LINE



DATE		REVISIONS		SECOND SUBMITTAL	FIRST SUBMITTAL
CIVIL DESIGN ADVANTAGE ENGINEER: _____ TECH: _____ REVIEW: _____					
4121 NW URBANDALE DRIVE URBANDALE, IOWA 50322 PHONE: (515) 369-4400					
RURAL PLAT OF SURVEY PARCEL "2202-1227" Part of the NW¼ SE¼ IN SECTION 13-T78N-R23W POLK COUNTY, IA					
2 / 2 2208.540					

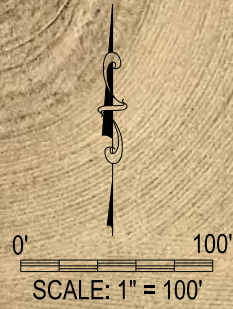
RURAL PLAT OF SURVEY - PARCEL "2202-1227"
 Part of the NW¼ SE¼ IN SECTION 13-T78N-R23W

C¼ CORNER
 SEC.13-78-23
 FND. WPA
 CONCRETE
 MONUMENT

NE CORNER
 NW¼ SE¼
 SEC.13-78-23
 SET "MAG"
 SPIKE IN HMA
 AT LOCATION
 OF SIGNAL
 (NO TIES FND)

PLAT LEGEND

- ▲ FOUND SECTION CORNER
- ▲ SET ¾" IR W/RED CAP #19968
- FOUND ½" IR W/YPC #5301
- FOUND ¼" IP
- FOUND OR SET CUT "X"
- SET ¾" IR W/RED CAP #19968
- - - PROPERTY LINE
- - - SECTION LINE
- PLAT BOUNDARY LINE



NW¼ SE¼
 RESIDUAL PARCEL
 GROSS AREA=37.94 AC.
 ROAD EASE=1.15 AC.
 NET AREA=36.79 AC.

PARCEL
 "2202-1227"
 GROSS AREA=1.91 AC.
 ROAD EASE=0.06 AC.
 NET AREA=1.85 AC.

ZONING DISTRICT
 AT-AGRICULTURAL
 TRANSITION

HERITAGE
 ESTATES

REVISIONS	DATE
	02/03/23
	12/14/22

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400



CIVIL DESIGN ADVANTAGE
 POLK COUNTY, IA

RURAL PLAT OF SURVEY
 PARCEL "2202-1227"
 Part of the NW¼ SE¼ IN SECTION 13-T78N-R23W



FOX Strand
414 South 17th Street, Suite 107
Ames, IA 50010
(P) 515.233.0000
www.strand.com

DATE: March 15, 2023

TO: Deven Markley
City Administrator, City of Carlisle
100 N. 1st Street
Carlisle, IA 50047

RE: Carlisle High School Maintenance Facility – Site Plan Review
Project No. 7023.066
City of Carlisle, Iowa (City)

FOX Strand has completed the second review for the Carlisle High School Maintenance Facility Site Plan dated March 14, 2023. Please address the following comments:

General Comments for P&Z and Council Consideration:

1. As per 165.06, 5, C, 1: *Prefabricated portable curb stops shall not be considered an acceptable alternate unless otherwise approved by the City Council.* The Developer is seeking a waiver for this requirement. **Discussion is necessary** regarding whether the waiver request may be granted.

Stormwater Management Plan

2. FOX Strand has yet to review the 2nd submittal of the storm water management plan. Additional comments on the storm water management plan may be forthcoming.

Site Plan Review Schedule

Planning & Zoning: March 20, 2023 at 7 P.M. at Carlisle City Hall

Council Meeting: March 27, 2023 at 6:30 P.M. at Carlisle City Hall

If you have any questions or concerns, please contact Mitch Holtz at 515-233-0000. FOX Strand reserves the right to modify and/or add to these comments.

Sincerely,

FOX Strand

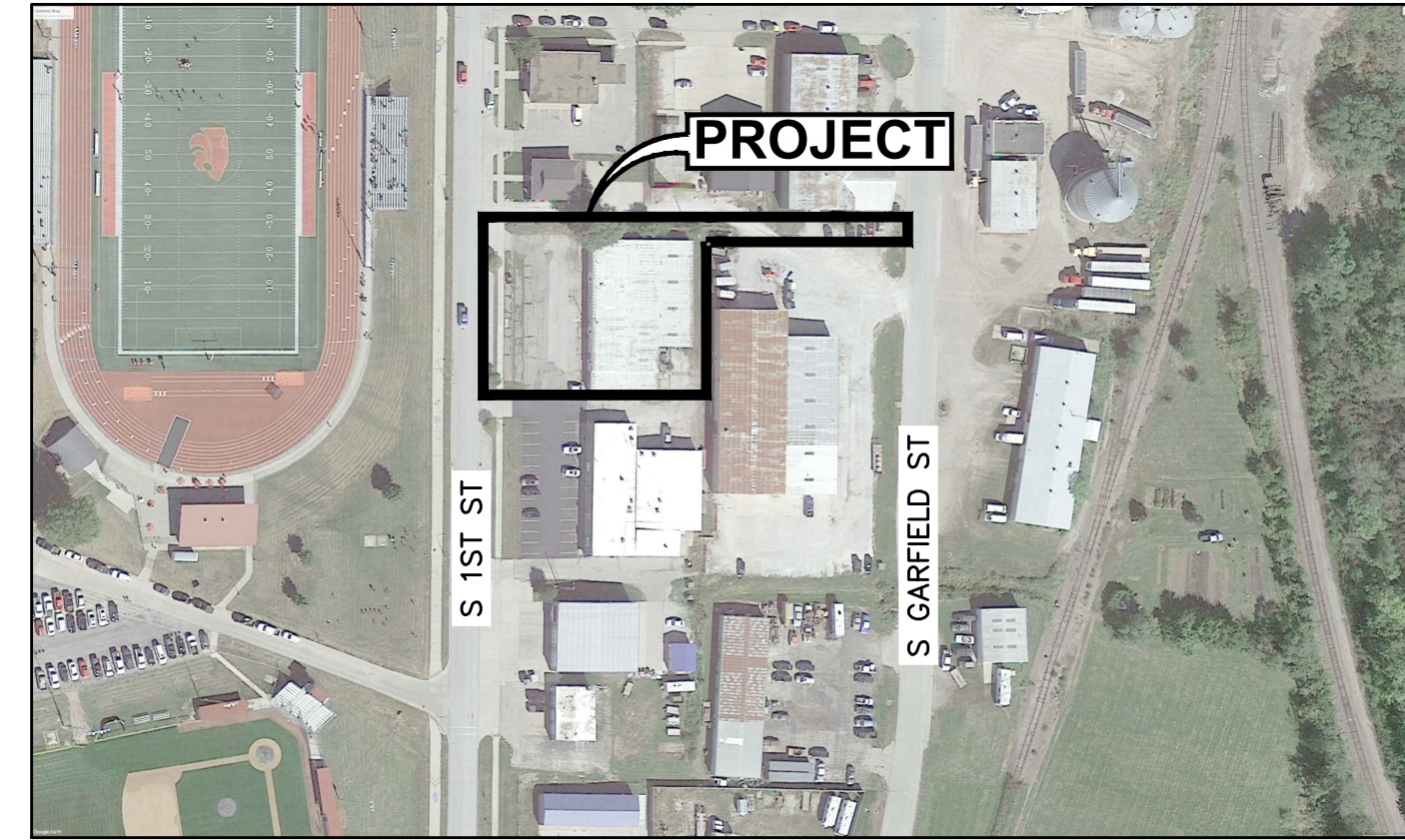
Mitch Holtz, P.E.

c: Erin Ollendike, Civil Design Advanatage

SITE PLAN FOR: CARLISLE HIGH SCHOOL MAINTENANCE FACILITY

210 S 1ST STREET - CARLISLE, IOWA

VICINITY MAP NOT TO SCALE



OWNER / APPLICANT

CARLISLE COMMUNITY SCHOOLS
430 SCHOOL ST
CARLISLE, IOWA 50047
PH. (515) 989-3589

ARCHITECT

DLR GROUP
CONTACT: ERIC BERON
1430 LOCUST STREET, SUITE 200
DES MOINES, IOWA 50309
PH. (515) 276-8097

ENGINEER

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: ERIN OLLENDIKE
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PH. (515) 369-4400
FX. (515) 369-4410

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: CHARLIE MCGLOTHLEN
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PH. (515) 369-4400
FX. (515) 369-4410

SUBMITTAL DATES

-SITE PLAN SUBMITTAL TO CITY #1: 03/01/2023
-SITE PLAN SUBMITTAL TO CITY #2: 03/14/2023

DATE OF SURVEY

JANUARY 31, 2023

BENCHMARKS

SET BM: ARROW ON HYDRANT AT SW CORNER OF
210 S. 1ST STREET.
ELEVATION=798.28

BM CHECK: GUTTER ON STORM INTAKE IN WEST
R.O.W. OF 1ST STREET AT FIRST INT. BANK.
ELEVATION=798.98

BM CHECK: BURY BOLT ON HYDRANT 200'± S.
SCHOOL STREET IN EAST R.O.W. OF WILDCAT WAY.
ELEVATION=822.75

CONSTRUCTION NOTES

- ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.
- THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE CITY OF CARLISLE SUPPLEMENTAL SPECIFICATIONS AND THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- CONSTRUCTION STAKING FOR THE SITE CONSTRUCTION SHALL BE PROVIDED AND PAID FOR BY THE CONTRACTOR. ELECTRONIC FILES OF THE DRAWINGS WILL BE PROVIDED TO THE CONTRACTOR FOR THEIR USE IN FIELD ENGINEERING SERVICES. THE CONTRACTOR SHALL EMPLOY A REGISTERED LAND SURVEYOR TO PERFORM OR OVERSEE ALL SURVEY WORK.

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = SPRING 2023
ANTICIPATED FINISH DATE = SUMMER 2023

INDEX OF SHEETS

NO.	DESCRIPTION
C1.0	COVER SHEET
C2.0	DEMOLITION PLAN
C3.0	DIMENSION PLAN
C4.0	GRADING PLAN
C5.0	EROSION AND SEDIMENT CONTROL PLAN
C6.0	UTILITY PLAN
C7.0	LANDSCAPE PLAN
C8.0	JOINTING PLAN
C9.0	DETAILS

CITY OF CARLISLE STANDARD NOTES FOR SITE PLAN

- GENERAL NOTES:
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF CARLISLE SUPPLEMENTAL SPECIFICATIONS.
 - A PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING WITH THE CITY OF CARLISLE. GENERAL CONTRACTOR AND MAJOR SUBS SHALL BE PRESENT AT THE MEETING. THE CITY OF CARLISLE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK. PLEASE CONTACT THE FOLLOWING STAFF: TONY RHINEHART - PUBLIC WORKS SUPERINTENDENT - 515-249-2055
 - ALL PERMITS (IDNR, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
 - ALL UTILITY CONTRACTORS AND/OR OWNERS SHALL BE RESPONSIBLE TO PROVIDE THE CITY OF CARLISLE WITH "AS-BUILT" DRAWINGS OF ALL PUBLIC IMPROVEMENTS WHERE NECESSARY.
 - A SIGNAGE LIST SHOULD BE SUBMITTED BY THE CONTRACTOR TO THE CITY OF CARLISLE. PUBLIC WORKS WILL VERIFY THE LIST AND ORDER THE SIGNS FROM A LIST OF APPROVED VENDORS. THE CONTRACTOR WILL THEN BE RESPONSIBLE FOR PICKING UP THE SIGNS ONCE DELIVERED TO PUBLIC WORKS AND PLACING THEM IN THE LOCATIONS IDENTIFIED ON THE SIGNAGE PLAN. THE COST OF SIGNS AND RELATED HARDWARE WILL BE BILLED TO THE CONTRACTOR.
 - ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS.
 - WE ENCOURAGE YOU TO CONTACT THE CITY OF CARLISLE WITH INFORMATION ON ANY SIGNIFICANT WORK BEING DONE OR POTENTIAL ISSUES AS THEY GENERALLY GET THE FIRST CALLS FROM NEIGHBORS WITH QUESTIONS OR CONCERNS. KEEPING THE CITY INFORMED OF PROGRESS OR SIGNIFICANT ISSUES CAN HELP YOU AVOID POTENTIAL CONFLICTS OR ISSUES WITH SURROUNDING PROPERTY OWNERS.
 - A POST-CONSTRUCTION WALK-THRU IS REQUIRED BY CITY STAFF AND/OR THE CITY'S DESIGNATED ENGINEER. ALL ENGINEERING REVIEW FEES FOR THE WALK-THRU AND FOLLOW-UP CORRESPONDENCE MUST BE PAID FOR BY THE OWNER PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT.
 - A KNOX BOX IS REQUIRED BY THE FIRE DEPARTMENT AND SHALL BE OBTAINED BY THE OWNER.
- STORM SEWER NOTES:
 - ALL STORM SEWER IN THE ROW SHALL BE RCP, UNLESS OTHERWISE APPROVED BY THE CITY.
 - ALL FLARED END SECTIONS SHALL HAVE FOOTINGS AND APRON GRATES. THE LAST 3 PIPE SECTIONS AND THE FLARED END SECTION ON ALL CULVERTS SHALL BE TIED. ALL STORM SEWER JOINTS SHALL BE WRAPPED WITH ENGINEERING FABRIC.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY FIELD TILE DAMAGED DURING CONSTRUCTION. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES.
 - ALL SUMP SERVICE LINES SHALL HAVE TRACER WIRE.
 - ALL RIP-RAP SHALL BE UNDERLAIN WITH ENGINEERING FABRIC AS SPECIFIED IN THE URBAN SPECIFICATIONS.
 - CONTRACTOR SHOULD DEVELOP AND COMMUNICATE THEIR PLAN AND TIMELINE TO THE CITY FOR BOTH INSTALLATION AND REMOVAL OF ALL SWPP PROTECTION.

GENERAL LEGEND

PROPOSED	EXISTING
PROJECT BOUNDARY	SANITARY MANHOLE
LOT LINE	WATER VALVE BOX
SECTION LINE	FIRE HYDRANT
CENTER LINE	WATER CURB STOP
RIGHT OF WAY	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-503 STORM INTAKE	FLARED END SECTION
TYPE SW-505 STORM INTAKE	ROOF DRAIN/ DOWNSPOUT
TYPE SW-506 STORM INTAKE	DECIDUOUS TREE
TYPE SW-513 STORM INTAKE	CONIFEROUS TREE
TYPE SW-401 STORM MANHOLE	DECIDUOUS SHRUB
TYPE SW-402 STORM MANHOLE	CONIFEROUS SHRUB
TYPE SW-301 SANITARY MANHOLE	ELECTRIC POWER POLE
STORM/SANITARY CLEANOUT	GUY ANCHOR
WATER VALVE	STREET LIGHT
FIRE HYDRANT ASSEMBLY	POWER POLE W/ TRANSFORMER
SIGN	UTILITY POLE W/ LIGHT
DETECTABLE WARNING PANEL	ELECTRIC BOX
STORM SEWER STRUCTURE NO.	ELECTRIC TRANSFORMER
STORM SEWER PIPE NO.	ELECTRIC MANHOLE OR VAULT
SANITARY SEWER STRUCTURE NO.	TRAFFIC SIGN
SANITARY SEWER PIPE NO.	TELEPHONE JUNCTION BOX
SANITARY SEWER WITH SIZE	TELEPHONE MANHOLE/VAULT
SANITARY SERVICE	TELEPHONE POLE
STORM SEWER	GAS VALVE BOX
STORM SERVICE	CABLE TV JUNCTION BOX
WATERMAIN WITH SIZE	CABLE TV MANHOLE/VAULT
WATER SERVICE	MAIL BOX
SAWCUT (FULL DEPTH)	BENCHMARK
SILT FENCE	SOIL BORING
USE AS CONSTRUCTED	UNDERGROUND TV CABLE
FINISHED FLOOR ELEVATION	GAS MAIN
	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE



1-800-292-8989
www.iowaonecall.com

UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE, URBANDALE, IOWA 50322
PH: (515) 369-4400 Fax: (515) 369-4410
PROJECT NO. 2301.054

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

ERIN K. OLLENDIKE, P.E.
DATE: _____
LICENSE NUMBER: 16926
LICENSE RENEWAL DATE IS DECEMBER 31, 2023
PAGES OR SHEETS COVERED BY THIS SEAL: _____
SHEETS C1.0-C7.0, C9.0

PRELIMINARY
NOT FOR CONSTRUCTION

DLR Group
CIVIL DESIGN ADVANTAGE
2301.054

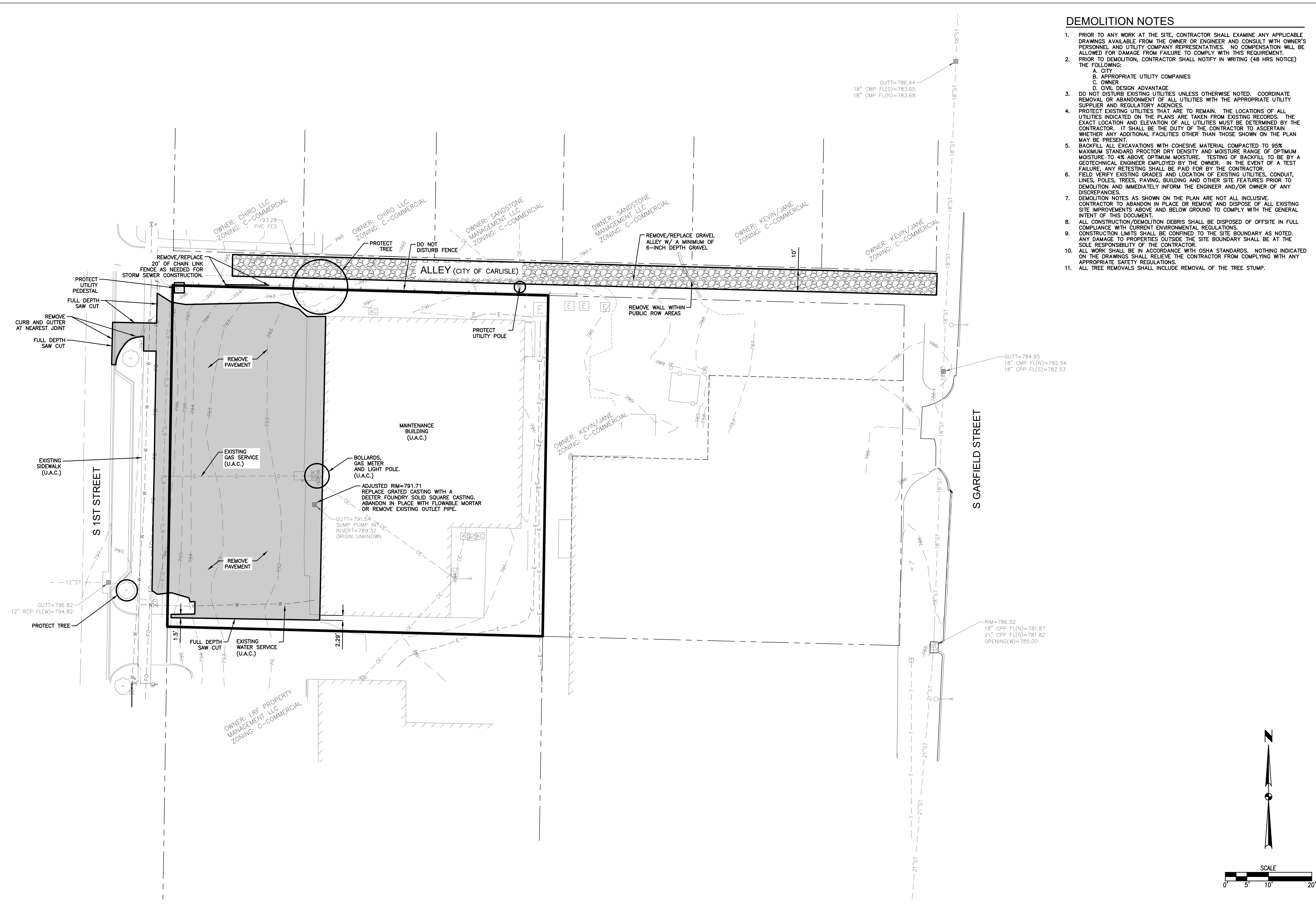
CARLISLE HIGH SCHOOL
MAINTENANCE FACILITY
CARLISLE COMMUNITY SCHOOL DISTRICT
430 SCHOOL STREET
CARLISLE, IA 50047

CONSTRUCTION DOCUMENTS
03-01-2023
REVISIONS
03-14-2023

11-15112-61
C1.0

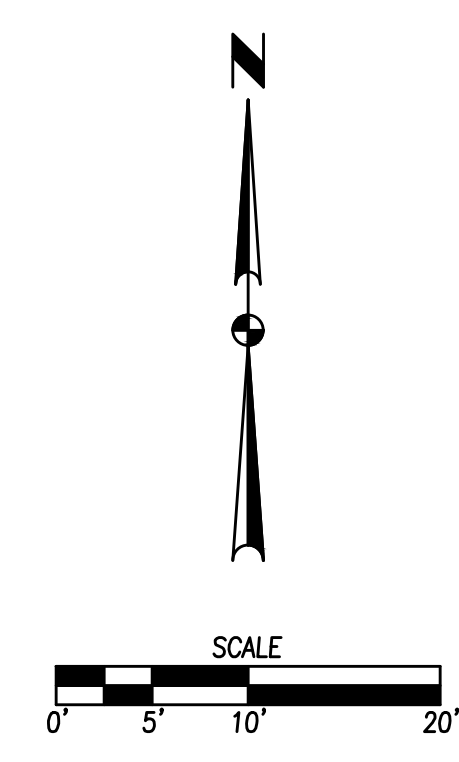
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COMMENTS: ENC.
PLOTTED BY: DAVID BERG

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 COMMENT: ENC.



DEMOLITION NOTES

1. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
2. PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
 - A. CITY
 - B. APPROPRIATE UTILITY COMPANIES
 - C. OWNER
 - D. CIVIL DESIGN ADVANTAGE
3. DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
4. PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
5. BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
6. FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
7. DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
8. ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
9. CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
11. ALL TREE REMOVALS SHALL INCLUDE REMOVAL OF THE TREE STUMP.



**CARLISLE HIGH SCHOOL
 MAINTENANCE FACILITY**

CARLISLE COMMUNITY SCHOOL DISTRICT
 430 SCHOOL STREET
 CARLISLE, IA 50047

CONSTRUCTION DOCUMENTS
 03-01-2023
 REVISIONS
 03-14-2023

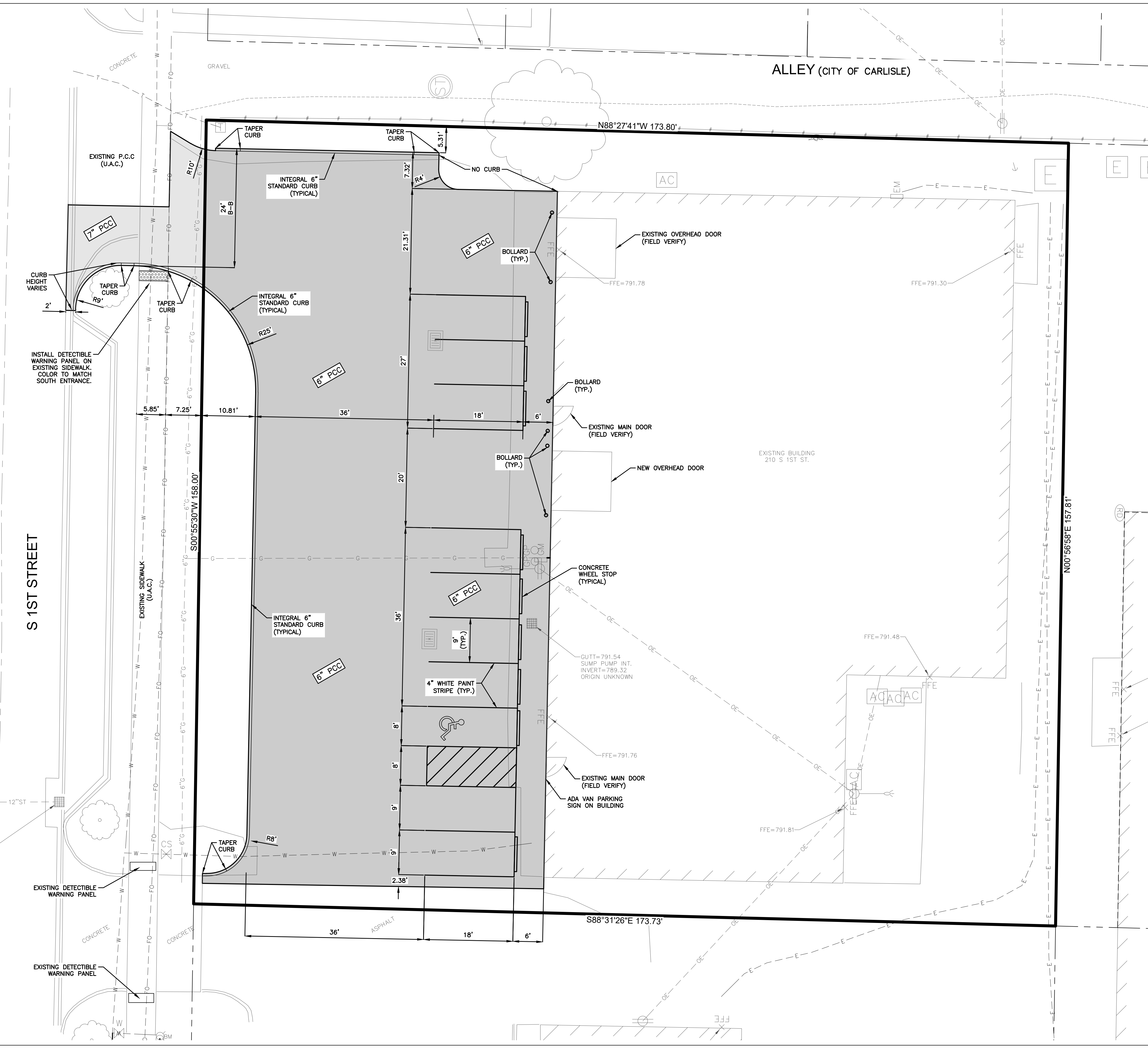
11-15112-61

DEMOLITION PLAN

C2.0

DLR Group

ESA
 CIVIL DESIGN ADVANTAGE
2301.054



GENERAL NOTES

1. THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.

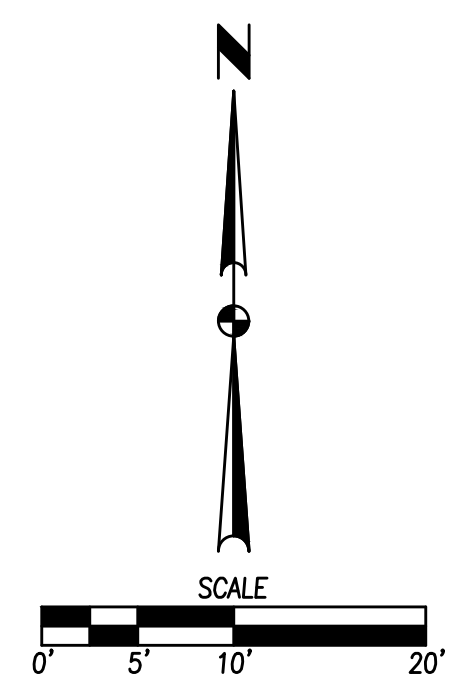
TRAFFIC CONTROL NOTES

1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES AT THE CONTRACTOR'S EXPENSE.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.
8. PERMANENT MARKING PAINT SHALL BE USED FOR STRIPING SHOWN UNLESS OTHERWISE NOTED. USE A DURABLE PAINT FOR THE STRIPING AS SPECIFIED IN SECTION 8020 OF THE 2021 SUDAS MANUAL.

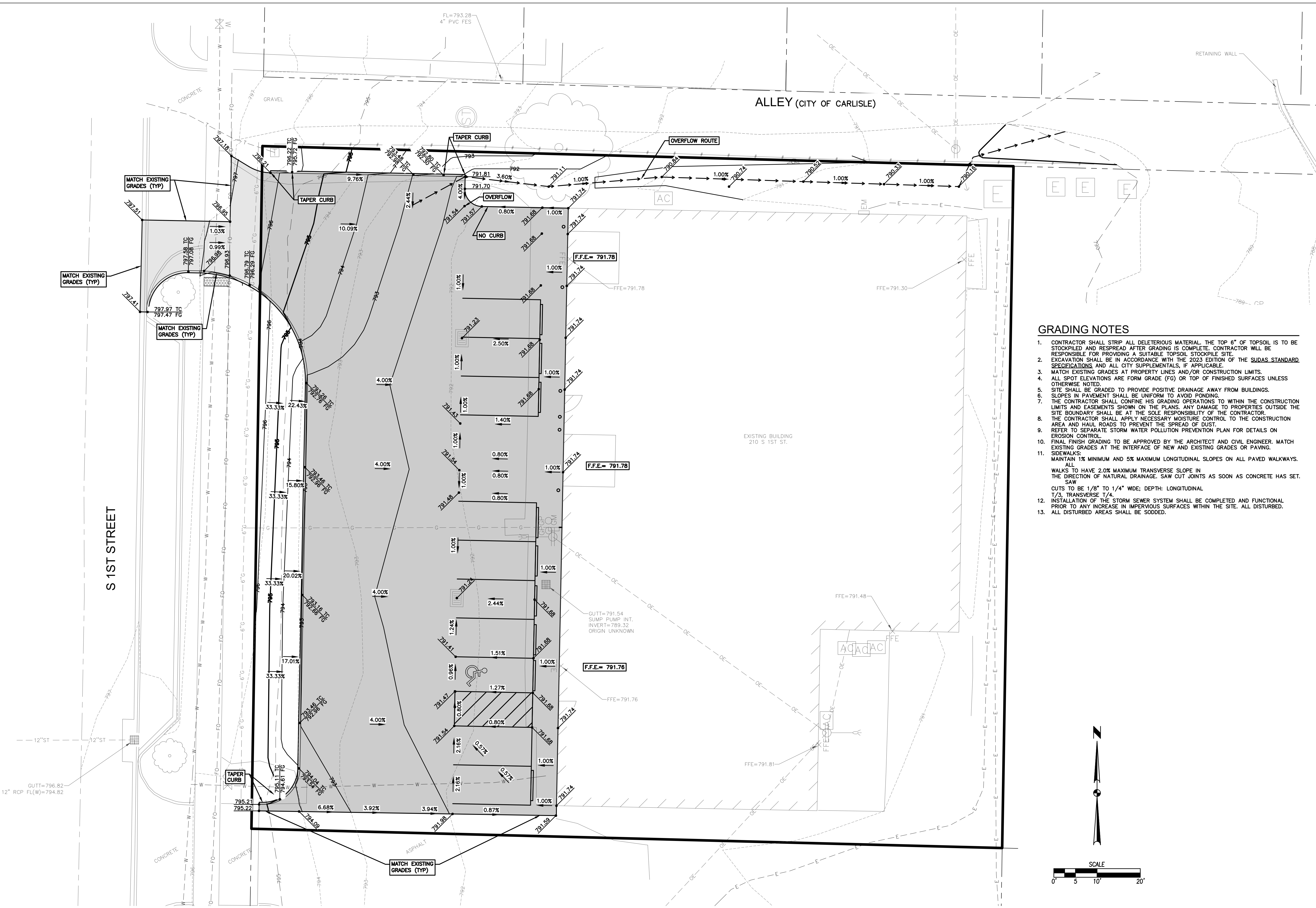
PAVEMENT THICKNESS

PARKING LOT	6" P.C.C.
RIGHT OF WAY AREAS	7" P.C.C.

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DATE PLOTTED: 3/14/2023 3:40 PM
COMMENTS:
ENC.
PLOTTER: HP DesignJet 5000 Series

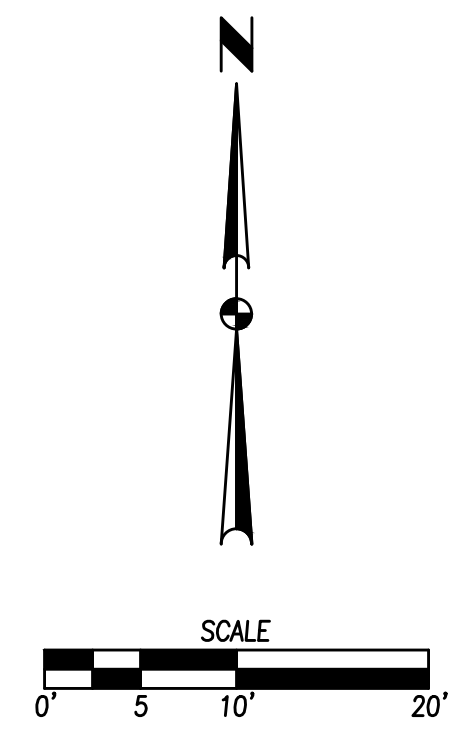


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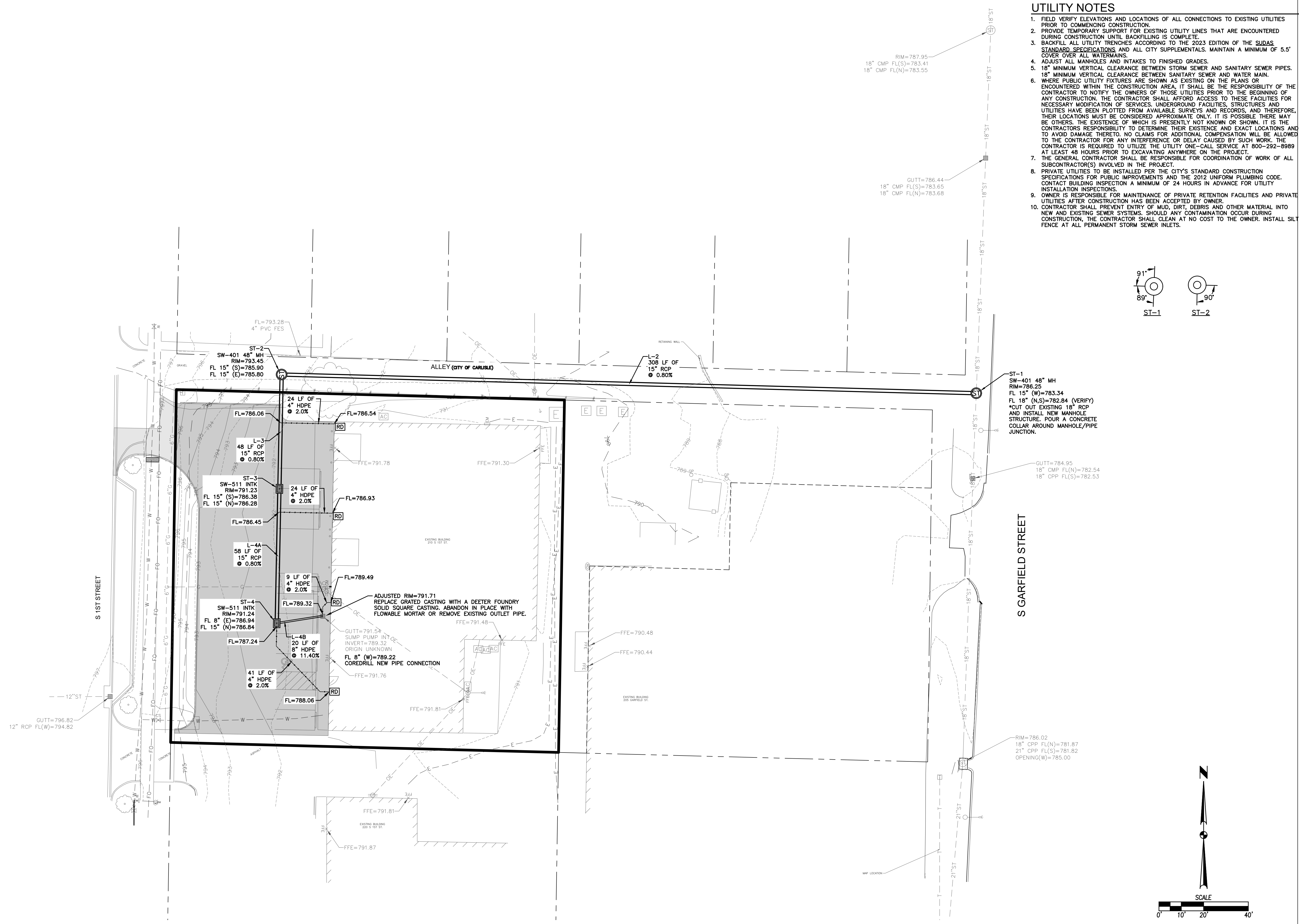


GRADING NOTES

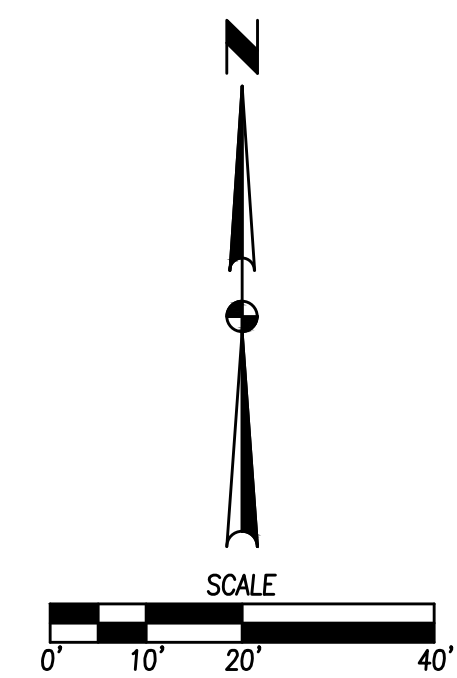
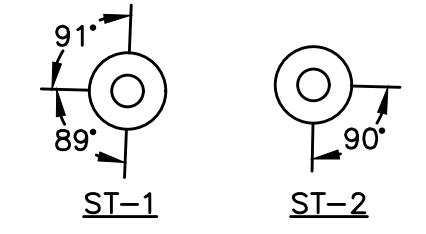
- CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
- EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
- MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
- ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
- SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
- SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
- REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
- FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
- SIDEWALKS:
 ALL WALKS TO HAVE 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS.
 ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET.
 CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.
- INSTALLATION OF THE STORM SEWER SYSTEM SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE. ALL DISTURBED.
- ALL DISTURBED AREAS SHALL BE SODDED.



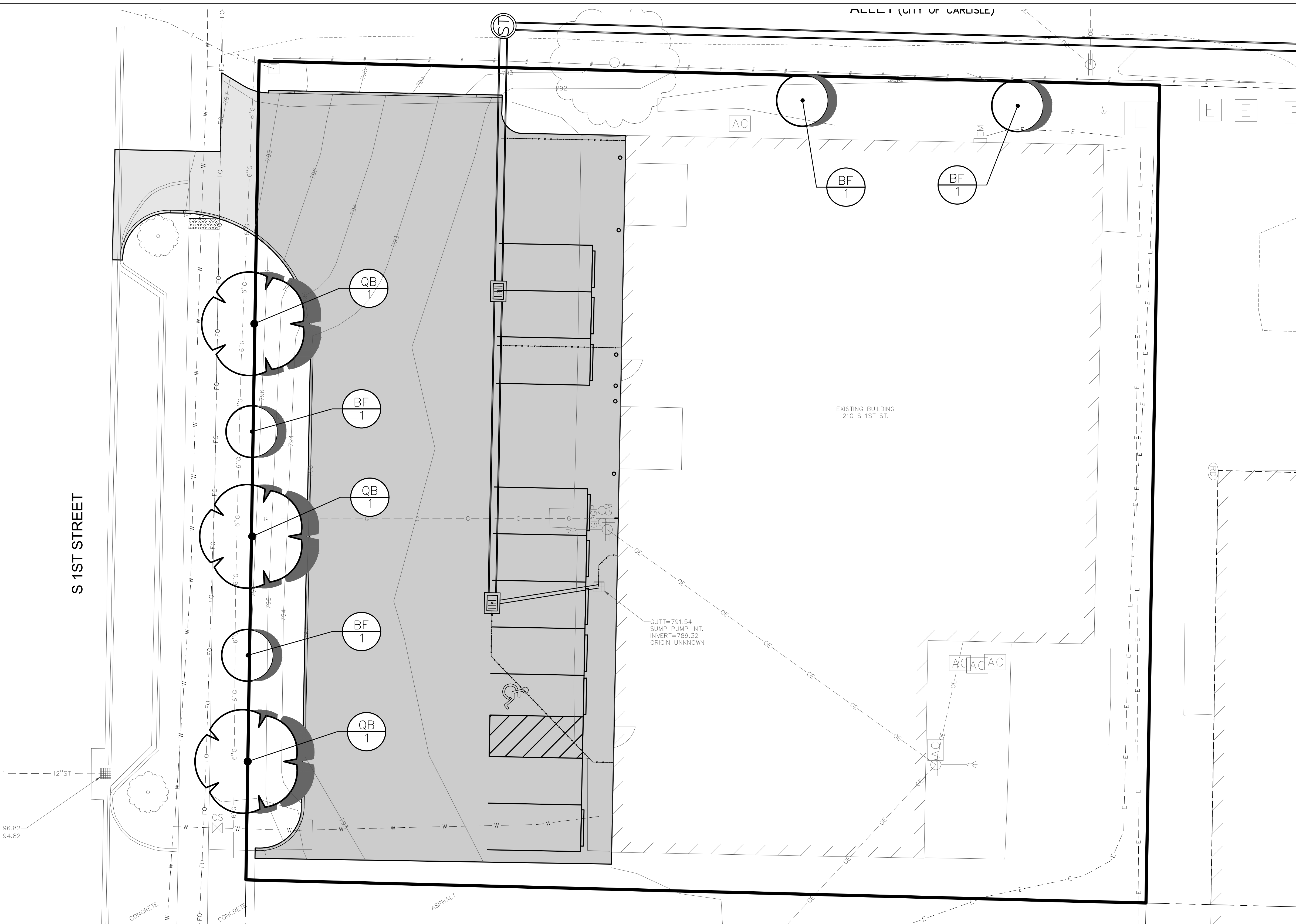
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- ### UTILITY NOTES
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
 - PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
 - BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE 2023 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMANS.
 - ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
 - 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES.
 - 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
 - WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
 - PRIVATE UTILITIES TO BE INSTALLED PER THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
 - OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES AFTER CONSTRUCTION HAS BEEN ACCEPTED BY OWNER.
 - CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.



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 DATE: 3/14/23
 PLOTTED BY: DAVE HEROLD
 COMMENT: ENC.



OVERSTORY TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
BF	4	Dakota Pinnacle Asian White Birch	Betula platyphyla 'Fargo' TM	B&B, 1.5" CALIPER
QB	3	Swamp White Oak	Quercus bicolor	B&B, 1.5" CALIPER

LANDSCAPE NOTES

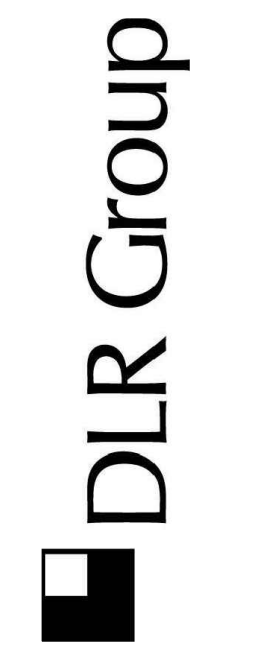

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE 2023 EDITION OF THE SDAS STANDARD SPECIFICATIONS SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
6. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
7. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
8. ALL EDGING SHALL BE SPADE CUT EDGE.
9. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
10. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
11. CONTRACTOR SHALL WARRANT ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
12. ALL DISTURBED AREAS SHALL BE SODED.

CITY LANDSCAPE REQUIREMENTS

- (1) ALL LANDSCAPE PLANS ARE SUBJECT TO THE REVIEW AND APPROVAL BY CITY STAFF.
- (2) APPROPRIATE SCREENING SHALL BE PROVIDED TO SHIELD ADJACENT RESIDENTIAL USES FROM THE IMPACTS OF THE PARKING LOT. IN ADDITION, A MINIMUM PARKING SETBACK OF 10 FEET SHALL BE REQUIRED ADJACENT TO ANY 'R' DISTRICT.
- (3) EARTH BERMS, HEDGE WALLS, FENCES, AND/OR TREES SHALL BE UTILIZED TO SHIELD VIEWS OF SEMI-TRAILER PARKING AREAS.
- (4) ADEQUATE LANDSCAPING SHALL BE PROVIDED AND MAINTAINED TO BUFFER AND BEAUTIFY THE PARKING AREA. BOTH INTERIOR AND PERIPHERAL LANDSCAPING SHALL BE CONSIDERED.
- (5) THE MINIMUM OPEN SPACE FOR MULTI-FAMILY PROPERTIES SHALL BE 15% OF THE TOTAL PROPERTY AREA.
- (6) MINIMUM REQUIREMENTS AT THE TIME OF PLANTING: TWO TREES MINIMUM OR ONE TREE PER 1,500 SQUARE FEET OF REQUIRED OPEN SPACE, WHICHEVER IS GREATER.
- (7) SHADE TREES SHALL BE REQUIRED ALONG THE PARKING LOT. THE SPACING OF THE TREES SHALL BE ONE TREE PER 50 FEET. NOTE THAT THE TREES MAY BE GROUPED TOGETHER.
- (8) MINIMUM REQUIREMENTS AT THE TIME OF PLANTING: 6 SHRUBS, OR ONE SHRUB PER 1,000 SQUARE FEET OF REQUIRED OPEN SPACE, WHICHEVER IS GREATER.
- (9) SHRUBS AND EARTH BERMS SHALL BE UTILIZED ALONG THE FRONT YARD.
- (10) DECIDUOUS TREES SHALL HAVE A MINIMUM DIAMETER OF 1 1/2 INCHES. CONIFERS SHALL BE A MINIMUM OF 6 FEET TALL.
- (11) ALL LANDSCAPING SHALL BE FULLY DEVELOPED WITHIN TWO YEARS AFTER THE OCCUPANCY OF THE BUILDING. THE OWNER IS RESPONSIBLE FOR REPLACING ANY LANDSCAPING WITHIN SIX (6) MONTHS OF NOTIFICATION FROM THE CITY OR ELSE THEY WILL BE IN VIOLATION OF THIS SECTION.
- (12) TO REDUCE EROSION, ALL DISTURBED OPEN SPACE AREAS SHALL HAVE GROUND COVER OF GRASS THAT IS INSTALLED AS SOD OR SEED. LANDSCAPE ROCK IS ALLOWED SUBJECT TO THE VIEW OF CITY STAFF.
- (13) ANY STORAGE AREA, GARBAGE STORAGE, JUNK STORAGE OR LOADING DOCKS, AND LOADING AREAS IN ANY DISTRICT SHALL BE SCREENED FROM PUBLIC STREET VIEW BY A BUFFER.

LANDSCAPE CALCULATIONS

LOT AREA	= 27,437 SF (0.63 ACRES)
OPEN SPACE REQUIRED	= 5,488 (20%)
TREES REQUIRED	= 4 (1/ 1,500 SF)
TREES PROVIDED	= 4
SHRUBS REQUIRED	= 6 (6/ 1,000 SF)
SHRUBS PROVIDED	= 0
PARKING LOT TREES REQUIRED	= 3 (125' @ 1/ 50 FEET)
PARKING LOT TREES PROVIDED	= 3

CIVIL DESIGN ADVANTAGE
 # 2301.054

**CARLISLE HIGH SCHOOL
 MAINTENANCE FACILITY**
 CARLISLE COMMUNITY SCHOOL DISTRICT
 430 SCHOOL STREET
 CARLISLE, IA 50047

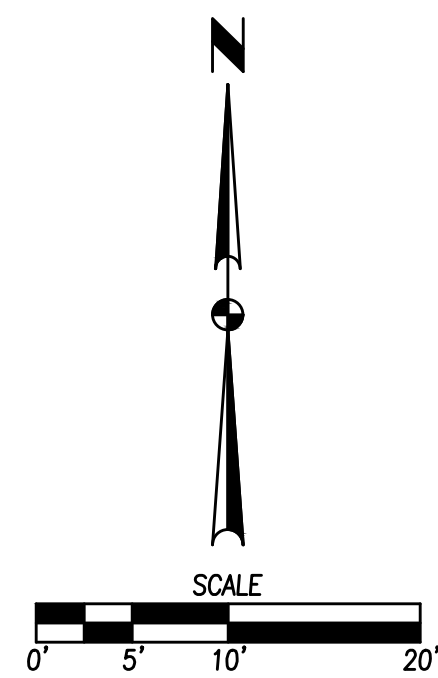
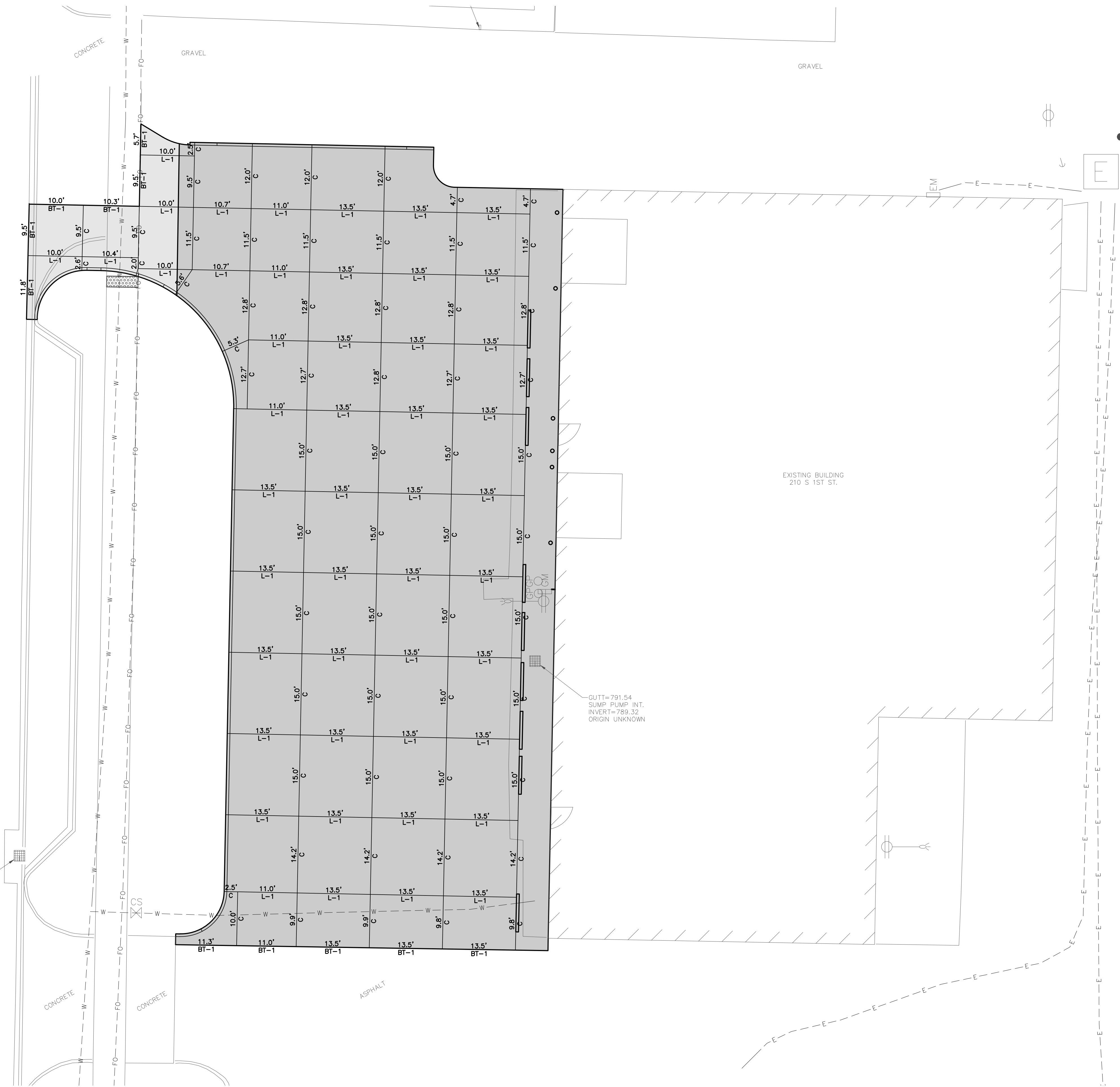
CONSTRUCTION DOCUMENTS
 03-01-2023
 REVISIONS
 03-14-2023

11-15112-61
 LANDSCAPE PLAN

C7.0

SOUTH 1ST STREET

GUTT=796.82
 12" RCP FL(W)=794.82

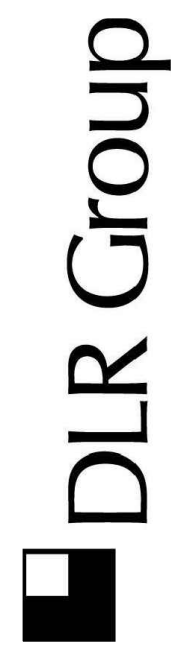


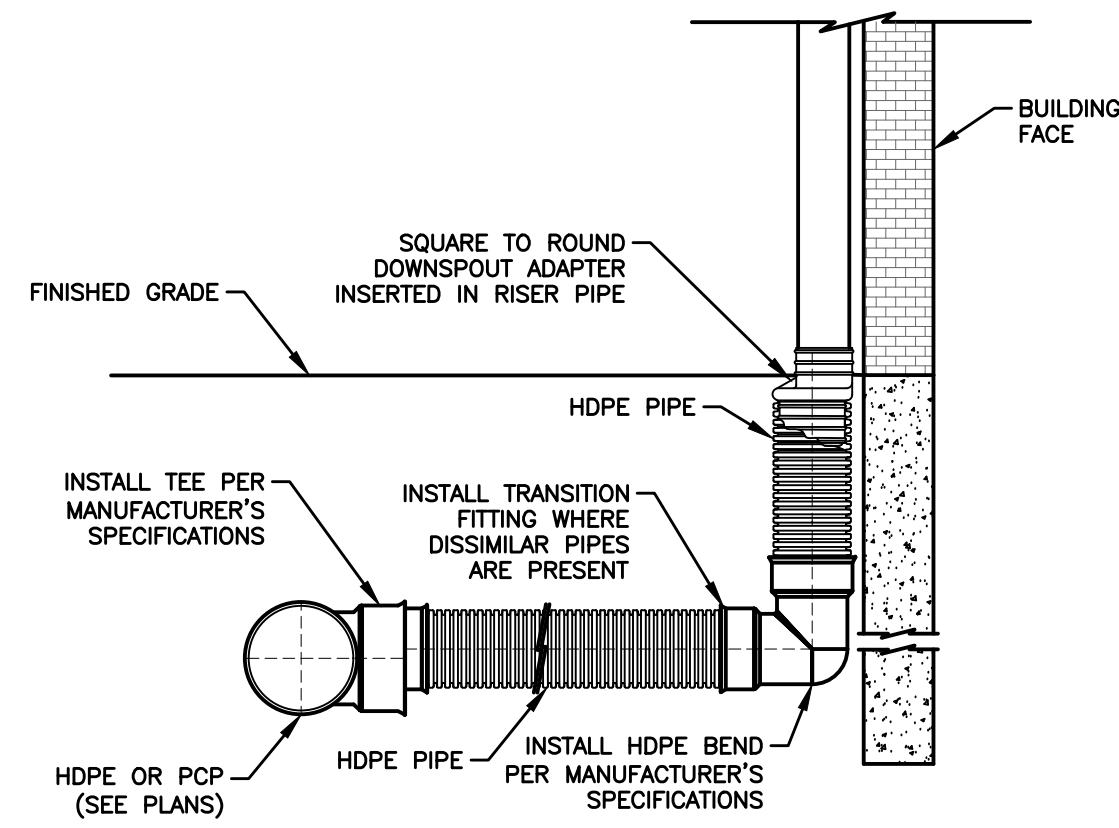
CARLISLE HIGH SCHOOL MAINTENANCE FACILITY

CONSTRUCTION DOCUMENTS
 03-01-2023
 REVISIONS
 03-14-2023

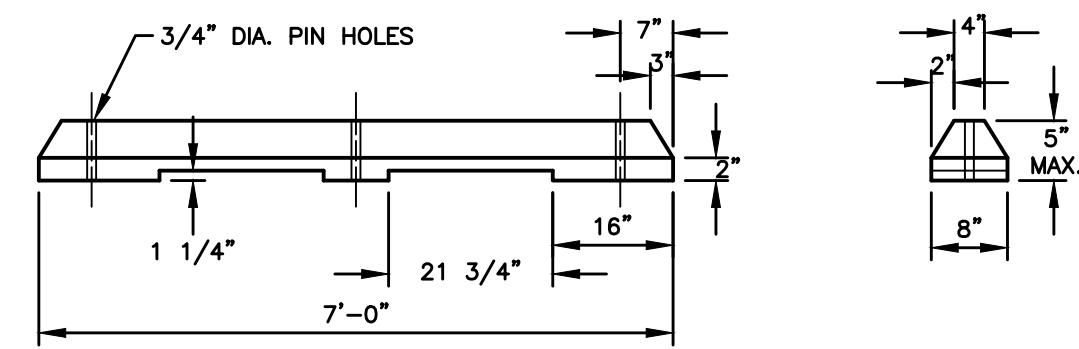
11-15112-61
 JOINTING PLAN

C8.0





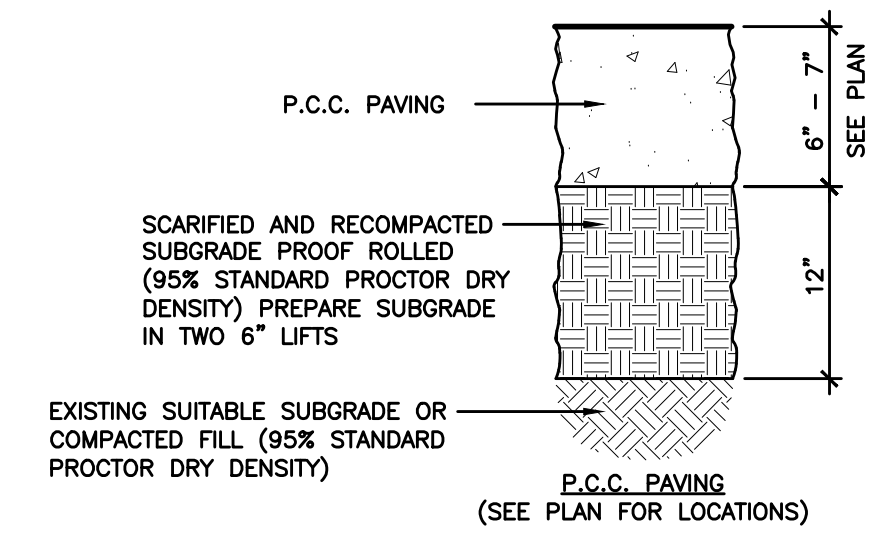
7 DOWNSPOUT CONNECTION WITH TEE
NOT TO SCALE



GENERAL NOTES:

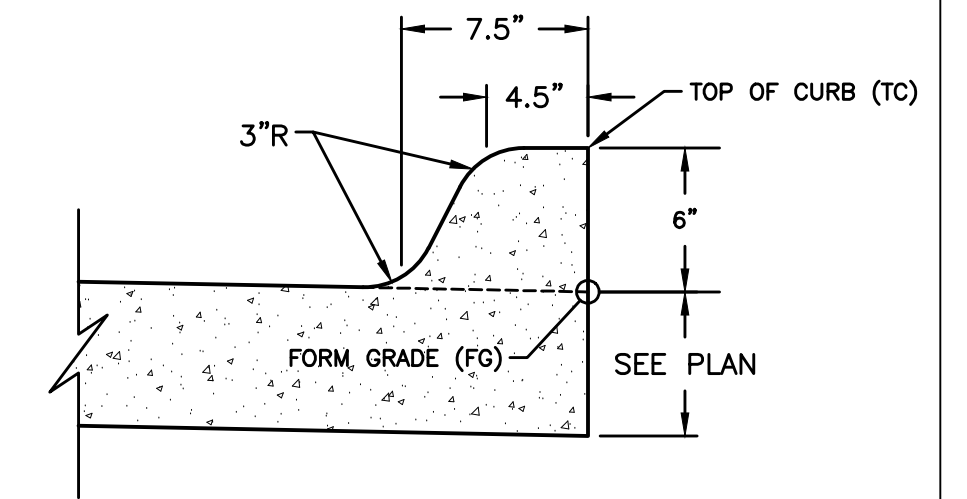
1. DETAILS INDICATED HEREON ARE TYPICAL ONLY. ALTERNATE DESIGNS MAY BE SUBMITTED TO THE ENGINEER FOR APPROVAL. ANY ALTERNATE DESIGN APPROVED FOR USE ON CONSTRUCTION SHALL CONFORM TO THE MINIMUM REQUIREMENTS AS SHOWN. REFER TO ADDITIONAL PORTIONS OF THE PROJECT PLANS FOR COMPLETE DATA AS TO INSTALLATION, LOCATION, ETC.
2. ANY PRECAST P.C.C. WHEELSTOP MEASURING LONGER THAN 6'-0" WILL REQUIRE 3 ANCHOR PINS TO HOLD WHEELSTOP IN POSITION.
3. ANCHOR PINS SHALL BE 5/8" DIAMETER, 1'-6" LONG. ANCHOR PINS THAT ARE NOT BEDDED IN CONCRETE SHALL BE GALVANIZED. GROUT ANCHOR PINS MINIMUM OF 2" DEEP.
4. REINFORCING STEEL USED IN PRECAST P.C.C. WHEELSTOPS SHALL HAVE A MINIMUM OF 2" CLEARANCE TO THE CONCRETE SURFACES.
5. MINIMUM CONCRETE STRENGTH IS 4,000 PSI. LOCATE 6" FROM EDGE OF PAVEMENT TO CENTER OF WHEELSTOP. CENTER WHEELSTOP IN EACH SPACE.

5 PCC WHEEL STOP
NOT TO SCALE

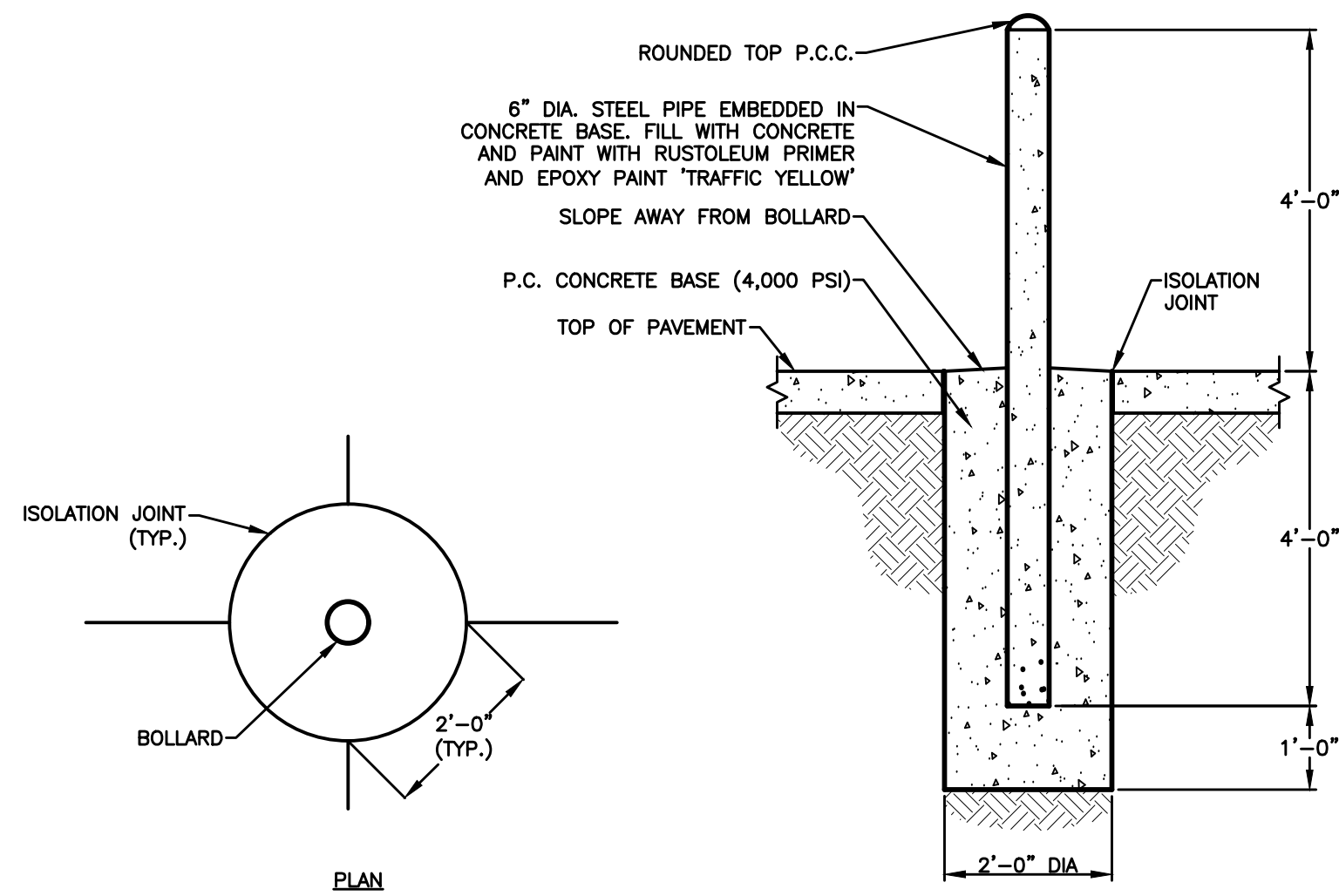


- NOTE:**
1. SUBGRADE PREPARATION SHALL EXTEND 24" BEYOND EDGE OF PAVING OR BACK OF CURB, EXCEPT WHEN ABUTTING EXISTING PAVEMENT.
 2. TRANSVERSE JOINTS SHALL BE "C" JOINTS FOR 6" AND 7" PCC AT 15' MAX. SPACING.
 3. LONGITUDINAL JOINTS SHALL BE INTERCHANGEABLE, L-1 OR KT-1 FOR 6" AND 7" PCC.

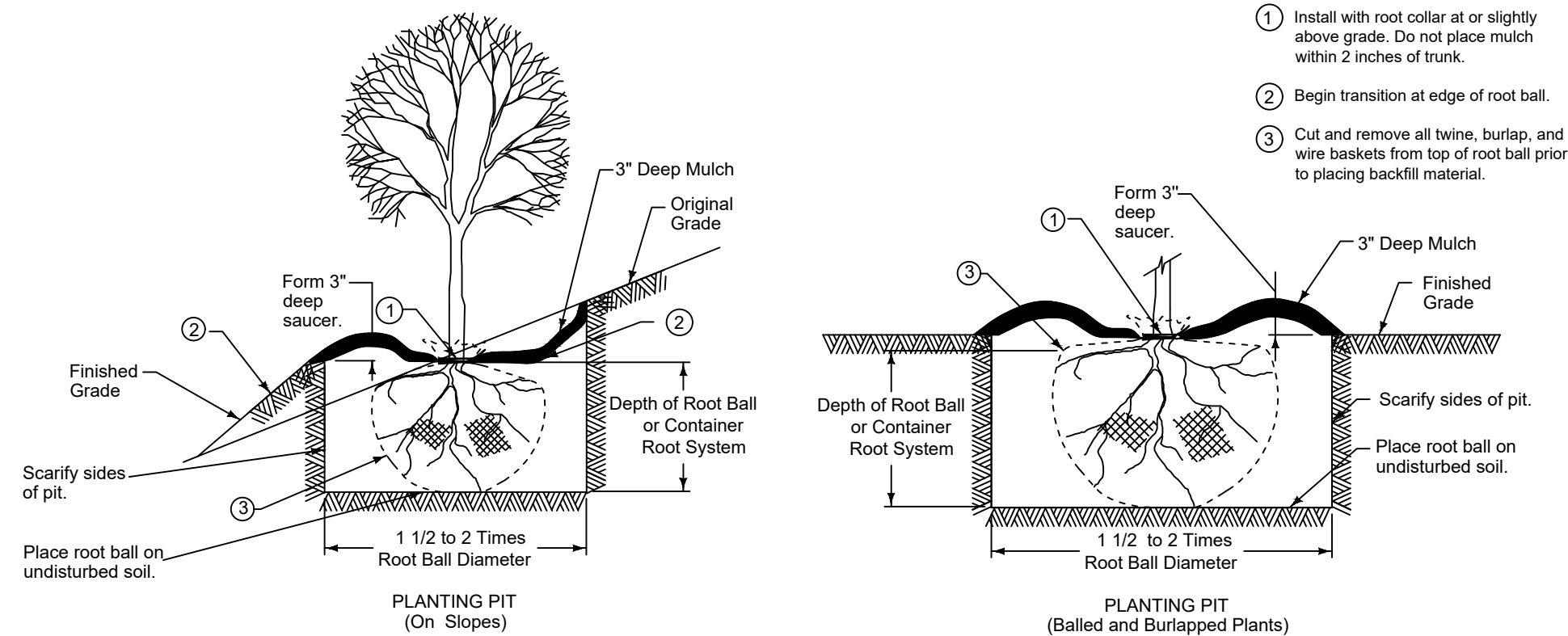
4 TYPICAL SECTION - P.C.C. PAVEMENT
NOT TO SCALE



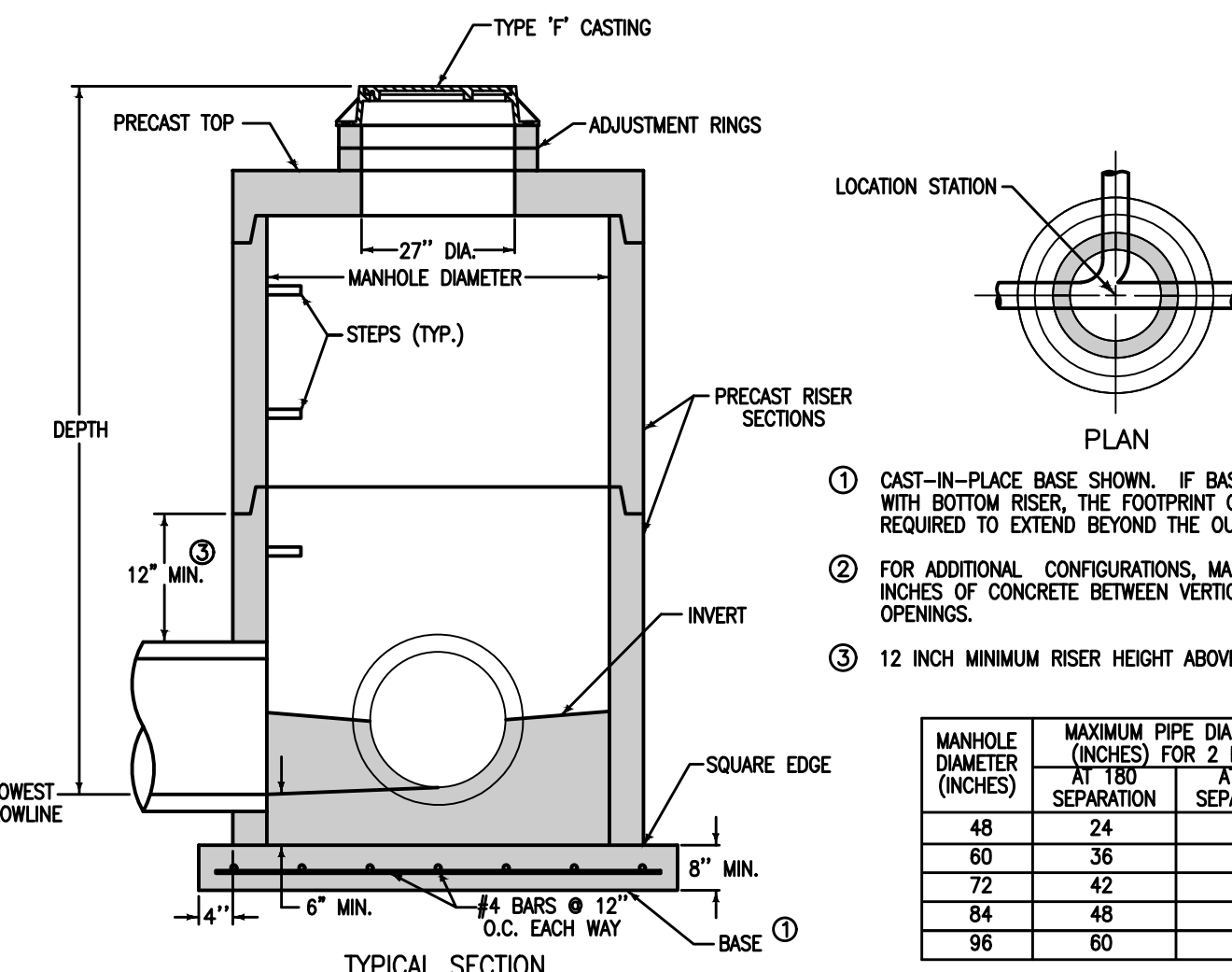
1 INTEGRAL 6" STANDARD CURB
NOT TO SCALE



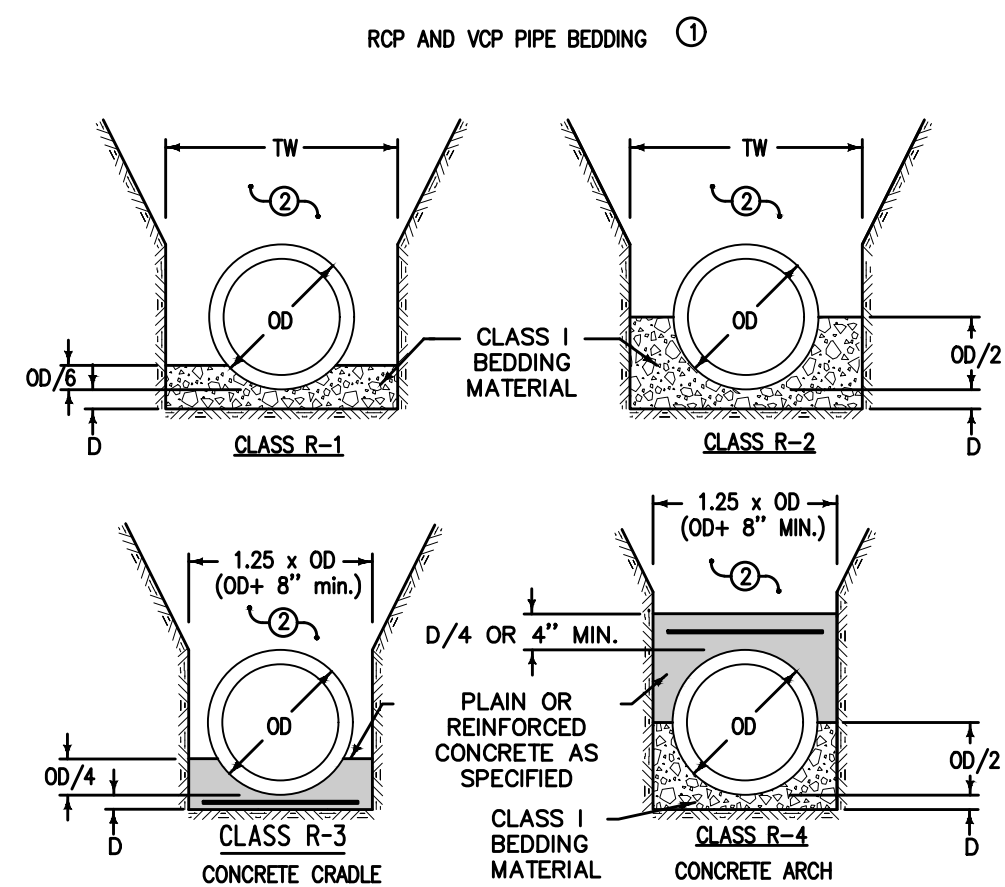
8 PLANTING PIT DETAIL
NOT TO SCALE



6 PLANTING PIT DETAIL
NOT TO SCALE



2 SW-401 STORM SEWER MANHOLE
NOT TO SCALE



- KEY:**
- OD = OUTSIDE DIAMETER OF PIPE
 - OS = OUTSIDE SPAN OF PIPE
 - TW = TRENCH WIDTH AT TOP OF PIPE:
MIN. = OD+18 INCHES
MAX. = 1.25XOD+12 INCHES OR 54 INCHES (WHICHEVER IS GREATER)
 - D = DEPTH OF BEDDING MATERIAL BELOW PIPE:
OD/8 OR OS/8, OR 4 INCHES (WHICHEVER IS GREATER)

1. USE BEDDING CLASS R-1 OR R-2 UNLESS SPECIFIED OTHERWISE.
2. PLACE REMAINDER OF BEDDING AND BACKFILL MATERIALS AS SPECIFIED IN THE CONTRACT DOCUMENTS.

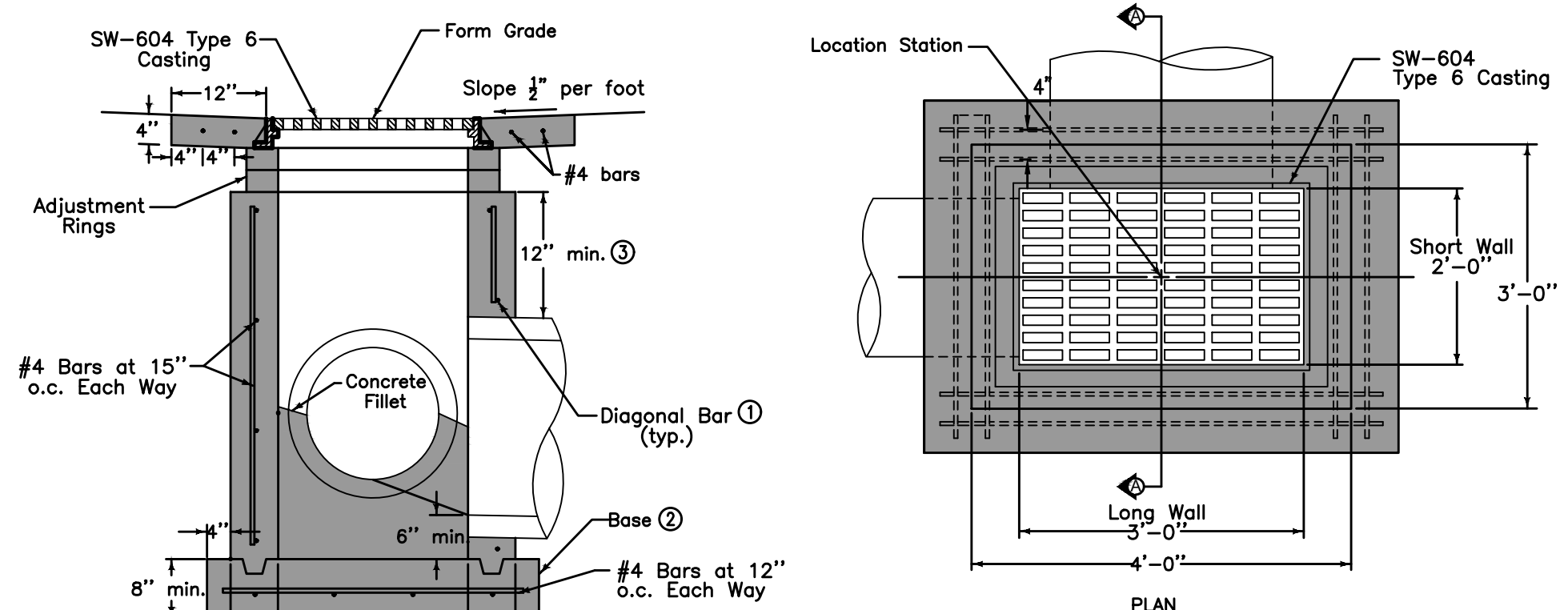
9 RIGID GRAVITY PIPE TRENCH BEDDING
NOT TO SCALE

ALLOWABLE BURY DEPTH

Pipe Diameter (Inches)	CLASS III RCP		CLASS IV RCP	
	Class R-1 Bedding	Class R-2 Bedding	Class R-3 & R-4 Bedding No Steel	Class R-3 & R-4 Bedding As=0.4% As=1.0%
12	7'	10'	15'	19'
15	8'	10'	16'	19'
18	8'	11'	16'	20'
21	8'	11'	18'	26'
24	8'	12'	23'	36'
27	10'	15'	30'	40'
30	11'	15'	29'	40'
33	11'	15'	28'	40'
36	11'	15'	27'	40'
42	11'	15'	26'	38'
48	11'	15'	26'	36'
54	11'	15'	25'	34'
60	11'	15'	25'	33'
66	11'	15'	24'	32'
72	11'	15'	24'	32'

EXTRA STRENGTH VCP

Pipe Diameter (Inches)	CLASS III RCP		CLASS IV RCP	
	Class R-1 Bedding	Class R-2 Bedding	Class R-3 & R-4 Bedding No Steel	Class R-3 & R-4 Bedding As=0.4% As=1.0%
6	2'	3'	3'	3'
8	2'	2'	3'	3'
10	18'	23'	30'	30'
12	16'	20'	30'	30'
15	15'	19'	28'	30'
18	14'	18'	30'	30'
21	15'	22'	30'	30'
24	18'	28'	30'	30'
27	20'	30'	30'	30'
30	19'	29'	30'	30'
33	20'	30'	30'	30'
36	20'	30'	30'	30'
39	19'	29'	30'	30'
42	18'	26'	30'	30'



3 SW-511 INTAKE
NOT TO SCALE

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March 14, 2023

City of Carlisle
Deven Markley, City Administrator
100 N. 1st Street
Carlisle, Iowa 50047

RE: Carlisle High School Maintenance Facility
Site Plan Approval

Mr. Markley;

On behalf of the Carlisle Community School District, we respectfully request a design exception for one item on the Carlisle High School Maintenance Facility site plan located at 210 S. 1st Street. The Carlisle city code Section 165.06, 5, C, 1 states that all paved areas shall be constructed with curb and gutter. This project involves removing the existing parking lot and replacing it with new concrete that drains away from the building. There are steep drives with a 10% slope coming down into the existing parking lot off of S. 1st Street that service the current parking lot. If we were to drop the grades in front of the existing building by six inches it would require that these entrances and parking lot slopes get steeper making it hard to navigate. Additionally there will be two overhead doors cut into the existing building that will need to be at grade making a curb installation difficult. We would request that in lieu of a 6-inch curb that the owner be allowed to install concrete wheel stops between the building and parking lot. Please contact me should you have any questions.

Sincerely,

CIVIL DESIGN ADVANTAGE, LLC

Erin K. Ollendike, P.E.

cc: Erik Anderson, Superintendent Carlisle CSD
Eric Beron, DLR Group

Comment Response Letter

Carlisle High School Maintenance Facility Site Plan

March 14, 2023

Sheet C2.0 - Demolition Plan

1. Please show the existing grade contours on this sheet to verify where the existing parking lot drains to.
 - **Existing contours have been shown.**

Sheet C3.0 - Dimension Plan

2. As per 165.06, 5, C, 1: *All residential and commercial property shall be paved with either asphalt concrete (ACC) or Portland cement concrete (PCC). In addition, all paved areas shall be constructed with curb and gutter. Prefabricated portable curb stops shall not be considered an acceptable alternate unless otherwise approved by the City Council.* Please provide a formal request for waiver of the requirement to have curb so that you may provide the wheel stops you are proposing on the plans.
 - **See attached variance letter.**
3. Please show the location of the existing man door into the structure.
 - **The existing door has been labeled.**

Sheet C6.0 - Utility Plan

4. Please eliminate note 11 on this sheet. Poly pipe is not an allowed substitution for RCP in public right of way.
 - **Note has been deleted.**
5. Please clarify how the connections from new manhole to existing storm sewers will be made at ST-1.
 - **Additional notes have been added.**

Stormwater Management Plan

6. It appears that the western part of the existing structure (at a minimum) drains to the proposed intakes but is not being accounted for in the calculations. Please review and revise the calculations as necessary.
 - **Item has been amended.**
7. It is not clear whether you are planning for a 5-yr design or 100-yr design for the storm sewer. Please review and make sure that the spreadsheet and report match. The intensities in the storm sewer table do not match what is shown on the intake capacity sheets.
 - **The pipes are designed for the 5-year event as listed in the report.**
8. Please clarify that there is enough capacity to convey the 100-yr event to the storm sewer. There is no capacity information shown for the existing storm sewer. This needs to be verified.
 - **We are provided additional calculations showing the 100-year events.**
9. Please clarify how a Tc of 6 minutes was determined.
 - **We have added time of concentration calculations. We utilize a minimum time of concentration of 6 minutes for all projects.**



FOX Strand
414 South 17th Street, Suite 107
Ames, IA 50010
(P) 515.233.0000
www.strand.com

DATE: March 15, 2023

TO: Deven Markley
City Administrator, City of Carlisle
100 N. 1st Street
Carlisle, IA 50047

RE: Carlisle High School Parking Expansion #2 – Site Plan Review
Project No. 7023.066
City of Carlisle, Iowa (City)

FOX Strand has completed the second review for the Carlisle High School Parking Expansion #2 Site Plan dated March 14, 2023. Please address the following comments:

General Comments for P&Z and Council Consideration:

1. Per 165.06, 5, F, 9 of the Code, shrubs and earth berms shall be utilized along the front yard. The Developer is seeking a waiver for this requirement. **Discussion is necessary** regarding whether the waiver request may be granted.

Stormwater Management Plan

2. FOX Strand has yet to review the 2nd submittal of the storm water management plan. Additional comments on the storm water management plan may be forthcoming.

Site Plan Review Schedule

Planning & Zoning: March 20, 2023 at 7 P.M. at Carlisle City Hall

Council Meeting: March 27, 2023 at 6:30 P.M. at Carlisle City Hall

If you have any questions or concerns, please contact Mitch Holtz at 515-233-0000. FOX Strand reserves the right to modify and/or add to these comments.

Sincerely,

FOX Strand

Mitch Holtz, P.E.

c: Erin Ollendike, Civil Design Advanatage

SITE PLAN FOR: CARLISLE HIGH SCHOOL PARKING EXPANSION #2

CARLISLE, IOWA INDEX OF SHEETS

NO.	DESCRIPTION
C1.0	COVER SHEET
C2.0	DEMOLITION PLAN
C3.0	DIMENSION PLAN AND UTILITY PLAN
C4.0	GRADING PLAN AND DETAILS
C5.0	JOINTING PLAN
C6.0	EROSION AND SEDIMENT CONTROL PLAN
ES1.0	ELECTRICAL SITE PLAN

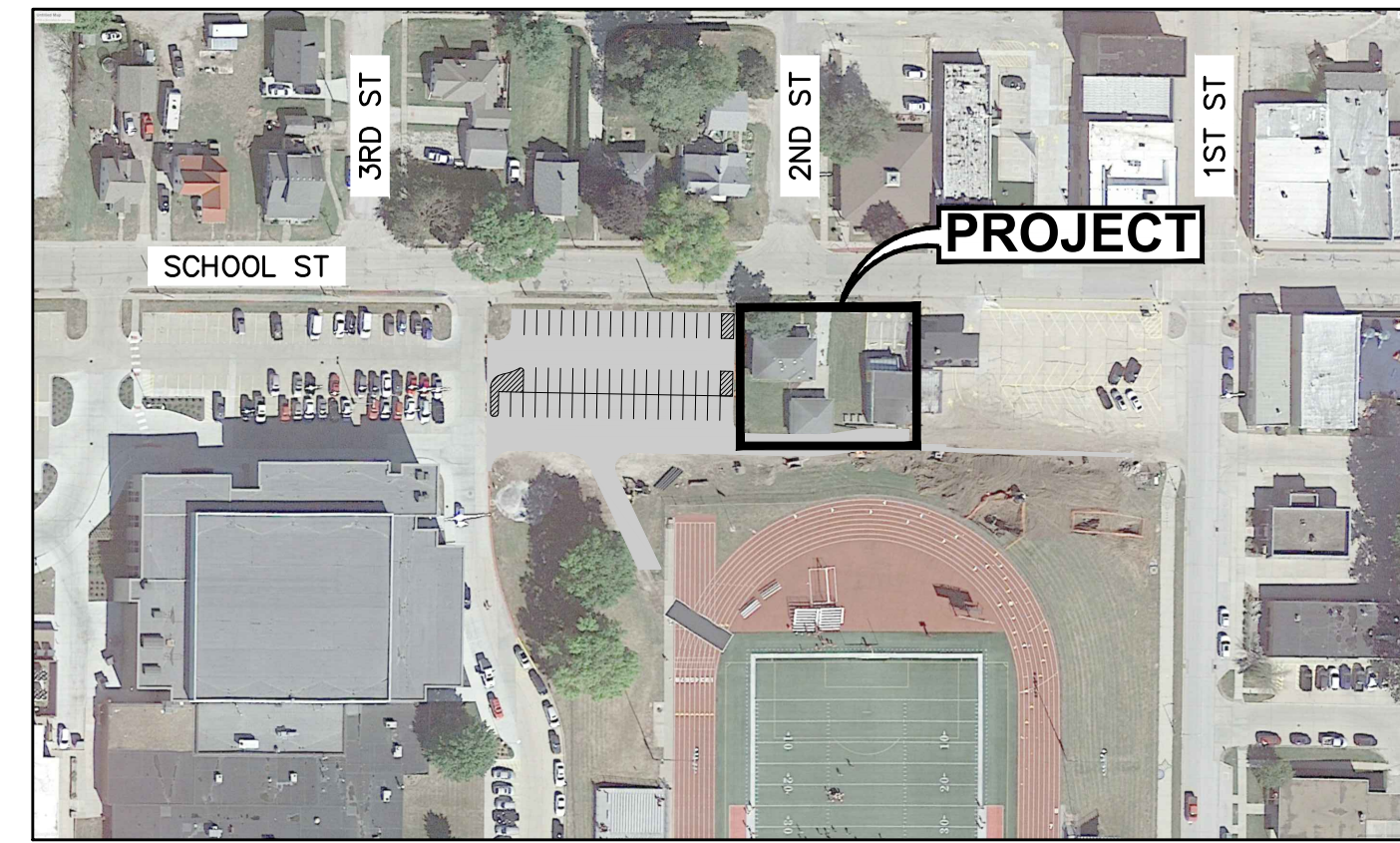
GENERAL LEGEND

PROPOSED	EXISTING
PROJECT BOUNDARY	SANITARY MANHOLE
LOT LINE	WATER VALVE BOX
SECTION LINE	FIRE HYDRANT
CENTER LINE	WATER CURB STOP
RIGHT OF WAY	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-503 STORM INTAKE	FLARED END SECTION
TYPE SW-505 STORM INTAKE	ROOF DRAIN/ DOWNSPOUT
TYPE SW-506 STORM INTAKE	DECIDUOUS TREE
TYPE SW-513 STORM INTAKE	CONIFEROUS TREE
TYPE SW-401 STORM MANHOLE	DECIDUOUS SHRUB
TYPE SW-402 STORM MANHOLE	CONIFEROUS SHRUB
TYPE SW-301 SANITARY MANHOLE	ELECTRIC POWER POLE
STORM/SANITARY CLEANOUT	GUY ANCHOR
WATER VALVE	STREET LIGHT
FIRE HYDRANT ASSEMBLY	POWER POLE W/ TRANSFORMER
SIGN	UTILITY POLE W/ LIGHT
DETECTABLE WARNING PANEL	ELECTRIC BOX
STORM SEWER STRUCTURE NO.	ELECTRIC TRANSFORMER
STORM SEWER PIPE NO.	ELECTRIC MANHOLE OR VAULT
SANITARY SEWER STRUCTURE NO.	TRAFFIC SIGN
SANITARY SEWER PIPE NO.	TELEPHONE JUNCTION BOX
SANITARY SEWER WITH SIZE	TELEPHONE MANHOLE/VAULT
SANITARY SERVICE	TELEPHONE POLE
STORM SEWER	GAS VALVE BOX
STORM SERVICE	CABLE TV JUNCTION BOX
WATERMAIN WITH SIZE	CABLE TV MANHOLE/VAULT
WATER SERVICE	MAIL BOX
SAWCUT (FULL DEPTH)	BENCHMARK
SILT FENCE	SOIL BORING
USE AS CONSTRUCTED (U.A.C.)	UNDERGROUND TV CABLE
	GAS MAIN
	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE

CITY OF CARLISLE STANDARD NOTES FOR SITE PLAN

- GENERAL NOTES:
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF CARLISLE SUPPLEMENTAL SPECIFICATIONS.
 - A PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING WITH THE CITY OF CARLISLE. GENERAL CONTRACTOR AND MAJOR SUBS SHALL BE PRESENT AT THE MEETING. THE CITY OF CARLISLE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK. PLEASE CONTACT THE FOLLOWING STAFF: TONY RHINEHART - PUBLIC WORKS SUPERINTENDENT - 515-249-2055
 - ALL PERMITS (IDNR, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
 - ALL UTILITY CONTRACTORS AND/OR OWNERS SHALL BE RESPONSIBLE TO PROVIDE THE CITY OF CARLISLE WITH "AS-BUILT" DRAWINGS OF ALL PUBLIC IMPROVEMENTS WHERE NECESSARY.
 - A SIGNAGE LIST SHOULD BE SUBMITTED BY THE CONTRACTOR TO THE CITY OF CARLISLE. PUBLIC WORKS WILL VERIFY THE LIST AND ORDER THE SIGNS FROM A LIST OF APPROVED VENDORS. THE CONTRACTOR WILL THEN BE RESPONSIBLE FOR PICKING UP THE SIGNS ONCE DELIVERED TO PUBLIC WORKS AND PLACING THEM IN THE LOCATIONS IDENTIFIED ON THE SIGNAGE PLAN. THE COST OF SIGNS AND RELATED HARDWARE WILL BE BILLED TO THE CONTRACTOR.
 - ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS.
 - WE ENCOURAGE YOU TO CONTACT THE CITY OF CARLISLE WITH INFORMATION ON ANY SIGNIFICANT WORK BEING DONE OR POTENTIAL ISSUES AS THEY GENERALLY GET THE FIRST CALLS FROM NEIGHBORS WITH QUESTIONS OR CONCERNS. KEEPING THE CITY INFORMED OF PROGRESS OR SIGNIFICANT ISSUES CAN HELP YOU AVOID POTENTIAL CONFLICTS OR ISSUES WITH SURROUNDING PROPERTY OWNERS.
 - A POST-CONSTRUCTION WALK-THRU IS REQUIRED BY CITY STAFF AND/OR THE CITY'S DESIGNATED ENGINEER. ALL ENGINEERING REVIEW FEES FOR THE WALK-THRU AND FOLLOW-UP CORRESPONDENCE MUST BE PAID FOR BY THE OWNER PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT.
 - A KNOX BOX IS REQUIRED BY THE FIRE DEPARTMENT AND SHALL BE OBTAINED BY THE OWNER.
- STORM SEWER NOTES:
 - ALL STORM SEWER IN THE ROW SHALL BE RCP, UNLESS OTHERWISE APPROVED BY THE CITY.
 - ALL FLARED END SECTIONS SHALL HAVE FOOTINGS AND APRON GRATES. THE LAST 3 PIPE SECTIONS AND THE FLARED END SECTION ON ALL CULVERTS SHALL BE TIED. ALL STORM SEWER JOINTS SHALL BE WRAPPED WITH ENGINEERING FABRIC.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY FIELD TILE DAMAGED DURING CONSTRUCTION. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES.
 - ALL SUMP SERVICE LINES SHALL HAVE TRACER WIRE.
 - ALL RIP-RAP SHALL BE UNDERLAIN WITH ENGINEERING FABRIC AS SPECIFIED IN THE URBAN SPECIFICATIONS.
 - CONTRACTOR SHOULD DEVELOP AND COMMUNICATE THEIR PLAN AND TIMELINE TO THE CITY FOR BOTH INSTALLATION AND REMOVAL OF ALL SWPP PROTECTION.

VICINITY MAP NOT TO SCALE



OWNER / APPLICANT

CARLISLE COMMUNITY SCHOOLS
430 SCHOOL ST
CARLISLE, IOWA 50047
PH. (515) 989-3589

ARCHITECT

DLR GROUP
CONTACT: ERIC BERON
1430 LOCUST STREET, SUITE 200
DES MOINES, IOWA 50309
PH. (515) 276-8097

ENGINEER

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: ERIN OLLENDIKE
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PH. (515) 369-4400
FX. (515) 369-4410

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: CHARLIE MCGLOTHLEN
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PH. (515) 369-4400
FX. (515) 369-4410

DATE OF SURVEY

JANUARY 31, 2023

BENCHMARKS

SET BM: ARROW ON HYDRANT AT SW CORNER OF
210 S. 1ST STREET.
ELEVATION=798.28

BM CHECK: GUTTER ON STORM INTAKE IN WEST
R.O.W. OF 1ST STREET AT FIRST INT. BANK.
ELEVATION=798.98

BM CHECK: BURY BOLT ON HYDRANT 200'± S.
SCHOOL STREET IN EAST R.O.W. OF WILDCAT WAY.
ELEVATION=822.75

CONSTRUCTION NOTES

- THE PROJECT REQUIRES AN IOWA PERMIT #2 AND CITY OF CARLISLE GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.
- ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.
- THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE CITY OF CARLISLE SUPPLEMENTAL SPECIFICATIONS AND THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- CONSTRUCTION STAKING FOR THE SITE CONSTRUCTION SHALL BE PROVIDED AND PAID FOR BY THE CONTRACTOR. ELECTRONIC FILES OF THE DRAWINGS WILL BE PROVIDED TO THE CONTRACTOR FOR THEIR USE IN FIELD ENGINEERING SERVICES. THE CONTRACTOR SHALL EMPLOY A REGISTERED LAND SURVEYOR TO PERFORM OR OVERSEE ALL SURVEY WORK.

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = SPRING 2023
ANTICIPATED FINISH DATE = SUMMER 2023

SUBMITTAL DATES

-SITE PLAN SUBMITTAL TO CITY #1: 03/01/2023
-SITE PLAN SUBMITTAL TO CITY #2: 03/14/2023

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE, URBANDALE, IOWA 50322
PH. (515) 369-4400 Fax: (515) 369-4410
PROJECT NO. 2301.054

IOWA ONE CALL
1-800-292-8989
www.iowaonecall.com

UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

PRELIMINARY
NOT FOR CONSTRUCTION

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

ERIN K. OLLENDIKE, P.E.
DATE: _____
LICENSE NUMBER: 16926
LICENSE RENEWAL DATE IS DECEMBER 31, 2023
PAGES OR SHEETS COVERED BY THIS SEAL: C1.0-C6.0

**CARLISLE HIGH SCHOOL PARKING
EXPANSION #2**

CARLISLE COMMUNITY SCHOOL DISTRICT
430 SCHOOL STREET
CARLISLE, IA 50047

CONSTRUCTION DOCUMENTS
03-01-2023
REVISIONS
03-14-2023

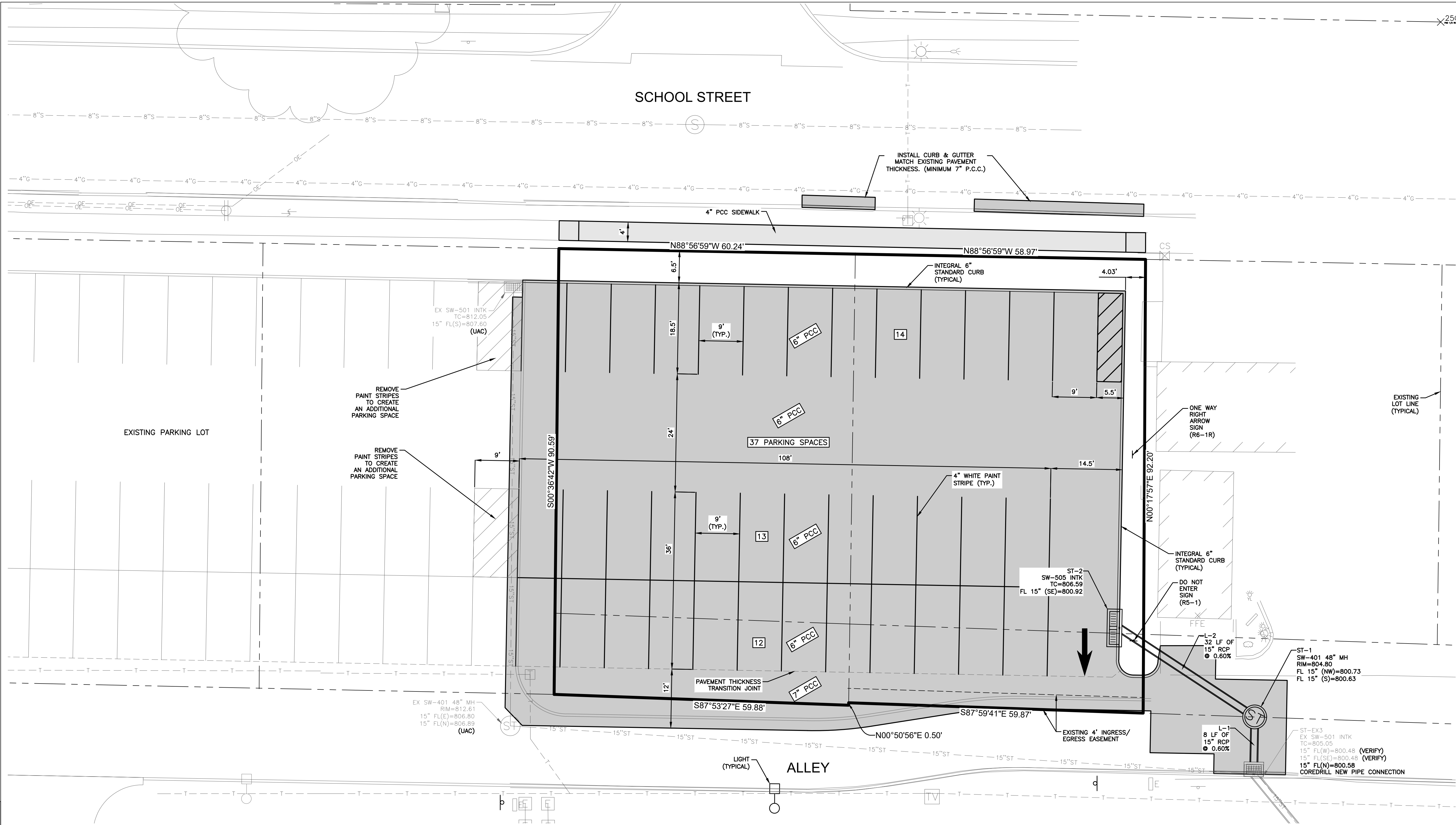
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DLR Group

CIVIL DESIGN ADVANTAGE
2301.054

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GENERAL NOTES

1. THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.

TRAFFIC CONTROL NOTES

1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES AT THE CONTRACTOR'S EXPENSE.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.
8. PERMANENT MARKING PAINT SHALL BE USED FOR STRIPING SHOWN UNLESS OTHERWISE NOTED. USE A DURABLE PAINT FOR THE STRIPING AS SPECIFIED IN SECTION 8020 OF THE 2021 SUDAS MANUAL.

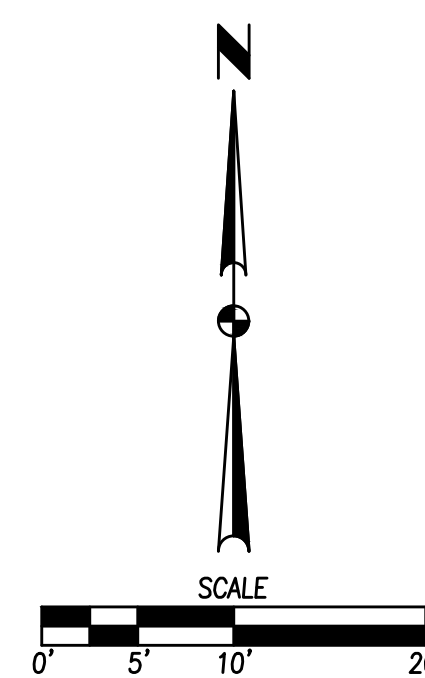
PAVEMENT THICKNESS

PARKING SPACES & DRIVE AISLES	6" P.C.C.
ALLEY	7" P.C.C.

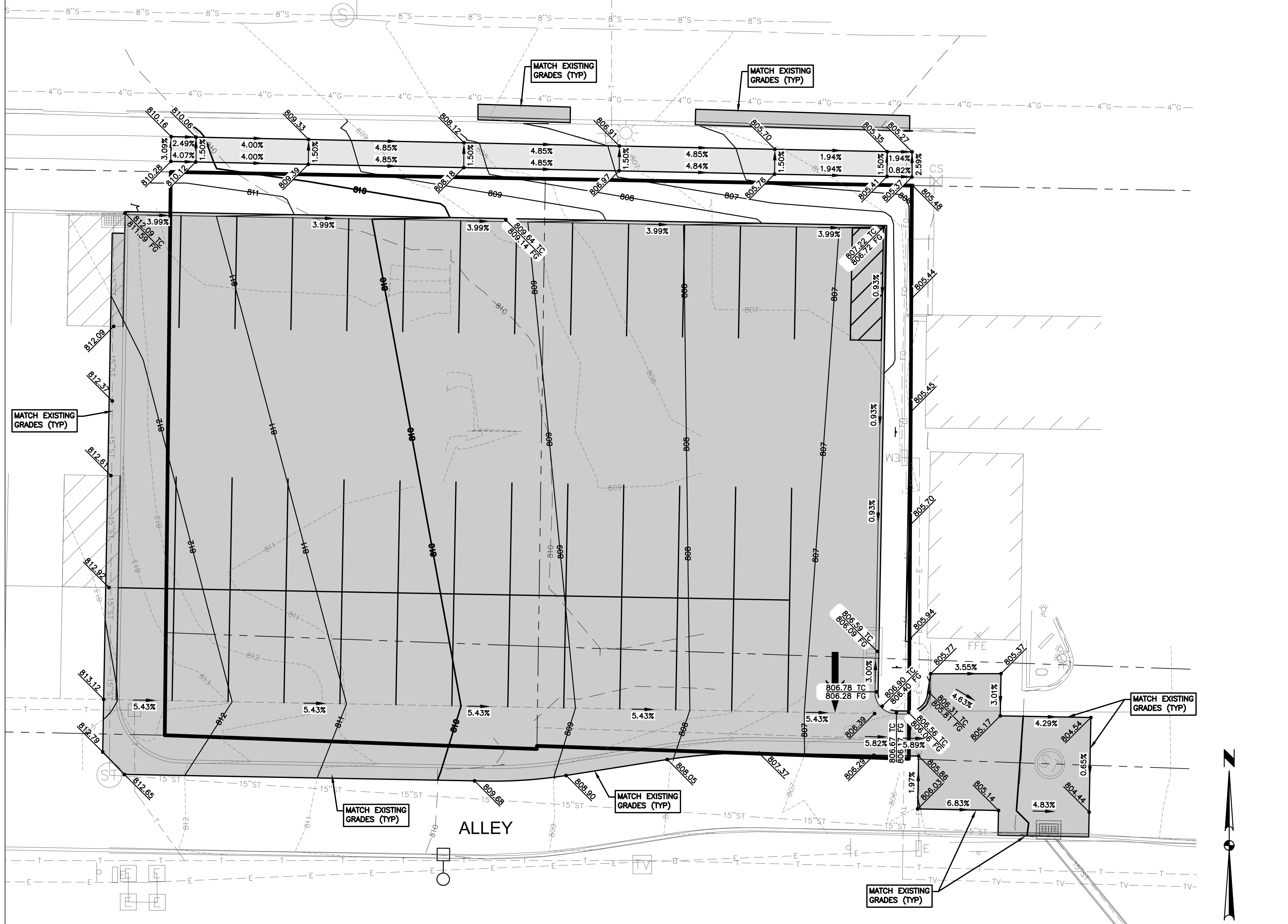
UTILITY NOTES

1. FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
2. PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
3. BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMANS.
4. ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
5. 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
6. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-6989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
8. PRIVATE UTILITIES TO BE INSTALLED PER THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
9. OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES AFTER CONSTRUCTION HAS BEEN ACCEPTED BY OWNER.
10. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
11. POLYPROPYLENE STORM SEWER WILL BE ALLOWED AS AN APPROVED ALTERNATE TO ALL CURRENTLY SPECIFIED RCP STORM SEWER. POLYPROPYLENE SHALL BE PER SUDAS SECTION 4020, 2.01L. TRENCH BEDDING TO BE F-2 PER SUDAS FIGURE 3010.103.

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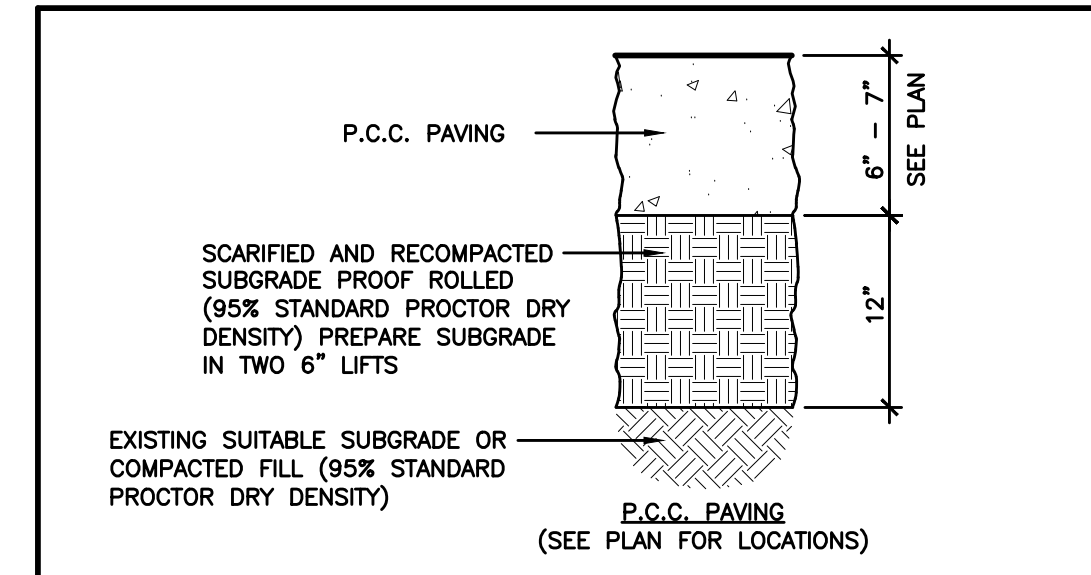
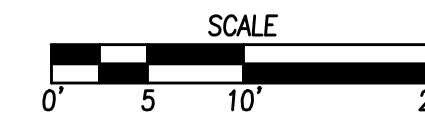


SCHOOL STREET



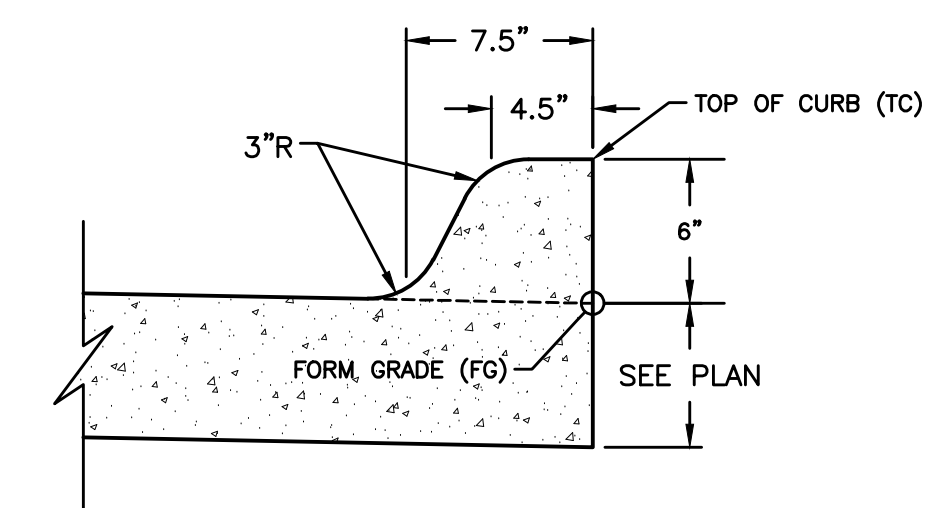
GRADING NOTES

1. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
2. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
3. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
4. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
5. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
6. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
7. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
8. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
9. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
10. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
11. SIDEWALKS: MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE, DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.
12. ALL DISTURBED AREAS SHALL BE SODDED.

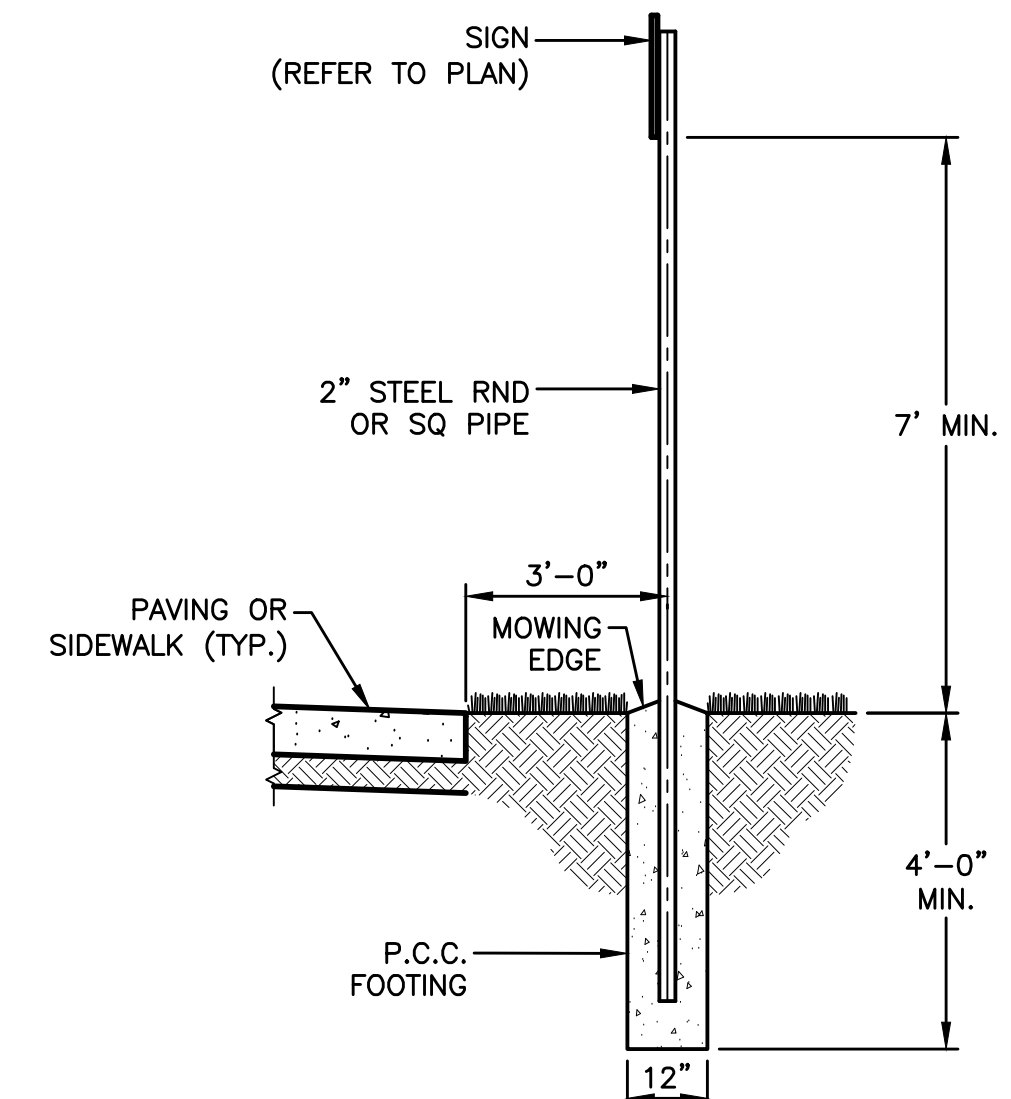


- NOTE:
1. SUBGRADE PREPARATION SHALL EXTEND 24" BEYOND EDGE OF PAVING OR BACK OF CURB, EXCEPT WHEN ABUTTING EXISTING PAVEMENT.
 2. TRANSVERSE JOINTS SHALL BE "C" JOINTS FOR 6" AND 7" PCC AT 15' MAX. SPACING.
 3. LONGITUDINAL JOINTS SHALL BE INTERCHANGEABLE, L-1 OR KT-1 FOR 6" AND 7" PCC.

1 TYPICAL SECTION - P.C.C. PAVEMENT
NOT TO SCALE



2 INTEGRAL 6" STANDARD CURB
NOT TO SCALE

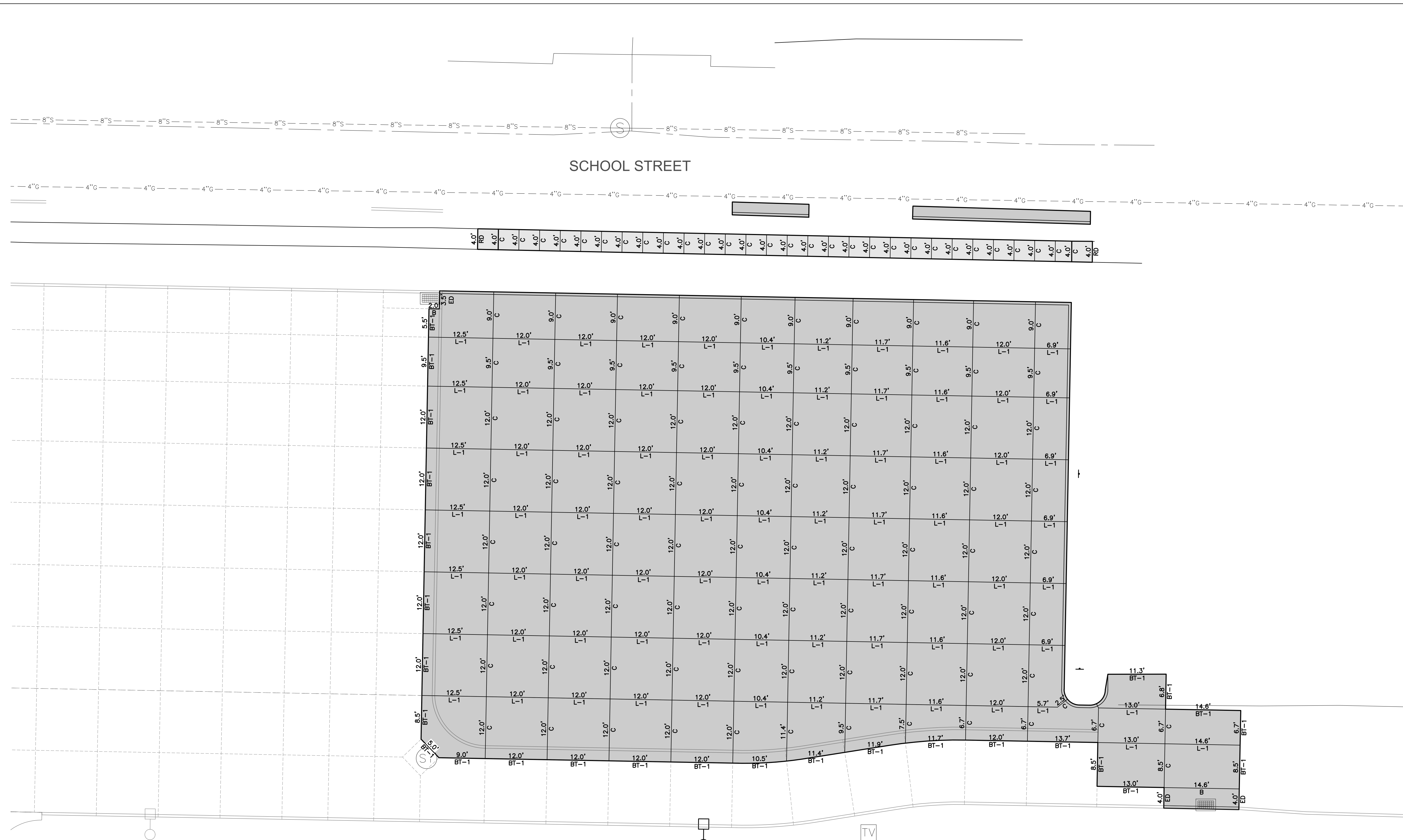


3 DIRECTIONAL SIGN
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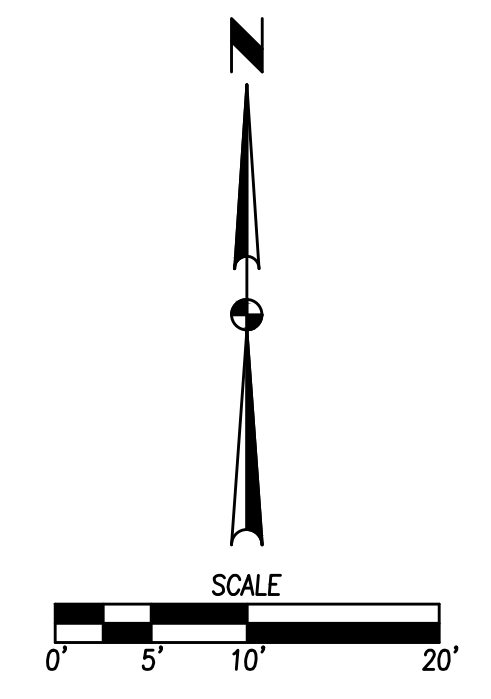
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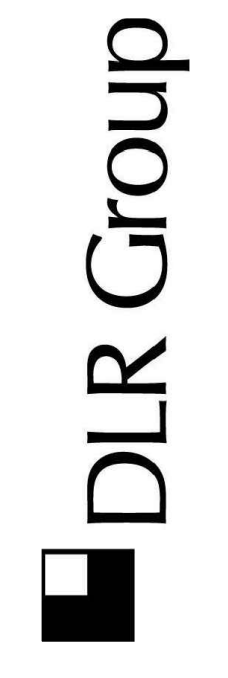
**CARLISLE HIGH SCHOOL PARKING
 EXPANSION #2**

CARLISLE COMMUNITY SCHOOL DISTRICT
 430 SCHOOL STREET
 CARLISLE, IA 50047

CONSTRUCTION DOCUMENTS
 03-01-2023
 REVISIONS
 03-14-2023

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 JOINTING PLAN

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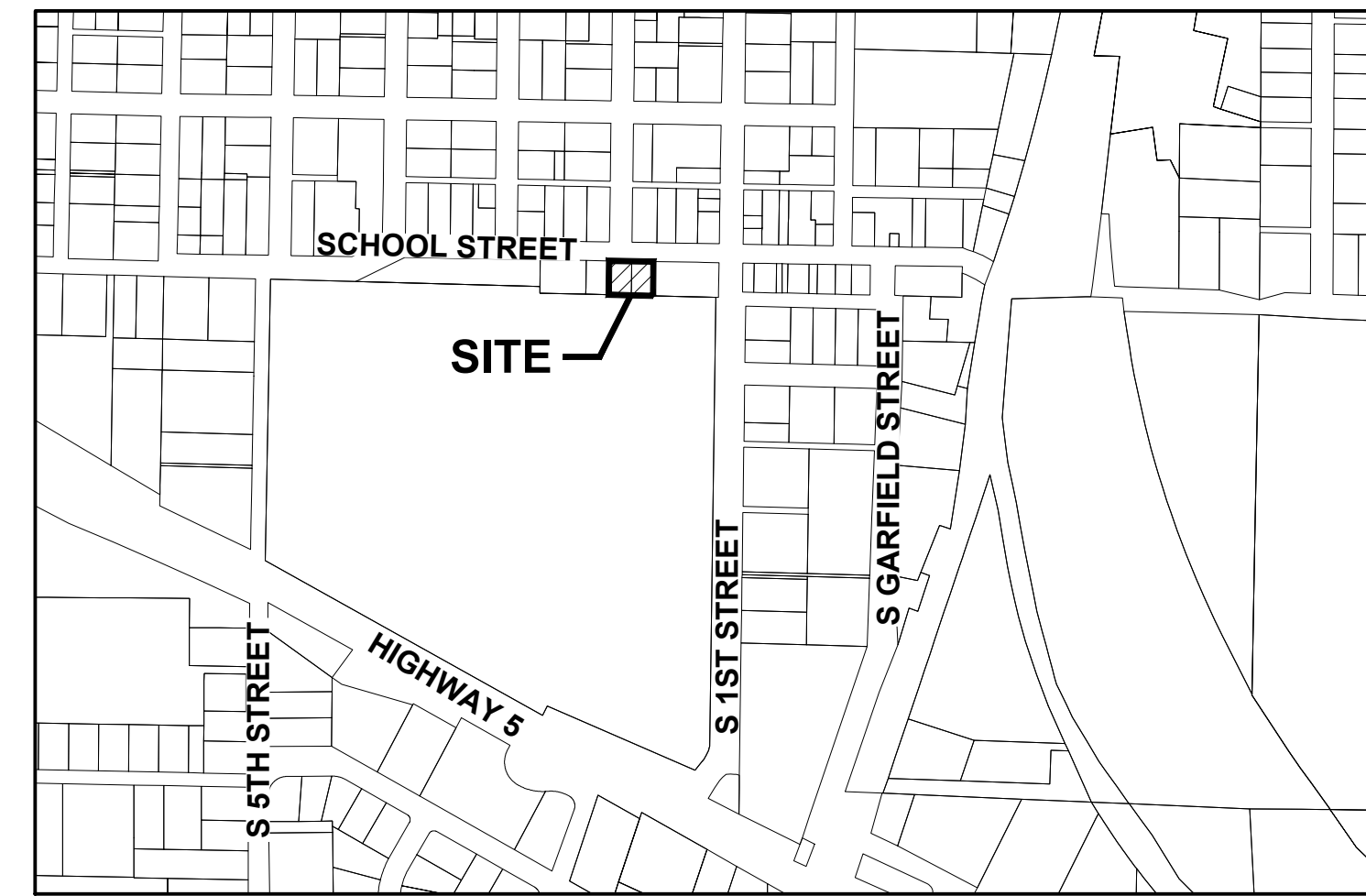


CARLISLE HIGH SCHOOL PARKING EXPANSION #2

EROSION AND SEDIMENT CONTROL PLAN

VICINITY MAP

NOT TO SCALE



CARLISLE, IOWA

STABILIZATION QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	222
2	FILTER SOCK	LF	20
3	SEEDING, FERTILIZING, AND MULCHING	AC	0.03
4	INLET PROTECTION DEVICES	EA	3
5	CONCRETE WASHOUT PIT	EA	1

DISCHARGE POINT SUMMARY

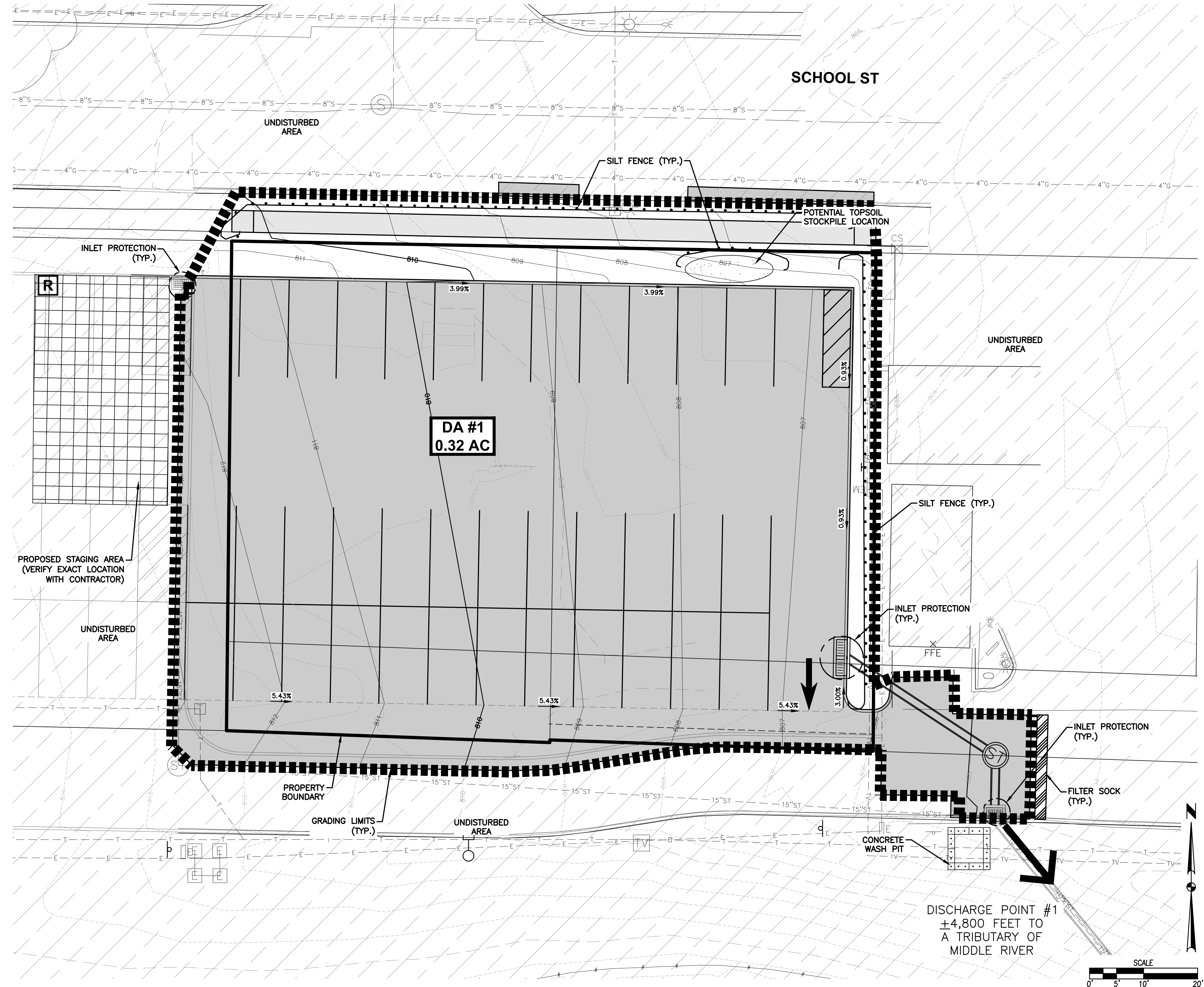
DISCHARGE POINT #1 TO A TRIBUTARY OF MIDDLE RIVER ±4800 FT	0.32 ACRES
TOTAL AREA DISTURBED TO DISCHARGE POINT	1,152 CU FT
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	
VOLUME PROVIDED IN SILT FENCE (222 LF @ 9.0 CU FT/LF OF FENCE)	1,998 CU FT
TOTAL VOLUME PROVIDED	1,998 CU FT

NOTES:

- IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENT.
- DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- STORM SEWERS AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAWCUTTING AND CONCRETE GRINDING.
- THE DISTURBANCE OF THIS PROPERTY DOES NOT REQUIRE AN IOWA DNR PERMIT #2. CONTRACTOR WILL BE RESPONSIBLE FOR KEEPING SEDIMENT AND DEBRIS FROM LEAVING THE DISTURBED AREAS.

SWPPP LEGEND

DRAINAGE ARROW	← X.XX %	UNDISTURBED AREA	
GRADING LIMITS	--- ---	RIP-RAP	
FILTER SOCK		GRAVEL ENTRANCE	
SILT FENCE	— · — · — ·	STAGING AREA	
DITCH CHECK	— — — —	TEMPORARY SEDIMENT BASIN	
INLET PROTECTION	○		
PORTABLE RESTROOM			
TEMPORARY STANDPIPE			
CONCRETE WASHOUT PIT			



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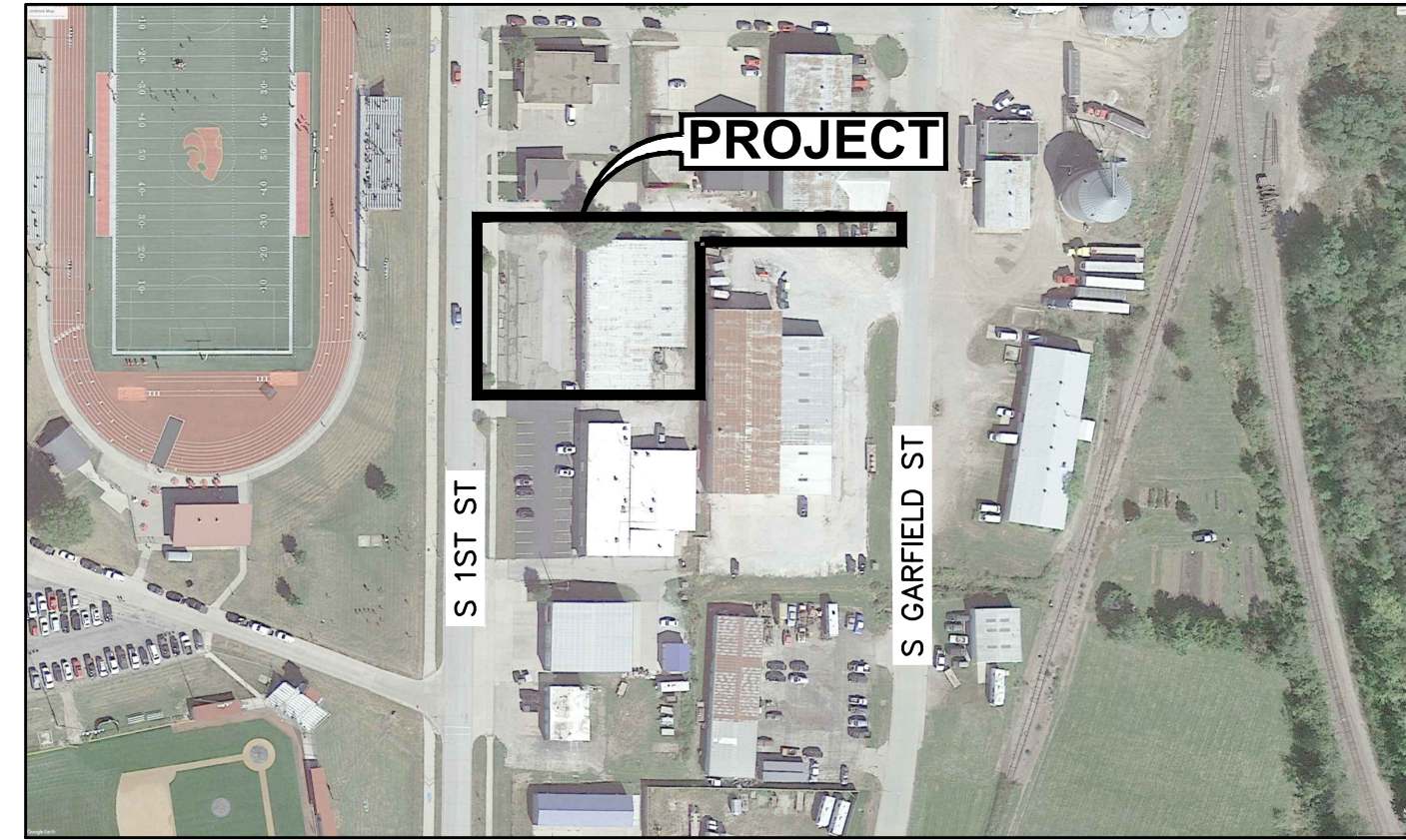
SITE PLAN FOR:

CARLISLE HIGH SCHOOL MAINTENANCE FACILITY

210 S 1ST STREET - CARLISLE, IOWA

VICINITY MAP

NOT TO SCALE



INDEX OF SHEETS

NO.	DESCRIPTION
C1.0	COVER SHEET
C2.0	DEMOLITION PLAN
C3.0	DIMENSION PLAN
C4.0	GRADING PLAN
C5.0	EROSION AND SEDIMENT CONTROL PLAN
C6.0	UTILITY PLAN
C7.0	LANDSCAPE PLAN
C8.0	JOINTING PLAN
C9.0	DETAILS

GENERAL LEGEND

PROPOSED	EXISTING
PROJECT BOUNDARY	SANITARY MANHOLE
LOT LINE	WATER VALVE BOX
SECTION LINE	FIRE HYDRANT
CENTER LINE	WATER CURB STOP
RIGHT OF WAY	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-503 STORM INTAKE	FLARED END SECTION
TYPE SW-505 STORM INTAKE	ROOF DRAIN/ DOWNSPOUT
TYPE SW-506 STORM INTAKE	DECIDUOUS TREE
TYPE SW-513 STORM INTAKE	CONIFEROUS TREE
TYPE SW-401 STORM MANHOLE	DECIDUOUS SHRUB
TYPE SW-402 STORM MANHOLE	CONIFEROUS SHRUB
TYPE SW-301 SANITARY MANHOLE	ELECTRIC POWER POLE
STORM/SANITARY CLEANOUT	GUY ANCHOR
WATER VALVE	STREET LIGHT
FIRE HYDRANT ASSEMBLY	POWER POLE W/ TRANSFORMER
SIGN	UTILITY POLE W/ LIGHT
DETECTABLE WARNING PANEL	ELECTRIC BOX
STORM SEWER STRUCTURE NO.	ELECTRIC TRANSFORMER
STORM SEWER PIPE NO.	ELECTRIC MANHOLE OR VAULT
SANITARY SEWER STRUCTURE NO.	TRAFFIC SIGN
SANITARY SEWER PIPE NO.	TELEPHONE JUNCTION BOX
SANITARY SEWER WITH SIZE	TELEPHONE MANHOLE/VAULT
SANITARY SERVICE	TELEPHONE POLE
STORM SEWER	GAS VALVE BOX
STORM SERVICE	CABLE TV JUNCTION BOX
WATERMAIN WITH SIZE	CABLE TV MANHOLE/VAULT
WATER SERVICE	MAIL BOX
SAWCUT (FULL DEPTH)	BENCHMARK
SILT FENCE	SOIL BORING
USE AS CONSTRUCTED	UNDERGROUND TV CABLE
FINISHED FLOOR ELEVATION	GAS MAIN
	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE

CITY OF CARLISLE STANDARD NOTES FOR SITE PLAN

- GENERAL NOTES:
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF CARLISLE SUPPLEMENTAL SPECIFICATIONS.
 - A PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING WITH THE CITY OF CARLISLE. GENERAL CONTRACTOR AND MAJOR SUBS SHALL BE PRESENT AT THE MEETING. THE CITY OF CARLISLE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK. PLEASE CONTACT THE FOLLOWING STAFF: TONY RHINEHART - PUBLIC WORKS SUPERINTENDENT - 515-249-2055
 - ALL PERMITS (IDNR, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
 - ALL UTILITY CONTRACTORS AND/OR OWNERS SHALL BE RESPONSIBLE TO PROVIDE THE CITY OF CARLISLE WITH "AS-BUILT" DRAWINGS OF ALL PUBLIC IMPROVEMENTS WHERE NECESSARY.
 - A SIGNAGE LIST SHOULD BE SUBMITTED BY THE CONTRACTOR TO THE CITY OF CARLISLE. PUBLIC WORKS WILL VERIFY THE LIST AND ORDER THE SIGNS FROM A LIST OF APPROVED VENDORS. THE CONTRACTOR WILL THEN BE RESPONSIBLE FOR PICKING UP THE SIGNS ONCE DELIVERED TO PUBLIC WORKS AND PLACING THEM IN THE LOCATIONS IDENTIFIED ON THE SIGNAGE PLAN. THE COST OF SIGNS AND RELATED HARDWARE WILL BE BILLED TO THE CONTRACTOR.
 - ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS.
 - WE ENCOURAGE YOU TO CONTACT THE CITY OF CARLISLE WITH INFORMATION ON ANY SIGNIFICANT WORK BEING DONE OR POTENTIAL ISSUES AS THEY GENERALLY GET THE FIRST CALLS FROM NEIGHBORS WITH QUESTIONS OR CONCERNS. KEEPING THE CITY INFORMED OF PROGRESS OR SIGNIFICANT ISSUES CAN HELP YOU AVOID POTENTIAL CONFLICTS OR ISSUES WITH SURROUNDING PROPERTY OWNERS.
 - A POST-CONSTRUCTION WALK-THRU IS REQUIRED BY CITY STAFF AND/OR THE CITY'S DESIGNATED ENGINEER. ALL ENGINEERING REVIEW FEES FOR THE WALK-THRU AND FOLLOW-UP CORRESPONDENCE MUST BE PAID FOR BY THE OWNER PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT.
 - A KNOX BOX IS REQUIRED BY THE FIRE DEPARTMENT AND SHALL BE OBTAINED BY THE OWNER.
- STORM SEWER NOTES:
 - ALL STORM SEWER IN THE ROW SHALL BE RCP, UNLESS OTHERWISE APPROVED BY THE CITY.
 - ALL FLARED END SECTIONS SHALL HAVE FOOTINGS AND APRON GRATES. THE LAST 3 PIPE SECTIONS AND THE FLARED END SECTION ON ALL CULVERTS SHALL BE TIED. ALL STORM SEWER JOINTS SHALL BE WRAPPED WITH ENGINEERING FABRIC.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY FIELD TILE DAMAGED DURING CONSTRUCTION. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES.
 - ALL SUMP SERVICE LINES SHALL HAVE TRACER WIRE.
 - ALL RIP-RAP SHALL BE UNDERLAIN WITH ENGINEERING FABRIC AS SPECIFIED IN THE URBAN SPECIFICATIONS.
 - CONTRACTOR SHOULD DEVELOP AND COMMUNICATE THEIR PLAN AND TIMELINE TO THE CITY FOR BOTH INSTALLATION AND REMOVAL OF ALL SWPP PROTECTION.

OWNER / APPLICANT

CARLISLE COMMUNITY SCHOOLS
430 SCHOOL ST
CARLISLE, IOWA 50047
PH. (515) 989-3589

DATE OF SURVEY

JANUARY 31, 2023

ARCHITECT

DLR GROUP
CONTACT: ERIC BERON
1430 LOCUST STREET, SUITE 200
DES MOINES, IOWA 50309
PH. (515) 276-8097

BENCHMARKS

SET BM: ARROW ON HYDRANT AT SW CORNER OF
210 S. 1ST STREET.
ELEVATION=798.28

BM CHECK: GUTTER ON STORM INTAKE IN WEST
R.O.W. OF 1ST STREET AT FIRST INT. BANK.
ELEVATION=798.98

ENGINEER

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: ERIN OLLENDEIKE
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PH. (515) 369-4400
FX. (515) 369-4410

BM CHECK: BURY BOLT ON HYDRANT 200'± S.
SCHOOL STREET IN EAST R.O.W. OF WILDCAT WAY.
ELEVATION=822.75

CONSTRUCTION NOTES

- ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.
- THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE CITY OF CARLISLE SUPPLEMENTAL SPECIFICATIONS AND THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- CONSTRUCTION STAKING FOR THE SITE CONSTRUCTION SHALL BE PROVIDED AND PAID FOR BY THE CONTRACTOR. ELECTRONIC FILES OF THE DRAWINGS WILL BE PROVIDED TO THE CONTRACTOR FOR THEIR USE IN FIELD ENGINEERING SERVICES. THE CONTRACTOR SHALL EMPLOY A REGISTERED LAND SURVEYOR TO PERFORM OR OVERSEE ALL SURVEY WORK.

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: CHARLIE MCGLOTHLEN
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PH. (515) 369-4400
FX. (515) 369-4410

SUBMITTAL DATES

-SITE PLAN SUBMITTAL TO CITY #1: 03/01/2023
-SITE PLAN SUBMITTAL TO CITY #2: 03/14/2023

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = SPRING 2023
ANTICIPATED FINISH DATE = SUMMER 2023

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE, URBANDALE, IOWA 50322
PH: (515) 369-4400 Fax: (515) 369-4410
PROJECT NO. 2301.054

IOWA ONE CALL
1-800-292-8989
www.iowaonecall.com

UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

ERIN K. OLLENDEIKE, P.E.
LICENSE NUMBER: 169.26
LICENSE RENEWAL DATE IS DECEMBER 31, 2023
PAGES OR SHEETS COVERED BY THIS SEAL:
SHEETS C1.0-C7.0, C9.0

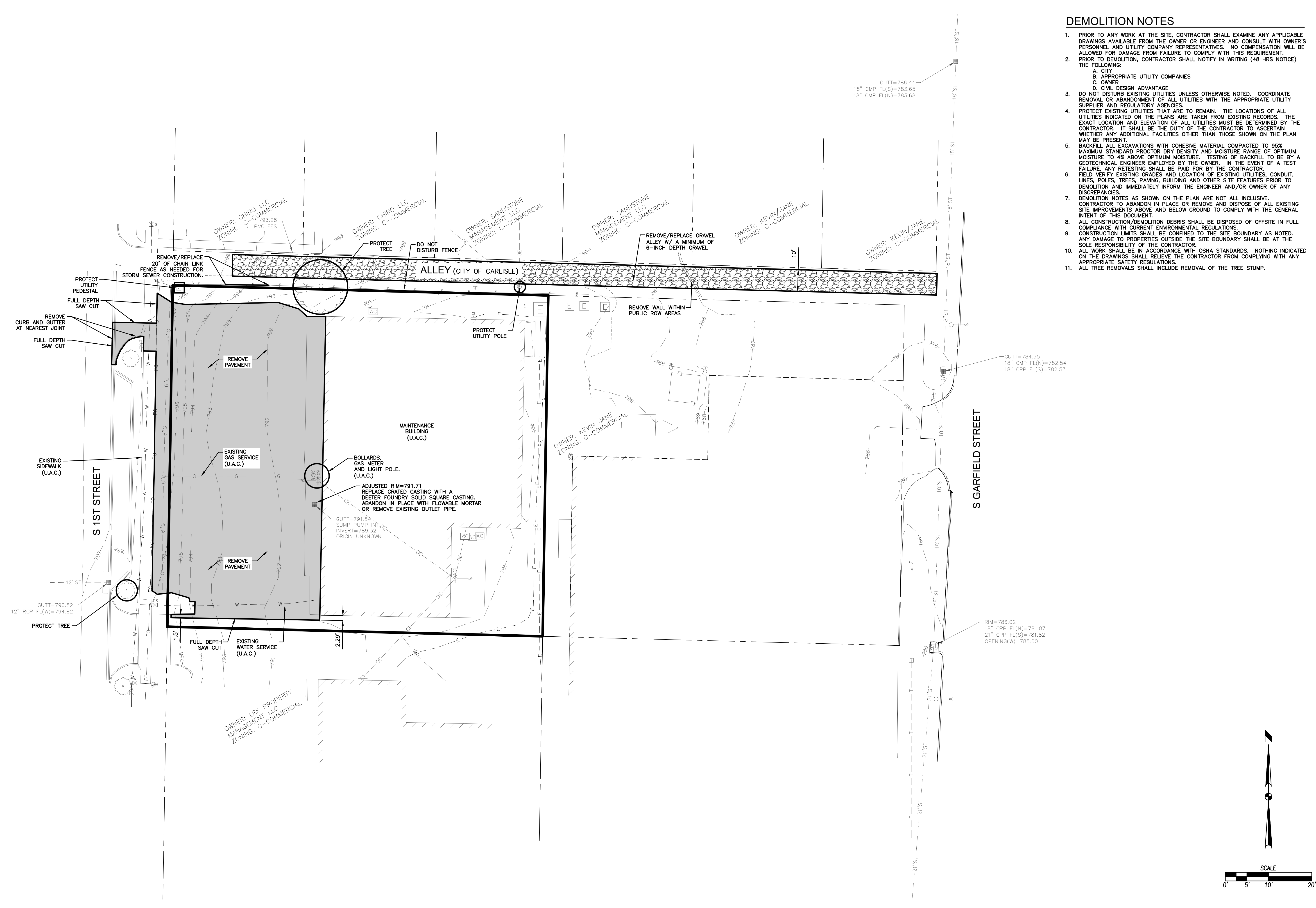
I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

DATE _____

PRELIMINARY
NOT FOR CONSTRUCTION

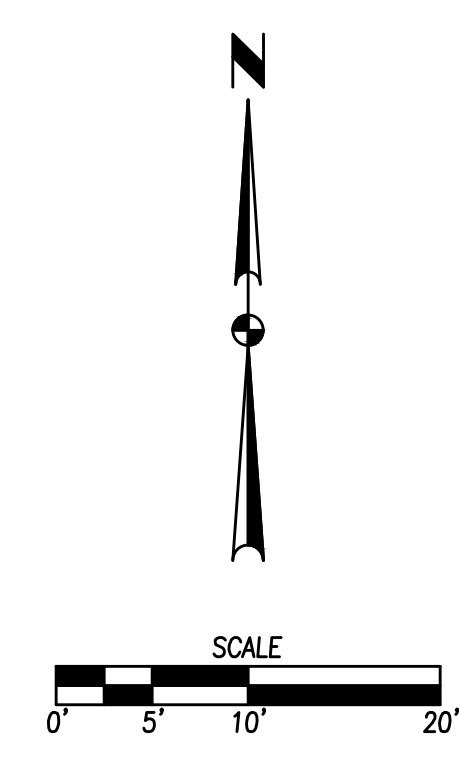
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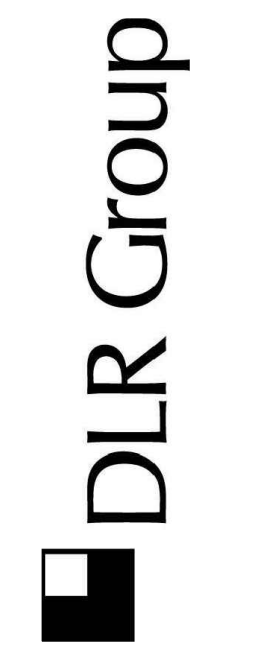
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DEMOLITION NOTES

1. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
2. PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
 - A. CITY
 - B. APPROPRIATE UTILITY COMPANIES
 - C. OWNER
 - D. CIVIL DESIGN ADVANTAGE
3. DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
4. PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
5. BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
6. FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
7. DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
8. ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
9. CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
11. ALL TREE REMOVALS SHALL INCLUDE REMOVAL OF THE TREE STUMP.





DLR Group



CIVIL DESIGN ADVANTAGE
2301.054

**CARLISLE HIGH SCHOOL
MAINTENANCE FACILITY**

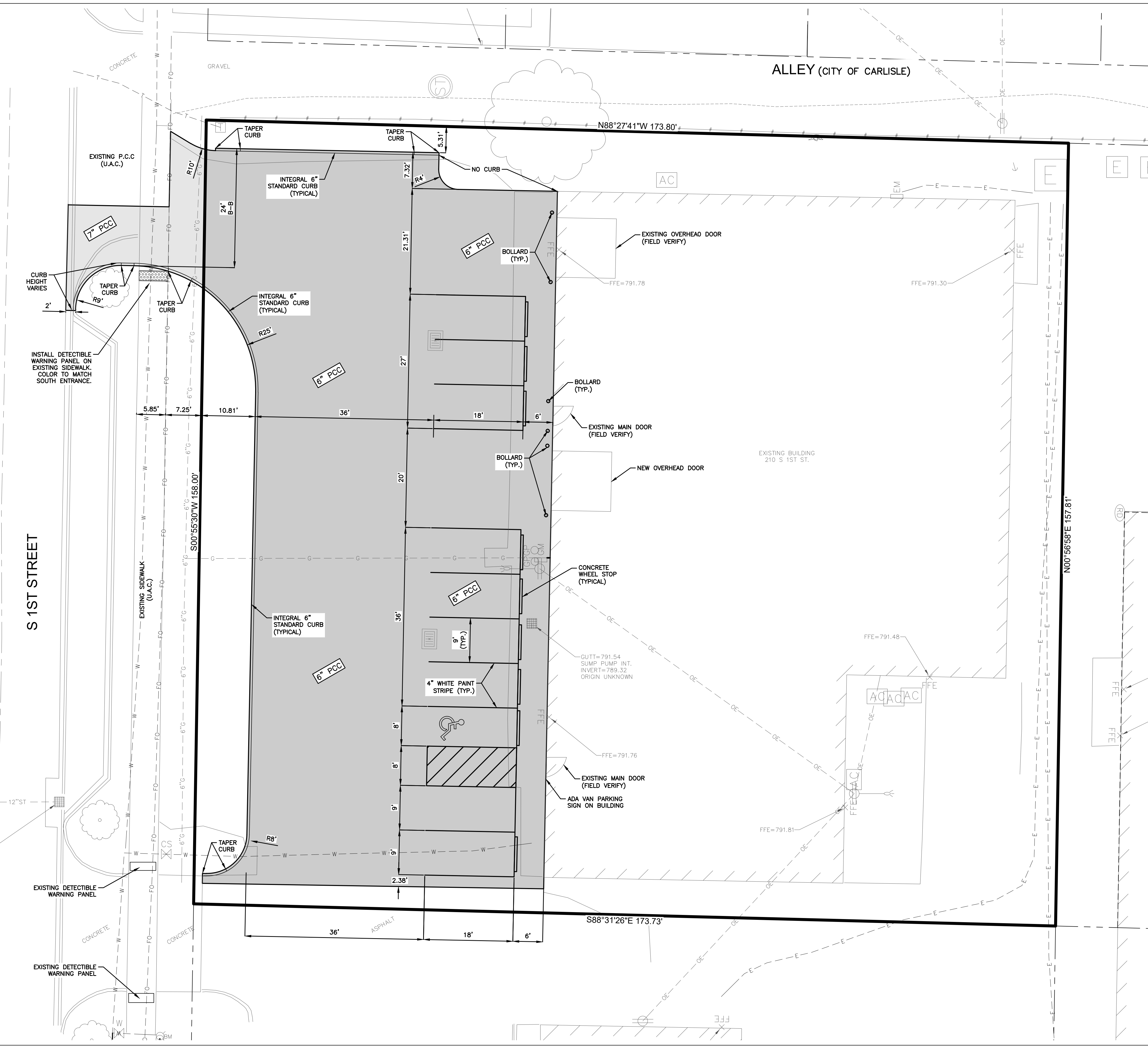
CARLISLE COMMUNITY SCHOOL DISTRICT
430 SCHOOL STREET
CARLISLE, IA 50047

CONSTRUCTION DOCUMENTS
03-01-2023
REVISIONS
03-14-2023

11-15112-61

DEMOLITION PLAN

C2.0

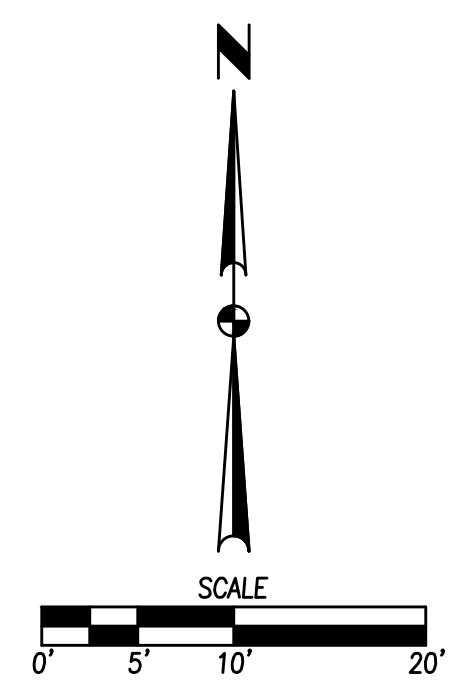


- ### GENERAL NOTES
1. THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
 2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
 4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
 5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
 6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
 7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
 8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
 9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
 10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
 11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
 12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
 13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
 14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
 15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
 16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
 17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
 18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.

- ### TRAFFIC CONTROL NOTES
1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES AT THE CONTRACTOR'S EXPENSE.
 2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
 4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
 5. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
 6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
 7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.
 8. PERMANENT MARKING PAINT SHALL BE USED FOR STRIPING SHOWN UNLESS OTHERWISE NOTED. USE A DURABLE PAINT FOR THE STRIPING AS SPECIFIED IN SECTION 8020 OF THE 2021 SUDAS MANUAL.

PAVEMENT THICKNESS

PARKING LOT	6" P.C.C.
RIGHT OF WAY AREAS	7" P.C.C.



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 DATE: 3/14/23
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 COMMENT: ENC.

DLR Group

ESA
CIVIL DESIGN ADVANTAGE
2301.054

**CARLISLE HIGH SCHOOL
MAINTENANCE FACILITY**

CARLISLE COMMUNITY SCHOOL DISTRICT
430 SCHOOL STREET
CARLISLE, IA 50047

CONSTRUCTION DOCUMENTS
03-01-2023
REVISIONS
03-14-2023

11-15112-61

DIMENSION PLAN

C3.0

Comment Response Letter

Carlisle High School Parking Expansion #2 Site Plan

March 14, 2023

General Comments:

1. No landscaping plan was provided. Note that Per 165.06, 5, F, 9 of the Code, shrubs and earth berms shall be utilized along the front yard. I understand that parking elsewhere on the property doesn't require this, however, a waiver request is required from Council to waive this requirement. Please provide a formal letter to request this waiver.
 - **See attached waiver letter.**

Stormwater Management Plan

2. It is not clear whether you are planning for a 5-yr design or 100-yr design for the storm sewer. Please review and make sure that the spreadsheet and report match.
 - **Under the project description in the SWMP under the storm sewer analysis we call out for a 5-year design and our spreadsheet designing the storm sewer also lists 5-year.**
3. Please clarify that there is enough capacity to convey the 100-yr event to the pond.
 - **100-year calculations have been provided. We also provided Hydraulic Grade Lines for the pipe system to show that water is contained within the pipe and structures during the 100-year storm event.**
4. Please review the calculations and how the flows taken by the existing intake were originally accounted for vs how they will be accounted for after the intake is no longer a sag. There needs to be bypass flows accounted for in the intakes at the downstream end of DB 1.
 - **Information has been added.**
5. Note that the assumed depth at the grade for ST-2 is not accurate to what is shown on the grading plan. The depth is .385' and the provided depth is .09'. Please address this issue and revise the plan and/or report accordingly. There is a great concern that the flows from the parking lot added to existing flows from upstream that are now bypassed to the new parking and drainage basin will not be collected by the intakes and will create surface flooding further east.
 - **Item has been modified. We are now showing a SW 505 intake.**
6. Please clarify what the bypass flows are for the downstream intakes ST-2 and ST-EX3 to the east.
 - **Bypass has been shown in the intake calculations.**



DATE: March 15, 2023

TO: Deven Markley
City Administrator, City of Carlisle
100 N. 1st Street
Carlisle, IA 50047

RE: 2920 Gateway Drive - Freedom Storage Phase 2 – Site Plan Review
Project No. 7023.061
City of Carlisle, Iowa (City)

FOX Strand has completed the third review for the 2920 Gateway Drive - Freedom Storage Phase 2 Site Plan dated March 14, 2023. Please address the following comments:

General Comments:

1. Regarding Development in the Floodplain:
 - a. At the time of this letter, Jurisdictional Determination Correspondence from the Iowa DNR and US Army Corps of Engineers for construction within the floodplain has yet to be received.
 - b. At the time of this letter, a Floodplain Development Application for construction of the buildings within the floodplain has yet to be received (tied to item 1a, above)
 - c. No construction of structures may begin until a local floodplain development permit is issued by the City of Carlisle.
 - d. The Developer is permitted to grade within the floodplain per a previously approved floodplain development permit for fill.

Grading Plan - West

2. There are two “spillway” labels (H) pointing to the flexamat at the detention area. Please revise.

Elevation Plans

3. The provided elevation plans do not have enough information to clarify how the structures will look. It is the city’s expectation that Freedom Storage Phase 2 will look the same as Freedom Storage Phase 1, however, Phase 2 elevations do not match Phase 1 elevations. Please provide additional information as necessary.
4. It is highly recommended that you bring detailed building materials and color schemes with you to P & Z and Council for discussion.

Deven Markley
2920 Gateway Drive - Freedom Storage Phase 2
Page 2
March 15, 2023

Lighting Plans

5. The provided lighting plan does not match the layout shown on the site plan:
 - a. The transformer locations are not consistent between site plan and lighting plan.
 - b. The restroom location is not consistent between the site plan and lighting plan.Please revise the lighting plan or site plan as necessary so that they are consistent.
6. Please state the wattage for each light fixture.
7. It is assumed that the lights will be wall packs. Please label as such and please state that the light fixtures will be sharp-cutoff fixtures.

Site Plan Review Schedule

Planning & Zoning: March 20, 2023 at 7 P.M. at Carlisle City Hall

Council Meeting: March 27, 2023 at 6:30 P.M. at Carlisle City Hall

If you have any questions or concerns, please contact Mitch Holtz at 515-233-0000. FOX Strand reserves the right to modify and/or add to these comments.

Sincerely,

FOX Strand



Mitch Holtz, P.E.

Attachments: none

c: Brandon Homewood, Nilles Associates
James Widmann, Developer's representative

2920 GATEWAY DRIVE - FREEDOM STORAGE PHASE 2

2920 GATEWAY DRIVE, CARLISLE, IOWA

SITE PLAN

NAI #22123



EXISTING UTILITY NOTE

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

SPECIFICATION REFERENCE

THE 2022 IOWA SUDAS STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE CITY OF CARLISLE STANDARD SPECIFICATIONS SHALL APPLY TO ALL ASPECTS OF CONSTRUCTION.

LEGEND

Existing / Proposed	Address
PCC	Spot elevation
ACC	Sanitary sewer manhole
FL	Cleanout
RCP	Storm sewer manhole
CMP	Storm sewer intake
CPP	Storm sewer beehive
PVC	Flared end section
CIP	Water hydrant
P.U.E.	Water valve
S.W.F.E.	Water service shut-off
B/B	Water main manhole
Subject boundary line	Monitoring well
Section line	Yard hydrant
Proposed boundary line	Well
Existing boundary line	Gas meter
Future boundary line	Gas valve
Underlying boundary line	Air conditioning unit
Proposed easement line	Electric manhole
Existing easement line	Electric meter
Setback line	Electric pedestal
Barbed wire fence line	Electric transformer
Chain-link fence line	Utility hand hole
Straw Wattle	Utility pole
SF	Utility pole with light
SS	Light pole
ST	Ground up light
W	Guy wire
G	Traffic signal
OHE	Traffic signal with light
OHC	Traffic manhole
UGE	Communication pedestal
UGC	Telephone booth
900'	TV pedestal
Contour elevation	Billboard sign
Swale flowline	Street sign
Edge of water	Down spout
Edge of tree dripline	Tree shrub
Construction limits	Deciduous tree and trunk diameter
Construction fence	Coniferous tree and trunk diameter
Special Flood Hazard Area Zone AE line	
Other Areas of Flood Hazard Zone X-0.2%	
Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile	

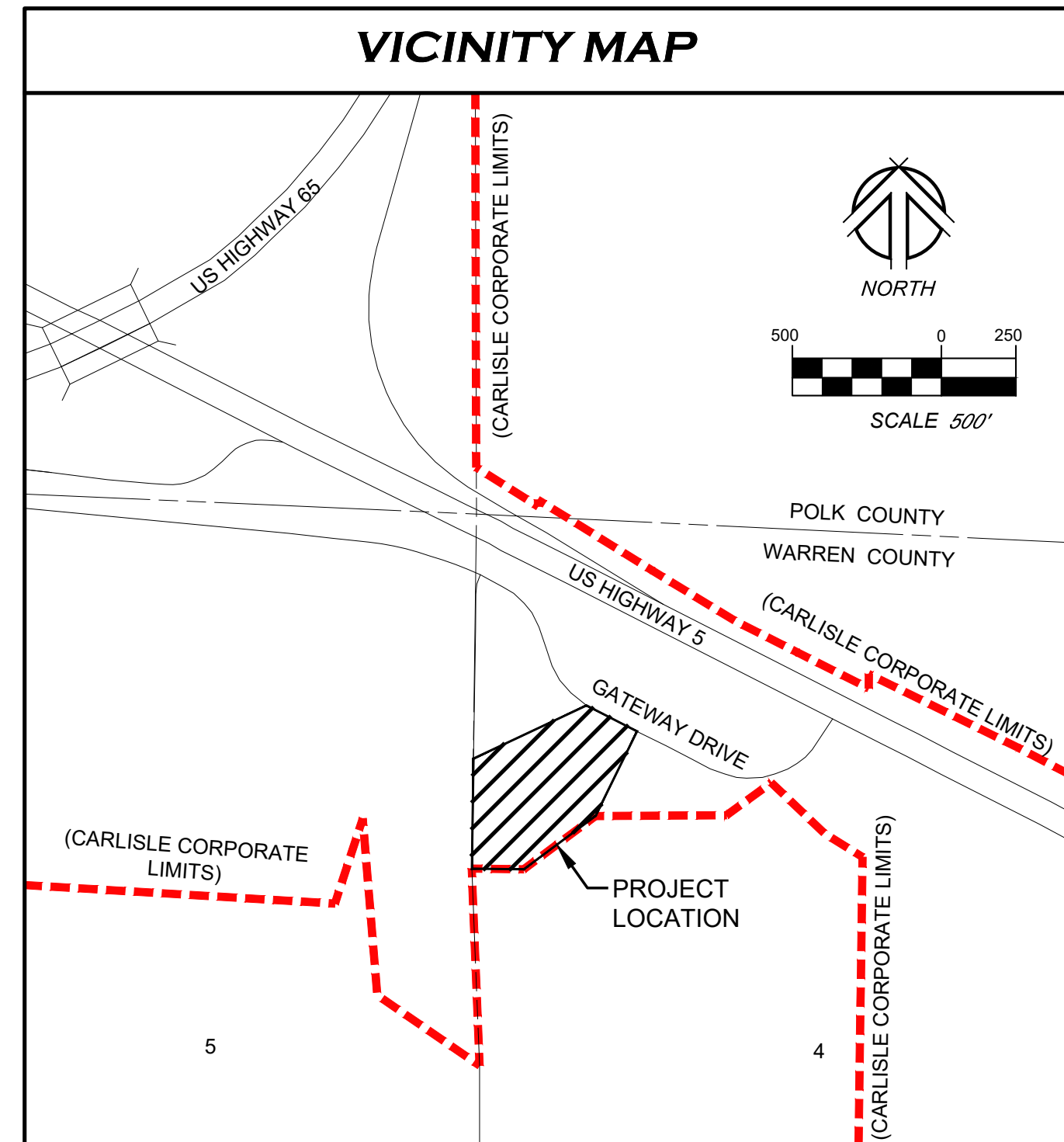
BENCHMARKS

- SANITARY SEWER MANHOLE LOCATED IN CENTERLINE OF GATEWAY DRIVE APPROXIMATELY 9 FEET EAST OF THE END OF PAVING. ELEVATION = 789.85 FEET (NAVD88)
- THIRD SANITARY MANHOLE EAST OF THE END OF PAVING IN THE CENTERLINE OF GATEWAY DRIVE. ELEVATION = 790.57 (NAVD 88)

GENERAL NOTES

- ONE WEEK PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY PROJECT ENGINEER AND:
 - CITY OF CARLISLE
 - DOUBLE D DEVELOPMENT, LLC
- ALL MATERIALS AND CONSTRUCTION RELATED TO WORK CONDUCTED AS PART OF THESE PLANS SHALL BE IN ACCORDANCE WITH THE 2022 STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS). THE CITY OF CARLISLE SUPPLEMENTAL SPECIFICATIONS, AND DETAILS SHOWN ON THIS PLAN UNLESS SPECIFICALLY NOTED OTHERWISE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR, REMOVAL, REPLACEMENT, OR REINSTALLATION OF ANY ITEM, BOTH ON- AND OFF-SITE, ADVERSELY AFFECTED BY FAILURE TO FOLLOW SAID SPECIFICATIONS, REPORTS, AND PLANS.
- CONTRACTOR IS RESPONSIBLE TO UNDERSTAND THE INTENT OF THE WORK TO BE COMPLETED AND TO ADDRESS ANY QUESTIONS, CONCERNS, CONFLICTS, DISCREPANCY OR OTHER ISSUES THAT MAY AFFECT CONSTRUCTION WITH OWNER AND ENGINEER AT LEAST ONE WEEK PRIOR TO COMMENCING CONSTRUCTION. OWNER AND ENGINEER SHALL RESPOND IN A TIMELY MANNER TO ALLOW CONSTRUCTION TO PROCEED.
- CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY ISSUE ENCOUNTERED DURING CONSTRUCTION THAT MAY AFFECT PROPOSED DESIGN. OWNER AND ENGINEER SHALL RESPOND IN A TIMELY MANNER TO ALLOW CONSTRUCTION TO PROCEED.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND ELEVATION OF, AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL RECONNECT ALL FIELD TILE AND STORM DRAINS DISTURBED DURING CONSTRUCTION. RECONNECTIONS SHALL BE CONSIDERED INCIDENTAL TO PROJECT COST. NOTIFY CITY OF ANKENY AND NILLES ASSOCIATES PRIOR TO RECONNECTION SO THAT LOCATION OF RECONNECTION CAN BE DOCUMENTED AND INCLUDED ON RECORD DRAWINGS. REPAIRS TO TILE LINES ARE TO BE VERIFIED BY CITY OF CARLISLE PERSONNEL.
- SIGNS SHALL CONFORM TO THE CITY OF CARLISLE SIGN ORDINANCE.
- DETAILS AND NOTES INCLUDED WITHIN THESE PLANS SHALL BE USED FOR CONSTRUCTION. FOR ITEMS WITH NO DETAILS OR NOTES INCLUDED WITHIN THIS PLANS SET, FOLLOW SUDAS DETAILS AND SPECIFICATIONS FOR MATERIALS AND CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL MEASUREMENTS SHOWN ON THE PLANS PRIOR TO CONSTRUCTION. IF ANY DISCREPANCY IS FOUND, NOTIFY ENGINEER IMMEDIATELY BEFORE PROCEEDING.
- COORDINATE ALL WORK ACTIVITIES WITH ANY OTHER CONSTRUCTION PROJECTS IN THE AREA.
- ANY DAMAGE TO PROPERTY THAT OCCURS AS A RESULT OF THE CONTRACTOR'S ACTIVITIES OR ACTIONS SHALL BE REPAIRED AND RESTORED IN KIND.
- THE CONTRACTOR SHALL PROTECT UTILITY POLES NEAR CONSTRUCTION ACTIVITIES AS REQUIRED.
- FOR ALL WORK, THE CONTRACTOR SHALL PROVIDE ALL FIELD QUALITY CONTROL AND TESTING AS PER SUDAS. PROVIDE ENGINEER TESTING RESULTS.
- PROVIDE TO THE PROJECT OWNER ALL SHOP DRAWINGS FOR MATERIALS INCORPORATED IN THE WORK SUPPLIED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL FOLLOW THE STORM WATER POLLUTION PREVENTION PLAN PREPARED FOR THIS SITE.
- CONTRACTORS ON-SITE SHALL BE RESPONSIBLE FOR DAILY CLEAN-UP OF SEDIMENT AND DEBRIS TRACKED OR WASHED ONTO PUBLIC RIGHTS-OF-WAY AND AREAS OUTSIDE PROJECT LIMITS.
- DURING THE PROGRESS OF THE WORK, IF SUBSURFACE OR LATENT PHYSICAL CONDITIONS ARE ENCOUNTERED AT THE SITE DIFFERING MATERIALLY FROM THOSE INDICATED ON THE PLANS OR IF UNKNOWN PHYSICAL, CULTURAL, AND/OR ENVIRONMENTAL CONDITIONS OF AN UNUSUAL NATURE ARE ENCOUNTERED AT THE SITE, THE PARTY DISCOVERING SUCH CONDITIONS SHALL PROMPTLY NOTIFY NILLES ASSOCIATES BEFORE THE SITE IS FURTHER DISTURBED.
- GARBAGE PICKUP WILL BE INTERNALLY HANDLED. NO TRASH DUMPSTER OR ENCLOSURE IS PROPOSED.

VICINITY MAP



PROJECT SUMMARY

TOTAL SITE AREA:	183,152 SF, 4.20 ACRES			
PROPOSED USE:	STORAGE UNITS			
BUILDING INFORMATION:	1-STORY SLAB ON GRADE			
TOTAL BUILDING COVERAGE:	57,950 SF (ON PHASE 2 SITE)			
PARKING REQUIREMENTS:	1 STALL PER EMPLOYEE			
TOTAL STALLS REQUIRED	1 STALL (1 EMPLOYEE)			
TOTAL PARKING PROVIDED	7 STALLS INCLUDING 1 ACCESSIBLE STALL ON 3000 GATEWAY DR. AND 1 ACCESSIBLE STALL IN PROPOSED AREA.			
PRIVATE DRIVES & PARKING:	78,872 SF (ON SITE) 1,546 SF (ADDED TO EXISTING FACILITY - 3000 GATEWAY DR.)			
COMBINED HARD SURFACE:	138,312 SF SF (75.5%)			
OPEN SPACE INFORMATION:	44,840 SF (24.5%)			
PROPERTY ZONING:	C-2 HIGHWAY COMMERCIAL DISTRICT			
PROPERTY ADDRESS:	2920 GATEWAY DRIVE			
DETAILED BUILDING INFORMATION:				
BUILDING	BUILDING SIZE	AREA	# OF UNITS	TOTAL UNITS
A	132' x 30'	3,960 SF	11 (12' x 30')	11
B	108' x 30' + 100' x 10'	4,240 SF	9 (12' x 30') + 11 (10' x 10')	20
C	270' x 20'	5,400 SF	27 (10' x 20')	27
D	60' x 20'	1,200 SF	6 (10' x 20')	6
E	260' x 45'	11,700 SF	13 (20' x 45')	13
F	240' x 45'	10,800 SF	12 (20' x 45')	12
G	175' x 20'	3,500 SF	17 (10' x 20') + 2 (5' x 10')	19
H	175' x 40'	7,000 SF	34 (10' x 20') + 4 (5' x 10')	38
I	150' x 20' + 130' x 20'	5,700 SF	27 (10' x 20') + 2 (10' x 15')	29
J	110' x 20' + 90' x 20'	4,100 SF	19 (10' x 20') + 2 (10' x 15')	21
K	70' x 20'	1,350 SF	6 (10' x 20') + 1 (10' x 15')	7
		59,000 SF		203 UNITS TOTAL

OWNER

DOUBLE D DEVELOPMENT, LLC
JAMES WIDMANN
200 E SCHOOL STREET, BOX BB
CARLISLE, IOWA 50047
515-205-3131

DEVELOPER

DOUBLE D DEVELOPMENT, LLC
JAMES WIDMANN
200 E SCHOOL STREET, BOX BB
CARLISLE, IOWA 50047
515-205-3131

SHEET LIST TABLE

SHEET NO.	SHEET TITLE	DESCRIPTION
1	CV-1	COVER SHEET
2	SO-1	SITE OVERVIEW
3	DP-1	DIMENSION PLAN
4	GR-1	GRADING PLAN
5	GR-2	GRADING PLAN - WEST
6	UP-1	UTILITY PLAN
7	UP-2	CITY OF CARLISLE STANDARD NOTES
8	LP-1	LANDSCAPING PLAN
9	DT-1	DETAILS
10	DT-2	DETAILS
11	DT-3	DETAILS

LEGAL DESCRIPTION

PARCELS A, B AND C OF LOTS 3 & 4, GATEWAY BUSINESS PARK PLAT 1, AN OFFICIAL PLAT, LOCATED IN THE CITY OF CARLISLE, WARREN COUNTY, IOWA.
CONTAINING 6.86 ACRES, MORE OR LESS
SAID PARCEL IS SUBJECT TO ANY AND ALL RESTRICTIONS, COVENANTS AND EASEMENTS OF RECORD.

CONSTRUCTION SCHEDULE

SITE GRADING	SPRING 2023
UTILITY INSTALLATION	SPRING 2023
BUILDING & PAVING INSTALLATION	SPRING 2023 - SUMMER 2023
LANDSCAPING	SUMMER 2023
FINISHED GRADING	SUMMER 2023 - FALL 2023

CERTIFICATIONS

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

ROGER J. SILVER

SIGNATURE _____ DATE _____
PAGES OR SHEETS COVERED BY THIS SEAL:
CV-1, SO-1, DP-1, GR-1, GR-2, LP-1, DT-1

I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.

JACOB T. NILLES

SIGNATURE _____ DATE _____
My license renewal date is December 31, 2023
Pages or sheets covered by this seal: CV-1, SO-1, DP-1, GR-1, GR-2, UP-1, UP-2, DT-1, DT-2, DT-3

PRELIMINARY SITE PLAN

1933 SW MAGAZINE ROAD
ANKENY, IOWA 50023-2555
(515) 965-0123 phone - (515) 965-3322 fax
Civil Engineering - Land Surveying
Landscape Architecture

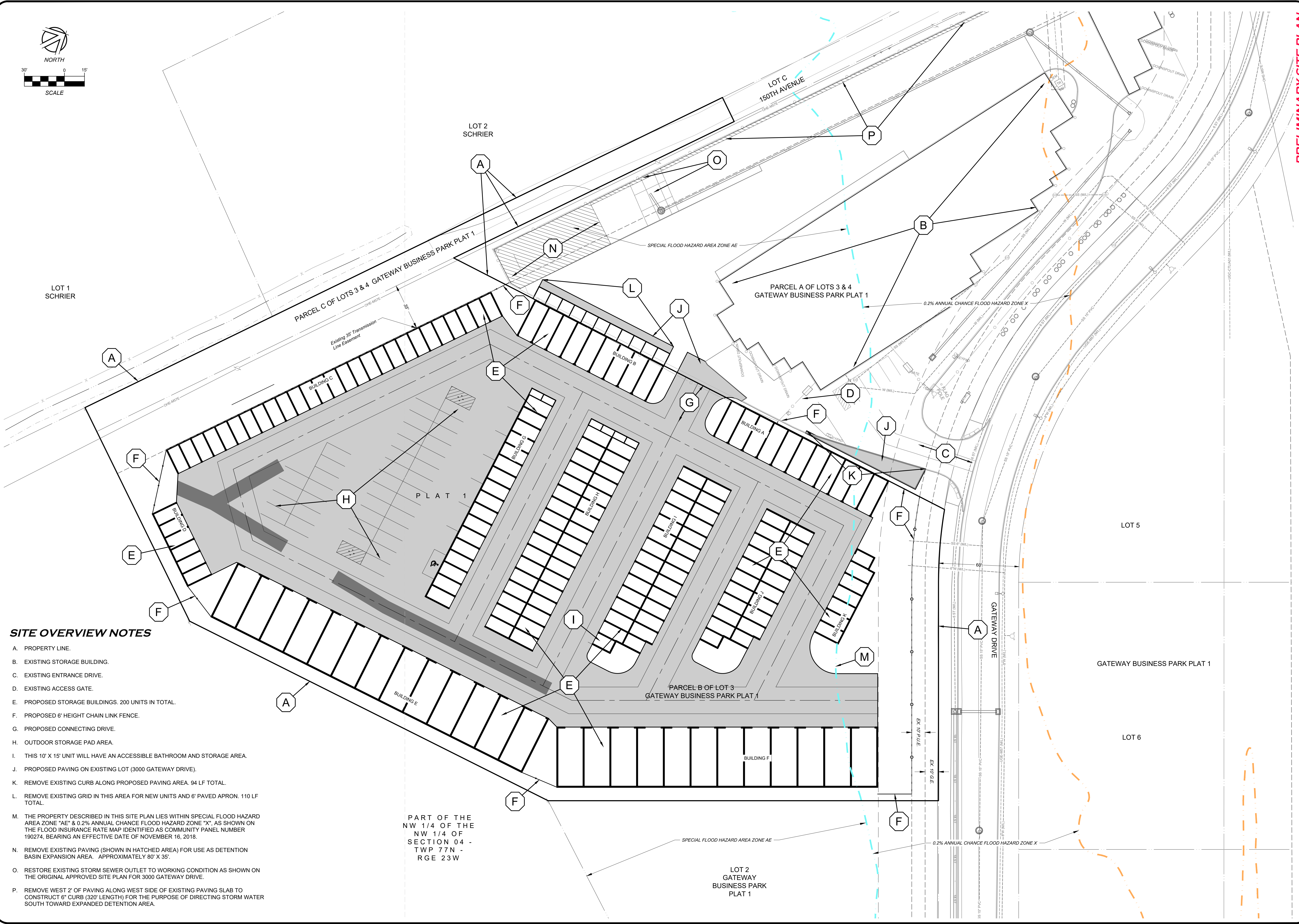
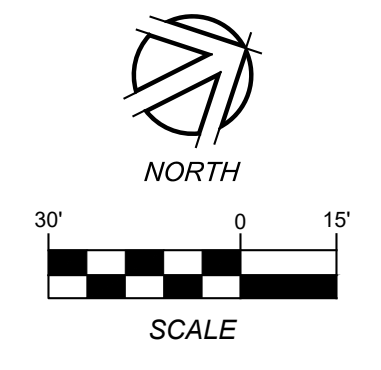


REVISIONS:
1) 11-28-23 PARTIAL REVISIONS
2) 12-28-23 PARTIAL REVISIONS
3) 12-10-23 RESUBMITTAL TO CITY
4) 12-10-23
5) 12-10-23
6) 12-10-23
7) 12-10-23

NOTE: NILLES ASSOCIATES, INC. WANTS ANY AND ALL PROFESSIONAL ENGINEERS AND SURVEYORS WHO ARE FROM FAILURE TO THE ENGINEERING INTENT OF THE COUNTY, OR TO OBTAIN AND FOLLOW THE ENGINEERING INTENT OF THE ENGINEER'S OMBUDSMAN, INCORPORATES AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

2920 GATEWAY DRIVE - FREEDOM STORAGE PHASE 2
CARLISLE, IOWA
COVER SHEET

PROJECT NAME: 2920 GATEWAY DRIVE - FREEDOM STORAGE PHASE 2
DESCRIPTION: CARLISLE, IOWA
NAI NO.: 22123
DATE: 2/10/2023
DRAWN BY: RJS/BLH
CHECKED BY: JTN
SHEET SIZE: 24" X 36"
SHEET TITLE: CV-1
SHEET NO.: 1/11



SITE OVERVIEW NOTES

- A. PROPERTY LINE.
- B. EXISTING STORAGE BUILDING.
- C. EXISTING ENTRANCE DRIVE.
- D. EXISTING ACCESS GATE.
- E. PROPOSED STORAGE BUILDINGS. 200 UNITS IN TOTAL.
- F. PROPOSED 6' HEIGHT CHAIN LINK FENCE.
- G. PROPOSED CONNECTING DRIVE.
- H. OUTDOOR STORAGE PAD AREA.
- I. THIS 10' X 15' UNIT WILL HAVE AN ACCESSIBLE BATHROOM AND STORAGE AREA.
- J. PROPOSED PAVING ON EXISTING LOT (3000 GATEWAY DRIVE).
- K. REMOVE EXISTING CURB ALONG PROPOSED PAVING AREA. 94 LF TOTAL.
- L. REMOVE EXISTING GRID IN THIS AREA FOR NEW UNITS AND 6' PAVED APRON. 110 LF TOTAL.
- M. THE PROPERTY DESCRIBED IN THIS SITE PLAN LIES WITHIN SPECIAL FLOOD HAZARD AREA ZONE "AE" & 0.2% ANNUAL CHANCE FLOOD HAZARD ZONE "X", AS SHOWN ON THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL NUMBER 190274, BEARING AN EFFECTIVE DATE OF NOVEMBER 16, 2018.
- N. REMOVE EXISTING PAVING (SHOWN IN HATCHED AREA) FOR USE AS DETENTION BASIN EXPANSION AREA. APPROXIMATELY 80' X 35'.
- O. RESTORE EXISTING STORM SEWER OUTLET TO WORKING CONDITION AS SHOWN ON THE ORIGINAL APPROVED SITE PLAN FOR 3000 GATEWAY DRIVE.
- P. REMOVE WEST 2' OF PAVING ALONG WEST SIDE OF EXISTING PAVING SLAB TO CONSTRUCT 6' CURB (320' LENGTH) FOR THE PURPOSE OF DIRECTING STORM WATER SOUTH TOWARD EXPANDED DETENTION AREA.

PART OF THE
NW 1/4 OF THE
SECTION 04 -
TWP 77N -
RGE 23W

PRELIMINARY SITE PLAN

1933 SW MAGAZINE ROAD
ANKENY, IOWA 50023-2555
(515) 965-0123 phone - (515) 965-3322 fax
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Landscape Architecture



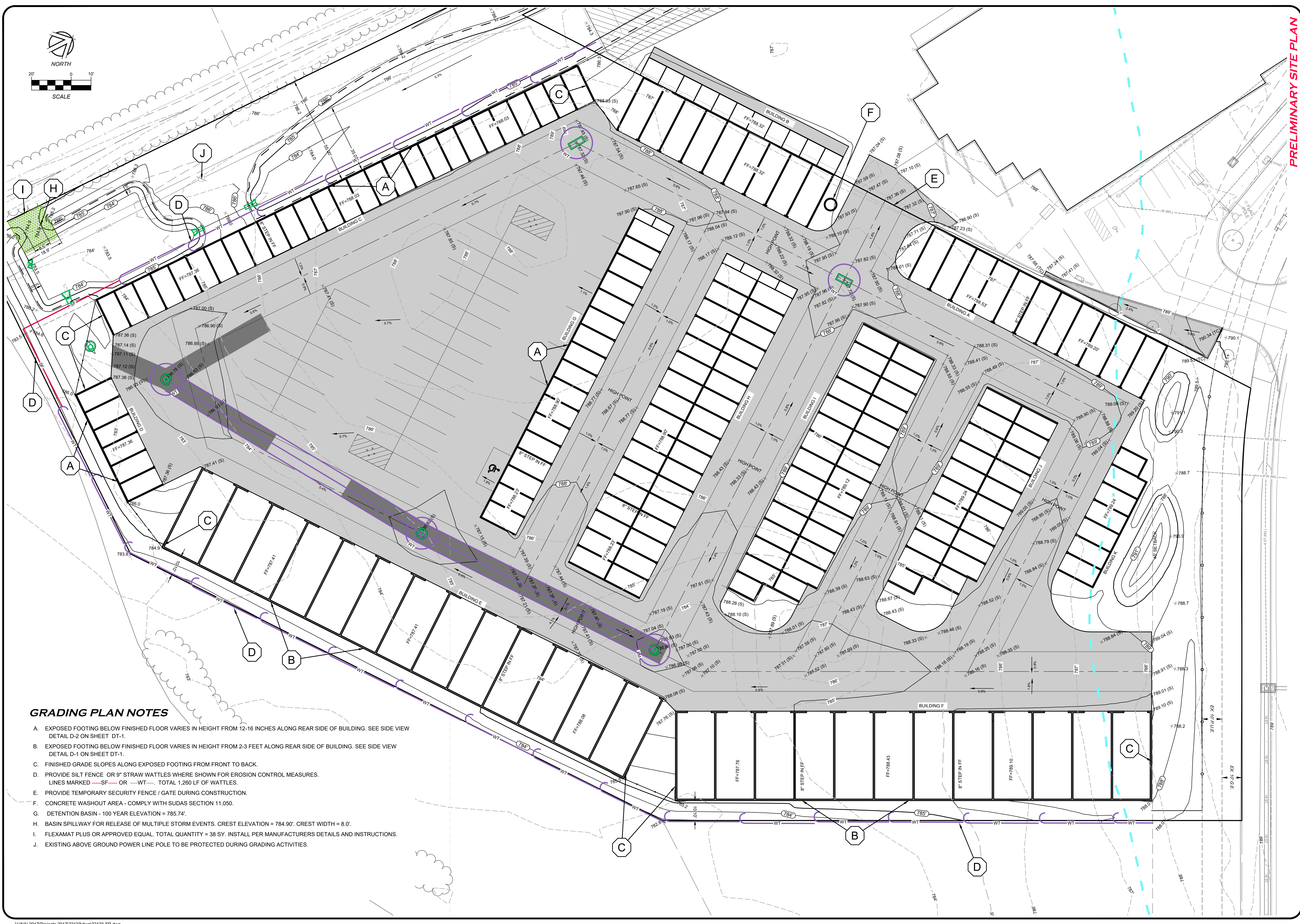
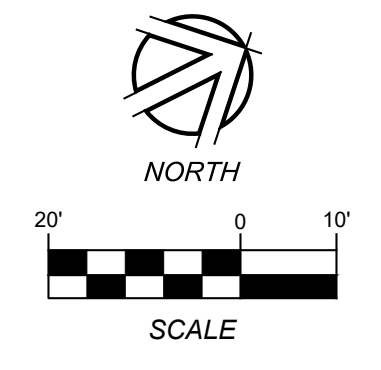
REVISIONS:
1) 1-2-23 PARTIAL REVISIONS
2) 1-2-23 PARTIAL REVISIONS
3) 1-2-23 RESUBMITTAL TO CITY
4) 5) 6) 7)

NOTE: NILLES ASSOCIATES, INC. WARRANTS ANY
PROBLEMS WHICH MAY BE CAUSED BY
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OMISSIONS, INCONSISTENCIES, AMBIGUITIES
OR CONFLICTS WHICH ARE ALLEGED.

2920 GATEWAY DRIVE - FREEDOM STORAGE PHASE 2

SITE OVERVIEW

PROJECT NAME	2920 GATEWAY DRIVE - FREEDOM STORAGE PHASE 2
DESCRIPTION	CARLISLE, IOWA
NAI NO.	22123
DATE	2/10/2023
DRAWN BY	RJS/BLH
CHECKED BY	JTN
SHEET SIZE	24" X 36"
SHEET TITLE	SO-1
SHEET NO.	2/11



GRADING PLAN NOTES

- A. EXPOSED FOOTING BELOW FINISHED FLOOR VARIES IN HEIGHT FROM 12-16 INCHES ALONG REAR SIDE OF BUILDING. SEE SIDE VIEW DETAIL D-2 ON SHEET DT-1.
- B. EXPOSED FOOTING BELOW FINISHED FLOOR VARIES IN HEIGHT FROM 2-3 FEET ALONG REAR SIDE OF BUILDING. SEE SIDE VIEW DETAIL D-1 ON SHEET DT-1.
- C. FINISHED GRADE SLOPES ALONG EXPOSED FOOTING FROM FRONT TO BACK.
- D. PROVIDE SILT FENCE OR 9" STRAW WATTLES WHERE SHOWN FOR EROSION CONTROL MEASURES. LINES MARKED **-SF-** OR **-WT-**. TOTAL 1,260 LF OF WATTLES.
- E. PROVIDE TEMPORARY SECURITY FENCE / GATE DURING CONSTRUCTION.
- F. CONCRETE WASHOUT AREA - COMPLY WITH SUDAS SECTION 11.050.
- G. DETENTION BASIN - 100 YEAR ELEVATION = 785.74'.
- H. BASIN SPILLWAY FOR RELEASE OF MULTIPLE STORM EVENTS. CREST ELEVATION = 784.90'. CREST WIDTH = 8.0'.
- I. FLEXAMAT PLUS OR APPROVED EQUAL. TOTAL QUANTITY = 38 SY. INSTALL PER MANUFACTURERS DETAILS AND INSTRUCTIONS.
- J. EXISTING ABOVE GROUND POWER LINE POLE TO BE PROTECTED DURING GRADING ACTIVITIES.

PRELIMINARY SITE PLAN

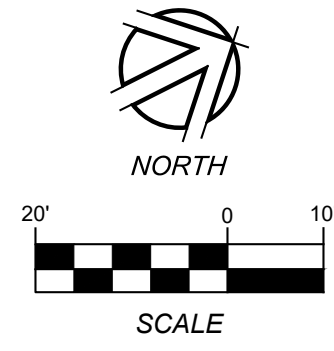
1933 SW MAGAZINE ROAD
 ANKENY, IOWA 50023-2555
 (515) 965-0123 phone - (515) 965-3322 fax
 Civil Engineering - Land Surveying
 Landscape Architecture

REVISIONS
 1) 11-28-23 PARTIAL REVISIONS
 2) 12-28-23 PARTIAL REVISIONS
 3) 1-10-23 PRELIMINARY TO CITY
 4) 1-10-23
 5) 1-10-23
 6) 1-10-23
 7) 1-10-23

NOTE: NILES ASSOCIATES, INC. WANTS ANY
 PROGRAMS WHICH MAY BE USED IN ANY
 PROJECTS WHICH ARE NOT THE PROPERTY OF
 THE ENGINEERING INTENT IN THE COUNTY, OR
 TO OBTAIN AND FOLLOW THE ENGINEERING
 STANDARDS, INCONSISTENCIES AND/OR
 OR CONFLICTS WHICH ARE ALLEGED.

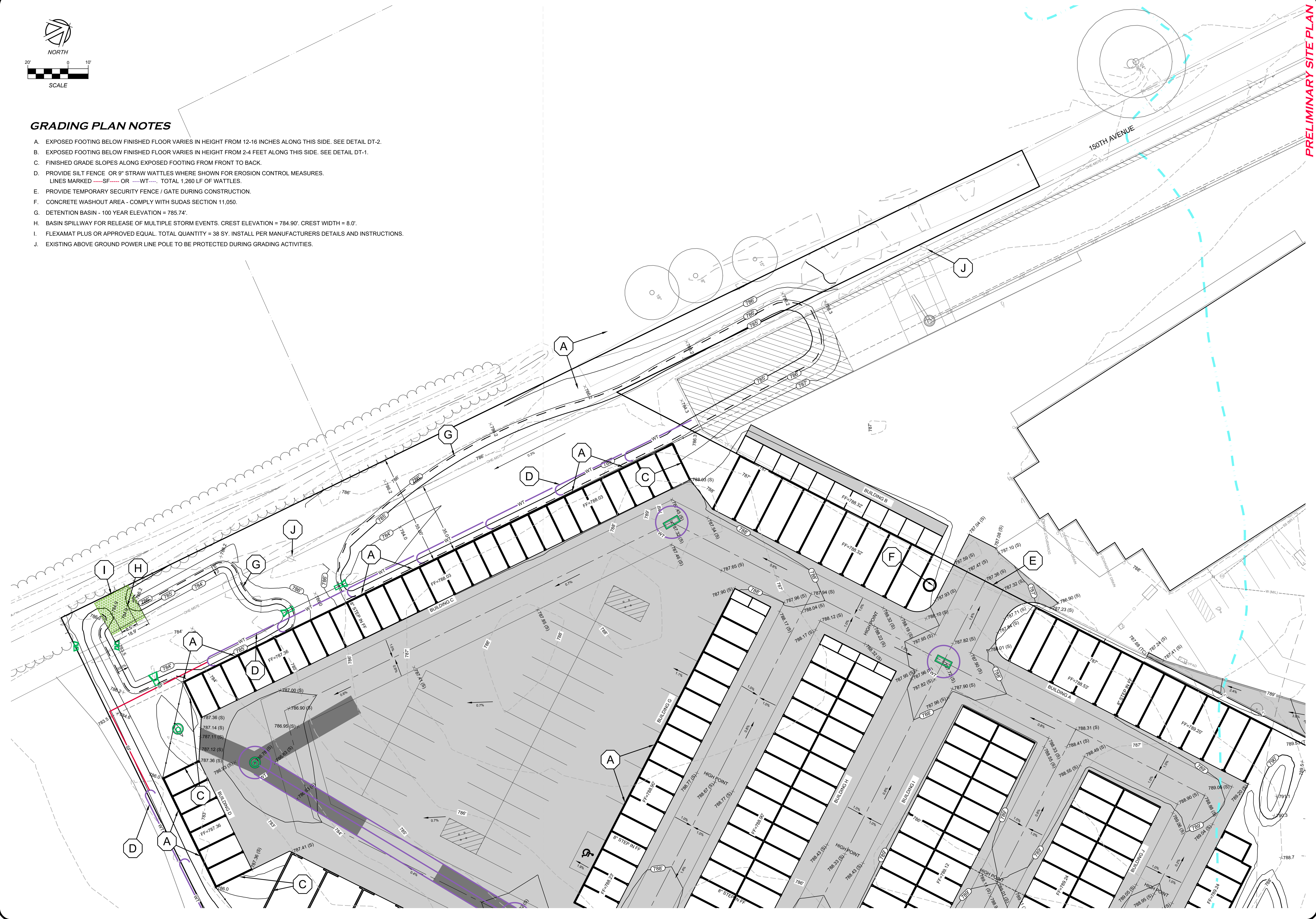
2920 GATEWAY DRIVE - FREEDOM STORAGE PHASE 2
 CARLE PLACE, IOWA
GRADING PLAN

PROJECT NAME:	2920 GATEWAY DRIVE - FREEDOM STORAGE PHASE 2
DESCRIPTION:	CARLE PLACE, IOWA
N/AI NO.:	22123
DATE:	2/10/2023
DRAWN BY:	RJS/BLH
CHECKED BY:	JTN
SHEET NO.:	4 / 11
SHEET TITLE:	GR-1
SHEET SIZE:	24" X 36"



GRADING PLAN NOTES

- A. EXPOSED FOOTING BELOW FINISHED FLOOR VARIES IN HEIGHT FROM 12-16 INCHES ALONG THIS SIDE. SEE DETAIL DT-2.
- B. EXPOSED FOOTING BELOW FINISHED FLOOR VARIES IN HEIGHT FROM 2-4 FEET ALONG THIS SIDE. SEE DETAIL DT-1.
- C. FINISHED GRADE SLOPES ALONG EXPOSED FOOTING FROM FRONT TO BACK.
- D. PROVIDE SILT FENCE OR 9" STRAW WATTLES WHERE SHOWN FOR EROSION CONTROL MEASURES. LINES MARKED ---SF--- OR ---WT---, TOTAL 1,260 LF OF WATTLES.
- E. PROVIDE TEMPORARY SECURITY FENCE / GATE DURING CONSTRUCTION.
- F. CONCRETE WASHOUT AREA - COMPLY WITH SUDAS SECTION 11.050.
- G. DETENTION BASIN - 100 YEAR ELEVATION = 785.74'.
- H. BASIN SPILLWAY FOR RELEASE OF MULTIPLE STORM EVENTS. CREST ELEVATION = 784.90'. CREST WIDTH = 8.0'.
- I. FLEXAMAT PLUS OR APPROVED EQUAL. TOTAL QUANTITY = 38 SY. INSTALL PER MANUFACTURERS DETAILS AND INSTRUCTIONS.
- J. EXISTING ABOVE GROUND POWER LINE POLE TO BE PROTECTED DURING GRADING ACTIVITIES.



PRELIMINARY SITE PLAN

1933 SW MAGAZINE ROAD
 ANKENY, IOWA 50023-2555
 (515) 965-0123 phone - (515) 965-3322 fax
 Civil Engineering - Land Surveying
 Landscape Architecture

NILLES ASSOCIATES

REVISIONS:
 1) 1-2-23 PARTIAL REVISIONS
 2) 1-2-23 PARTIAL REVISIONS
 3) 1-2-23 REVISIONS TO CITY

NOTICE: NILLES ASSOCIATES, INC. WARRANTS ANY PROFESSIONAL OPINION OR DESIGN FOR THE PROJECTS WHICH ARE FROM FAILURE TO THE ENGINEERING INTENT OF THE COUNTY, OR TO OBTAIN AND/OR FOLLOW THE ENGINEERING ORDINANCES, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE ALLEGED.

PROJECT NAME: 2920 GATEWAY DRIVE - FREEDOM STORAGE PHASE 2
 CARLISLE, IOWA

GRADING PLAN - WEST

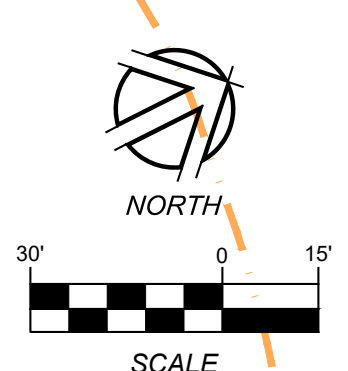
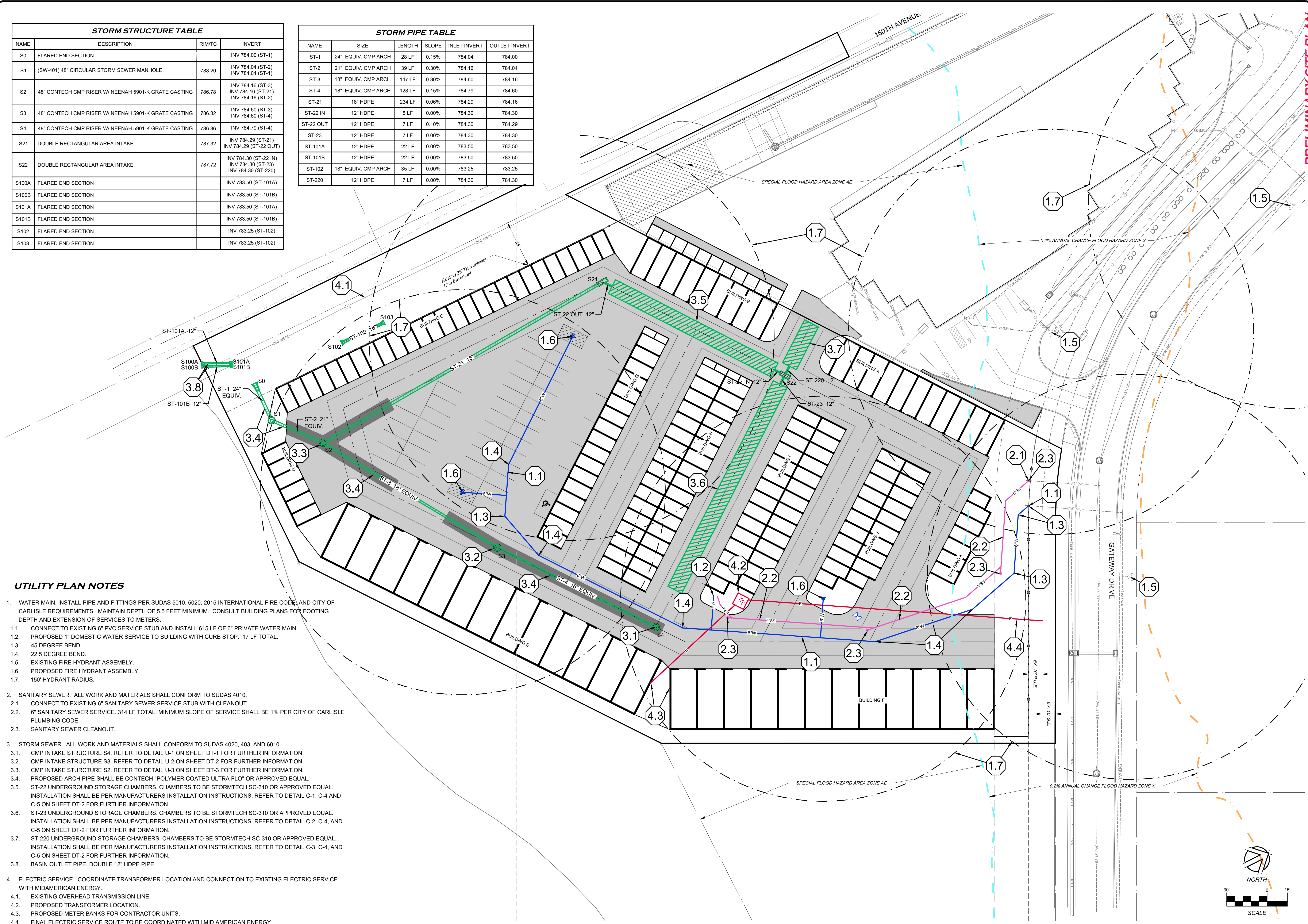
PROJECT NO.: 22123
 DATE: 2/10/2023
 DRAWN BY: RJS/BLH
 CHECKED BY: JTN
 SHEET SIZE: 24" X 36"
 SHEET TITLE: GR-2
 SHEET NO.: 5/11

STORM STRUCTURE TABLE			
NAME	DESCRIPTION	RIM/TC	INVERT
S0	FLARED END SECTION		INV 784.00 (ST-1)
S1	(SW-401) 48" CIRCULAR STORM SEWER MANHOLE	788.20	INV 784.04 (ST-2) INV 784.04 (ST-1)
S2	48" CONTECH CMP RISER W/ NEENAH 5901-K GRATE CASTING	786.78	INV 784.16 (ST-3) INV 784.16 (ST-2)
S3	48" CONTECH CMP RISER W/ NEENAH 5901-K GRATE CASTING	786.82	INV 784.60 (ST-3) INV 784.60 (ST-4)
S4	48" CONTECH CMP RISER W/ NEENAH 5901-K GRATE CASTING	786.86	INV 784.79 (ST-4)
S21	DOUBLE RECTANGULAR AREA INTAKE	787.32	INV 784.29 (ST-21) INV 784.29 (ST-22 OUT)
S22	DOUBLE RECTANGULAR AREA INTAKE	787.72	INV 784.30 (ST-22 IN) INV 784.30 (ST-23) INV 784.30 (ST-220)
S100A	FLARED END SECTION		INV 783.50 (ST-101A)
S100B	FLARED END SECTION		INV 783.50 (ST-101B)
S101A	FLARED END SECTION		INV 783.50 (ST-101A)
S101B	FLARED END SECTION		INV 783.50 (ST-101B)
S102	FLARED END SECTION		INV 783.25 (ST-102)
S103	FLARED END SECTION		INV 783.25 (ST-102)

STORM PIPE TABLE						
NAME	SIZE	LENGTH	SLOPE	INLET INVERT	OUTLET INVERT	
ST-1	24" EQUIV. CMP ARCH	28 LF	0.15%	784.04	784.00	
ST-2	21" EQUIV. CMP ARCH	39 LF	0.30%	784.16	784.04	
ST-3	18" EQUIV. CMP ARCH	147 LF	0.30%	784.60	784.16	
ST-4	18" EQUIV. CMP ARCH	128 LF	0.15%	784.79	784.60	
ST-21	18" HDPE	234 LF	0.06%	784.29	784.16	
ST-22 IN	12" HDPE	5 LF	0.00%	784.30	784.30	
ST-22 OUT	12" HDPE	7 LF	0.10%	784.30	784.29	
ST-23	12" HDPE	7 LF	0.00%	784.30	784.30	
ST-101A	12" HDPE	22 LF	0.00%	783.50	783.50	
ST-101B	12" HDPE	22 LF	0.00%	783.50	783.50	
ST-102	18" EQUIV. CMP ARCH	35 LF	0.00%	783.25	783.25	
ST-220	12" HDPE	7 LF	0.00%	784.30	784.30	

UTILITY PLAN NOTES

- WATER MAIN. INSTALL PIPE AND FITTINGS PER SUDAS 5010, 5020, 2015 INTERNATIONAL FIRE CODE, AND CITY OF CARLISLE REQUIREMENTS. MAINTAIN DEPTH OF 5.5 FEET MINIMUM. CONSULT BUILDING PLANS FOR FOOTING DEPTH AND EXTENSION OF SERVICES TO METERS.
 - CONNECT TO EXISTING 6" PVC SERVICE STUB AND INSTALL 615 LF OF 6" PRIVATE WATER MAIN.
 - PROPOSED 1" DOMESTIC WATER SERVICE TO BUILDING WITH CURB STOP. 17 LF TOTAL.
 - 45 DEGREE BEND.
 - 22.5 DEGREE BEND.
 - EXISTING FIRE HYDRANT ASSEMBLY.
 - PROPOSED FIRE HYDRANT ASSEMBLY.
 - 150' HYDRANT RADIUS.
- SANITARY SEWER. ALL WORK AND MATERIALS SHALL CONFORM TO SUDAS 4010.
 - CONNECT TO EXISTING 6" SANITARY SEWER SERVICE STUB WITH CLEANOUT.
 - 6" SANITARY SEWER SERVICE. 314 LF TOTAL. MINIMUM SLOPE OF SERVICE SHALL BE 1% PER CITY OF CARLISLE PLUMBING CODE.
 - SANITARY SEWER CLEANOUT.
- STORM SEWER. ALL WORK AND MATERIALS SHALL CONFORM TO SUDAS 4020, 403, AND 6010.
 - CMP INTAKE STRUCTURE S4. REFER TO DETAIL U-1 ON SHEET DT-1 FOR FURTHER INFORMATION.
 - CMP INTAKE STRUCTURE S3. REFER TO DETAIL U-2 ON SHEET DT-2 FOR FURTHER INFORMATION.
 - CMP INTAKE STRUCTURE S2. REFER TO DETAIL U-3 ON SHEET DT-3 FOR FURTHER INFORMATION.
 - PROPOSED ARCH PIPE SHALL BE CONTECH "POLYMER COATED ULTRA FLO" OR APPROVED EQUAL.
 - ST-22 UNDERGROUND STORAGE CHAMBERS. CHAMBERS TO BE STORMTECH SC-310 OR APPROVED EQUAL. INSTALLATION SHALL BE PER MANUFACTURERS INSTALLATION INSTRUCTIONS. REFER TO DETAIL C-1, C-4 AND C-5 ON SHEET DT-2 FOR FURTHER INFORMATION.
 - ST-23 UNDERGROUND STORAGE CHAMBERS. CHAMBERS TO BE STORMTECH SC-310 OR APPROVED EQUAL. INSTALLATION SHALL BE PER MANUFACTURERS INSTALLATION INSTRUCTIONS. REFER TO DETAIL C-2, C-4, AND C-5 ON SHEET DT-2 FOR FURTHER INFORMATION.
 - ST-220 UNDERGROUND STORAGE CHAMBERS. CHAMBERS TO BE STORMTECH SC-310 OR APPROVED EQUAL. INSTALLATION SHALL BE PER MANUFACTURERS INSTALLATION INSTRUCTIONS. REFER TO DETAIL C-3, C-4, AND C-5 ON SHEET DT-2 FOR FURTHER INFORMATION.
 - BASIN OUTLET PIPE. DOUBLE 12" HDPE PIPE.
- ELECTRIC SERVICE. COORDINATE TRANSFORMER LOCATION AND CONNECTION TO EXISTING ELECTRIC SERVICE WITH MIDAMERICAN ENERGY.
 - EXISTING OVERHEAD TRANSMISSION LINE.
 - PROPOSED TRANSFORMER LOCATION.
 - PROPOSED METER BANKS FOR CONTRACTOR UNITS.
 - FINAL ELECTRIC SERVICE ROUTE TO BE COORDINATED WITH MID AMERICAN ENERGY.



PRELIMINARY SITE PLAN
 1933 SW MAGAZINE ROAD
 ANKENY, IOWA 50023-2555
NILLES ASSOCIATES
 Civil Engineering - Land Surveying
 Landscape Architecture

REVISIONS:
 1) 11-28-23 PARTIAL REVISIONS
 2) 11-28-23 PARTIAL REVISIONS
 3) 11-28-23 REVISIONS
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PROJECT NAME: 2920 GATEWAY DRIVE - FREEDOM STORAGE PHASE 2
 PROJECT LOCATION: CARLISLE, IOWA
 PROJECT NO.: 22123
 DATE: 2/10/2023
 DRAWN BY: RJS/BLH
 CHECKED BY: JTN
 SHEET NO.: 6/11
 SHEET TITLE: UP-1
 SHEET SIZE: 24" X 36"



CITY OF CARLISLE STANDARD NOTES

1. General Notes:

- a. All work shall be done in accordance with the current version of the Urban Standards Specifications for Public Improvements on the date of approval and the City of Carlisle Supplemental Specifications.
- b. A preconstruction meeting is required prior to the start of construction. The Contractor shall be responsible to coordinate this meeting with the City of Carlisle. General Contractor and major subs shall be present at the meeting. The City of Carlisle must be notified by all Contractors 48 hours prior to commencing work. Please contact the following Staff:
 - i) Tony Rhinehart - Public Works Superintendent - 515-249-2055
- c. All permits (IDNR, IDOT, Army Corp., etc.) shall be obtained prior to the start of construction.
- d. All Utility Contractors and/or Owners shall be responsible to provide the City of Carlisle with "As-Built" Drawings of all Public improvements where necessary.
- e. A signage list should be submitted by the contractor to the City of Carlisle. Public works will verify the list and order the signs from a list of approved vendors. The contractor will then be responsible for picking up the signs once delivered to public works and placing them in the locations identified on the signage plan. The cost of signs and related hardware will be billed to the contractor.
- f. All site lighting shall not spill onto adjacent properties or right-of-ways.
- g. We encourage you to contact the City of Carlisle with information on any significant work being done or potential issues as they generally get the first calls from neighbors with questions or concerns. Keeping the City informed of progress or significant issues can help you avoid potential conflicts or issues with surrounding property owners.
- h. A post-construction walk-thru is required by City Staff and/or the City's designated engineer. All engineering review fees for the walk-thru and follow-up correspondence must be paid for by the Owner prior to issuance of an occupancy permit.
- i. A Knox box is required by the fire department and shall be obtained by the Owner.

2. Sanitary Sewer Notes:

- a. The Contractor is required to place a temporary plug in the existing downstream sanitary sewer manhole prior to the start of construction. The plug shall be removed following approval of construction by the City of Carlisle.
- b. Sanitary gravity pipe material shall be PVC SDR 26 or Truss (8" to 15").
- c. Sanitary gravity service pipe material shall be PVC SDR 23.5 (4" to 6").
- d. All sanitary sewer manholes castings shall be sealed with interior chimney seals.
 - i) 3-piece castings shall have interior chimney seals.
 - ii) 2-piece castings shall have I&I Barrier (aka top hat) chimney seals, or equal.
 In addition, the minimum spacer ring size is 4-inches and the maximum number of spacer rings shall not exceed 12-inches.
- e. All sanitary sewer manholes shall have steps.
- f. All sanitary sewer manhole castings located within pavement shall be boxed out.
- g. Mandrel and pressure tests are required for all sanitary sewer lines (8" and above) prior to paving. In addition, all sanitary sewer lines shall be televised. The sewer system shall be flushed with water prior to televising.

3. Water Main Notes:

- a. All fire hydrants shall be American Flow Control-Waterous Pacer WB-67-250, Mueller Super Centurion 250 (3-way A-423), or Clow Medallion F-2545. All hydrants shall have the following: 6" MJ Shoe, 2-1/2" Hose Nozzle, 4-1/2" Steamer Nozzle, NST Threads, Pentagon Operating Nut, Chain on cap, open left, 5-1/2" bury, and factory painted red. The minimum spool pipe length from auxiliary valve to hydrant shoe shall be 2.0'.
- b. All hydrants shall be painted red.
- c. All hydrants will immediately be covered with a black plastic bag (or equivalent) once the hydrant is installed. The City of Carlisle will notify the Contractor when the bags can be removed.
- d. All hydrants shall have a 5" Storz nozzle.
- e. A tracer wire receptacle shall be installed at each hydrant (flush mount Valco or approved equal). Tracer wire testing is required and must be witnessed by City Staff.
- f. Tracer wire shall be added to all water main & hydrant leads.
- g. All valves shall be resilient wedge gate valves.
- h. Water service shall be 1-inch minimum type K copper within Public Right of Way. Water services between curb stop and structure may be 1-inch type K copper or 1-inch PEX. Any PEX used must also have tracer wire attached.
- i. The Contractor is responsible for pressure testing, chlorination, and bacteria test.

4. Storm Sewer Notes:

- a. All storm sewer in the ROW shall be RCP, unless otherwise approved by the City.
- b. All flared end sections shall have footings and apron grates. The last 3 pipe sections and the flared end section on all culverts shall be tied. All storm sewer joints shall be wrapped with engineering fabric.
- c. The Contractor is responsible for repairing any field tile damaged during construction. The tile should be directed to public storm sewer if possible. The Contractor shall record the elevation and location of all tiles.
- d. All sump service lines shall have tracer wire.
- e. All rip-rap shall be underlain with engineering fabric as specified in the Urban Specifications.
- f. Contractor should develop and communicate their plan and timeline to the City for both installation and removal of all SWPPP protection.

REVISIONS:
1) 1-24-23 PARTIAL REVISIONS
2) 2-8-23 PARTIAL REVISIONS
3) 2-10-23 RESUBMITTAL TO CITY
4) 3-1-23
5) 3-1-23
6) 3-1-23
7) 3-1-23

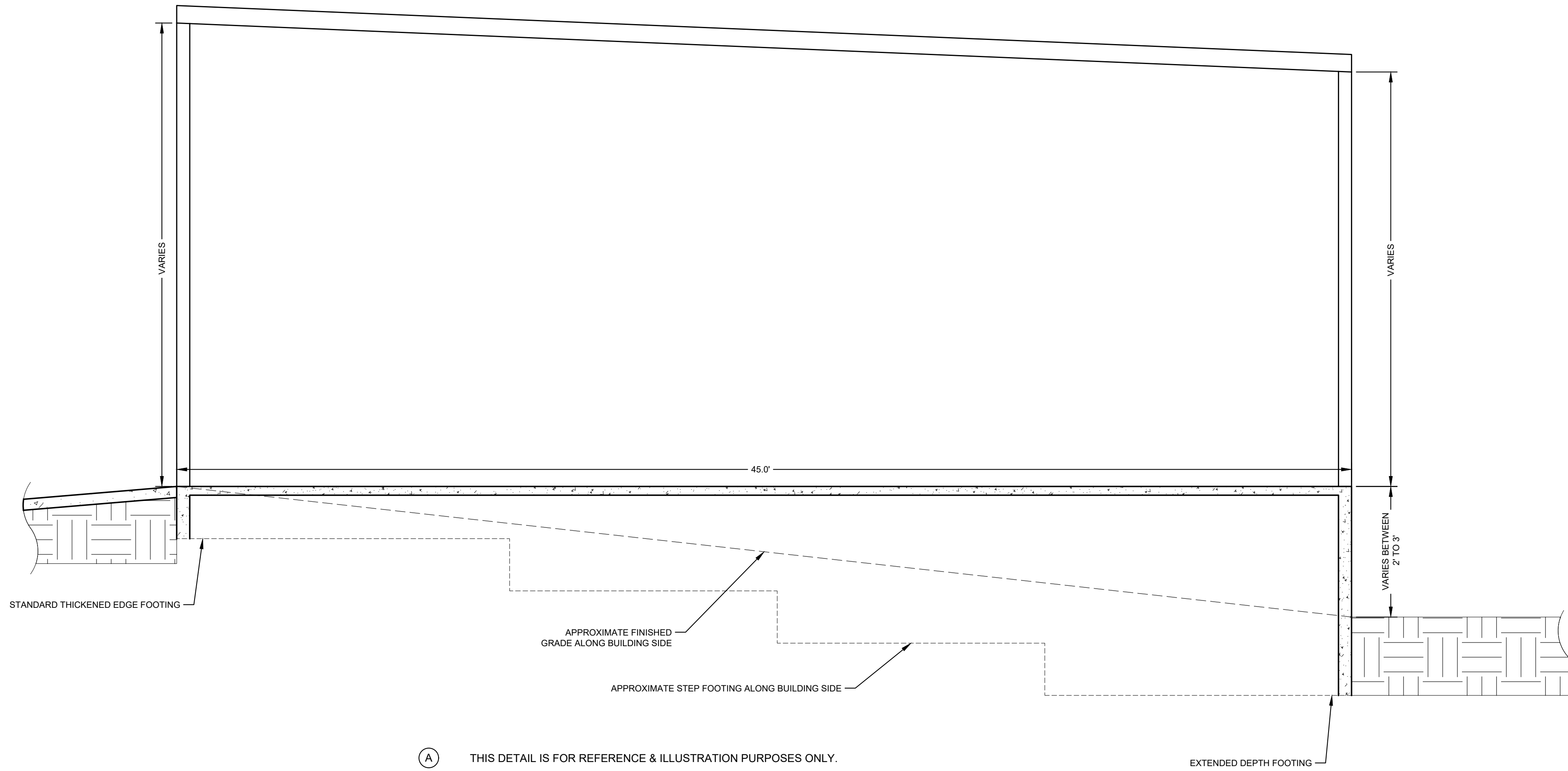
NOTE: NILES ASSOCIATES, INC. WAIVES ANY LIABILITY FOR ERRORS OR OMISSIONS IN ANY DRAWINGS OR SPECIFICATIONS WHICH MAY BE CAUSED BY THE ENGINEERING INTENT OF THE CITY, OR TO OBTAIN AND/OR FOLLOW THE ENGINEERING INTENT OF THE CITY, OR OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE ALLEGED.

PROJECT NAME: 2920 GATEWAY DRIVE - FREEDOM STORAGE PHASE 2

CITY OF CARLISLE, IOWA

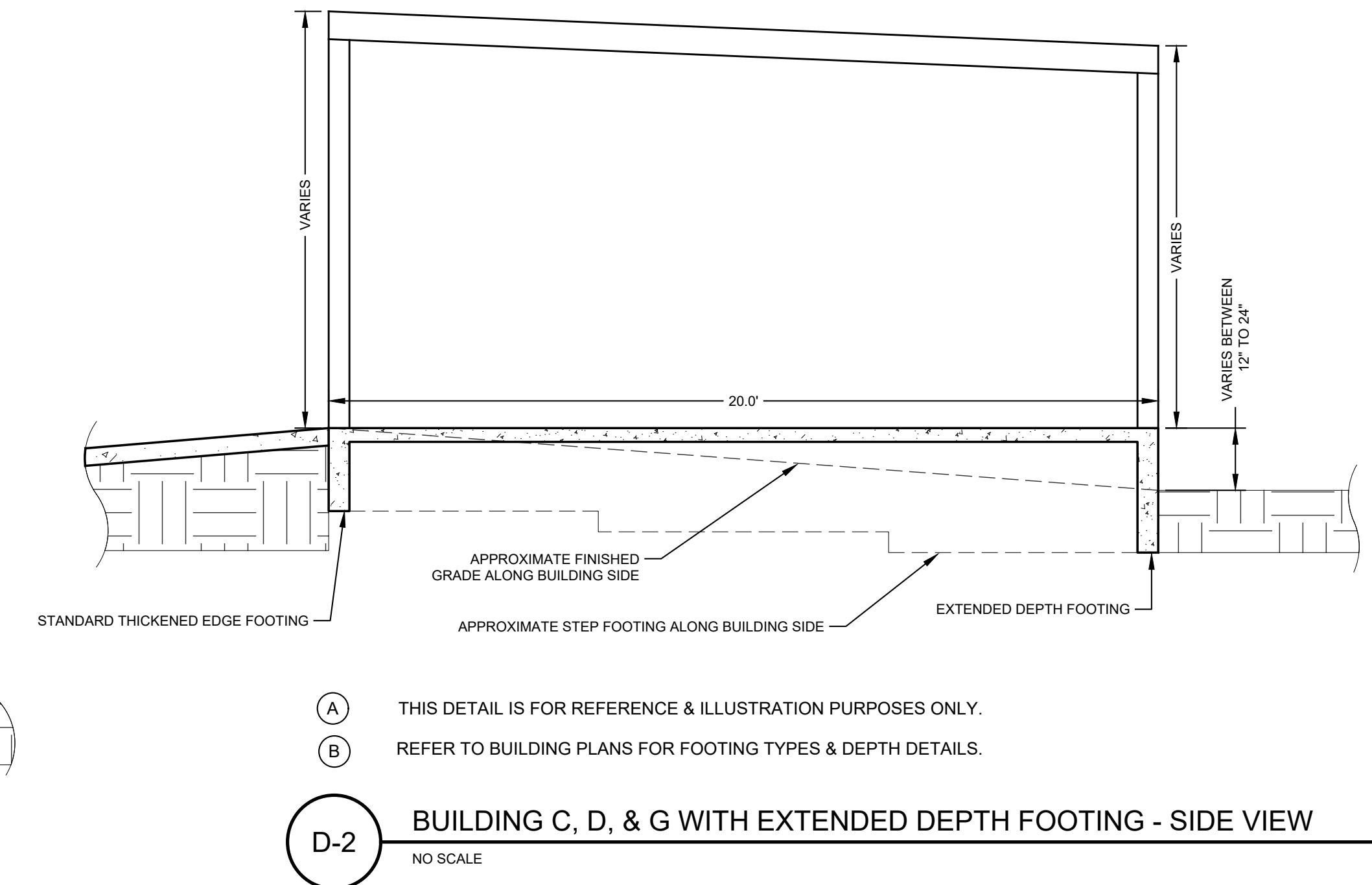
DESCRIPTION: CITY OF CARLISLE STANDARD NOTES

NAI NO.:	22123
DATE:	2/10/2023
DRAWN BY:	RJS/BLH
CHECKED BY:	JTN
SHEET SIZE:	24" X 36"
SHEET TITLE:	UP-2
SHEET NO.:	7/11



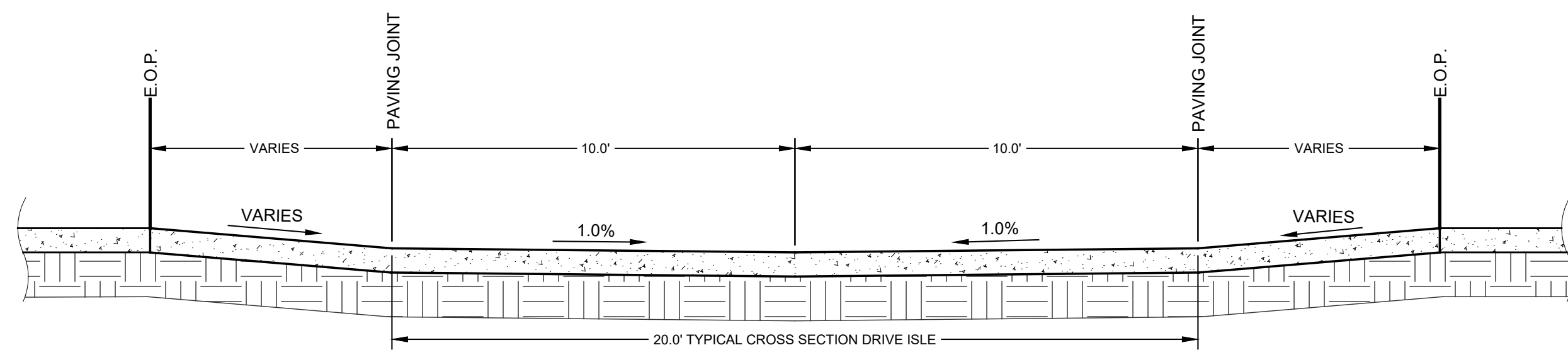
(A) THIS DETAIL IS FOR REFERENCE & ILLUSTRATION PURPOSES ONLY.
 (B) REFER TO BUILDING PLANS FOR FOOTING TYPES & DEPTH DETAILS.

D-1 BUILDING E & F WITH EXTENDED DEPTH FOOTING - SIDE VIEW
 NO SCALE



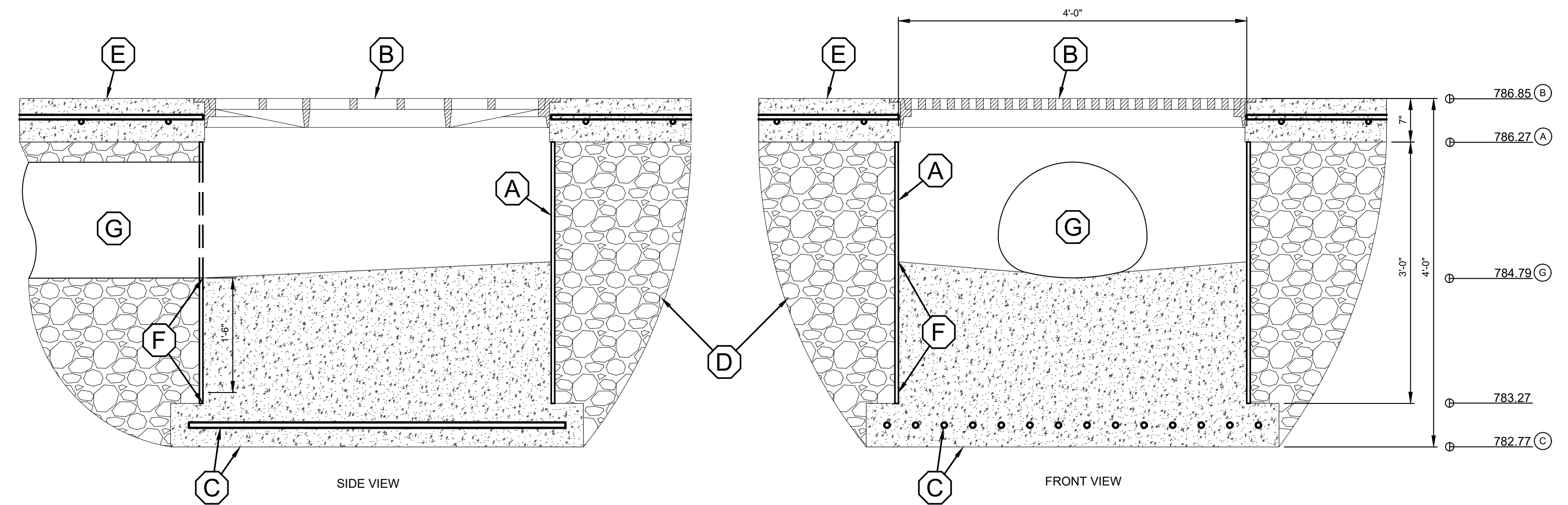
(A) THIS DETAIL IS FOR REFERENCE & ILLUSTRATION PURPOSES ONLY.
 (B) REFER TO BUILDING PLANS FOR FOOTING TYPES & DEPTH DETAILS.

D-2 BUILDING C, D, & G WITH EXTENDED DEPTH FOOTING - SIDE VIEW
 NO SCALE



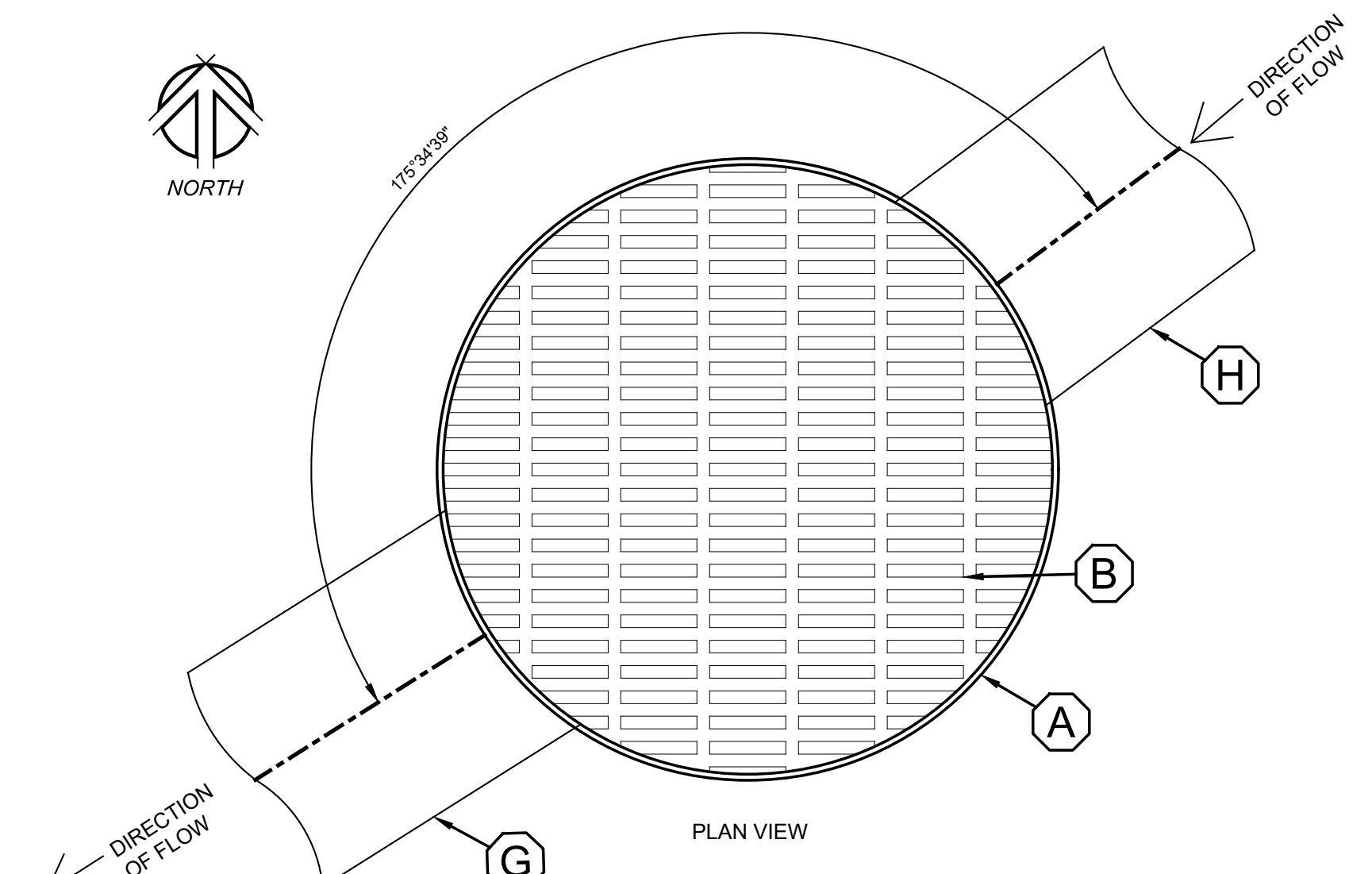
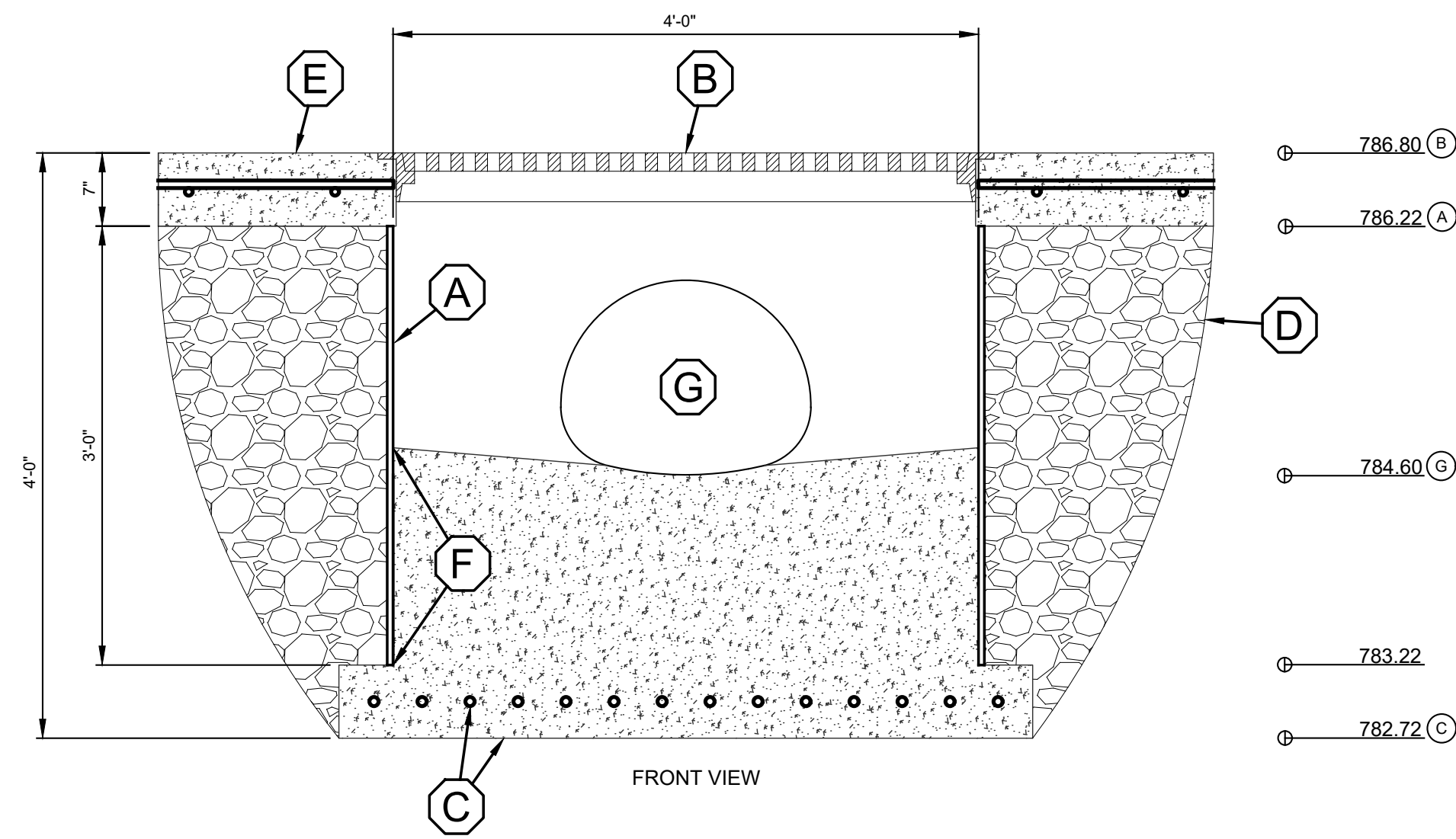
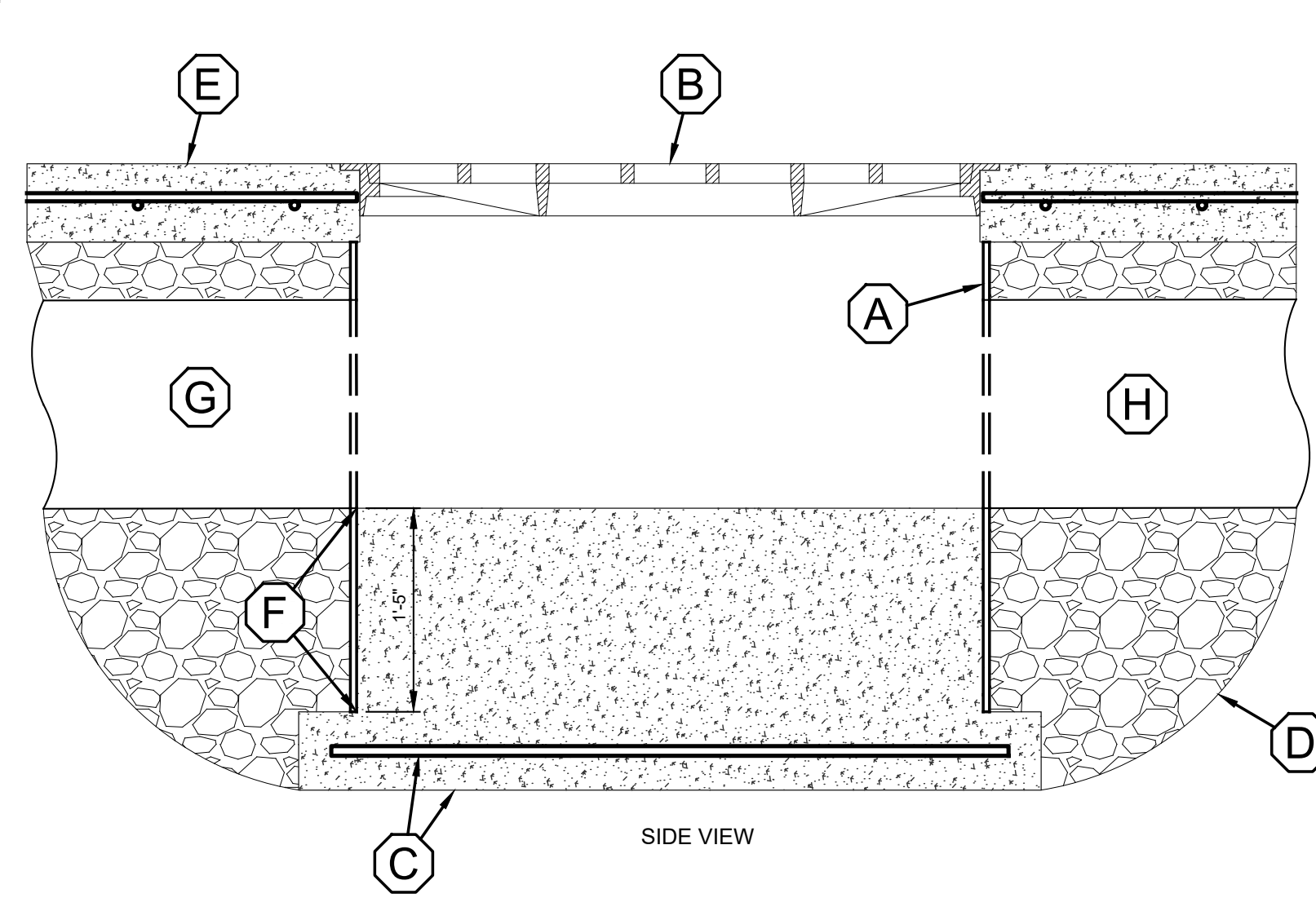
(A) 7" PCC PAVEMENT
 (B) 12" SUBGRADE PREPARATION (2 - 6" LIFTS)
 (C) REFER TO BUILDING PLANS FOR FOOTING TYPES & DEPTH DETAILS.

D-3 20' WIDE DRIVE AISLE
 1" = 3"



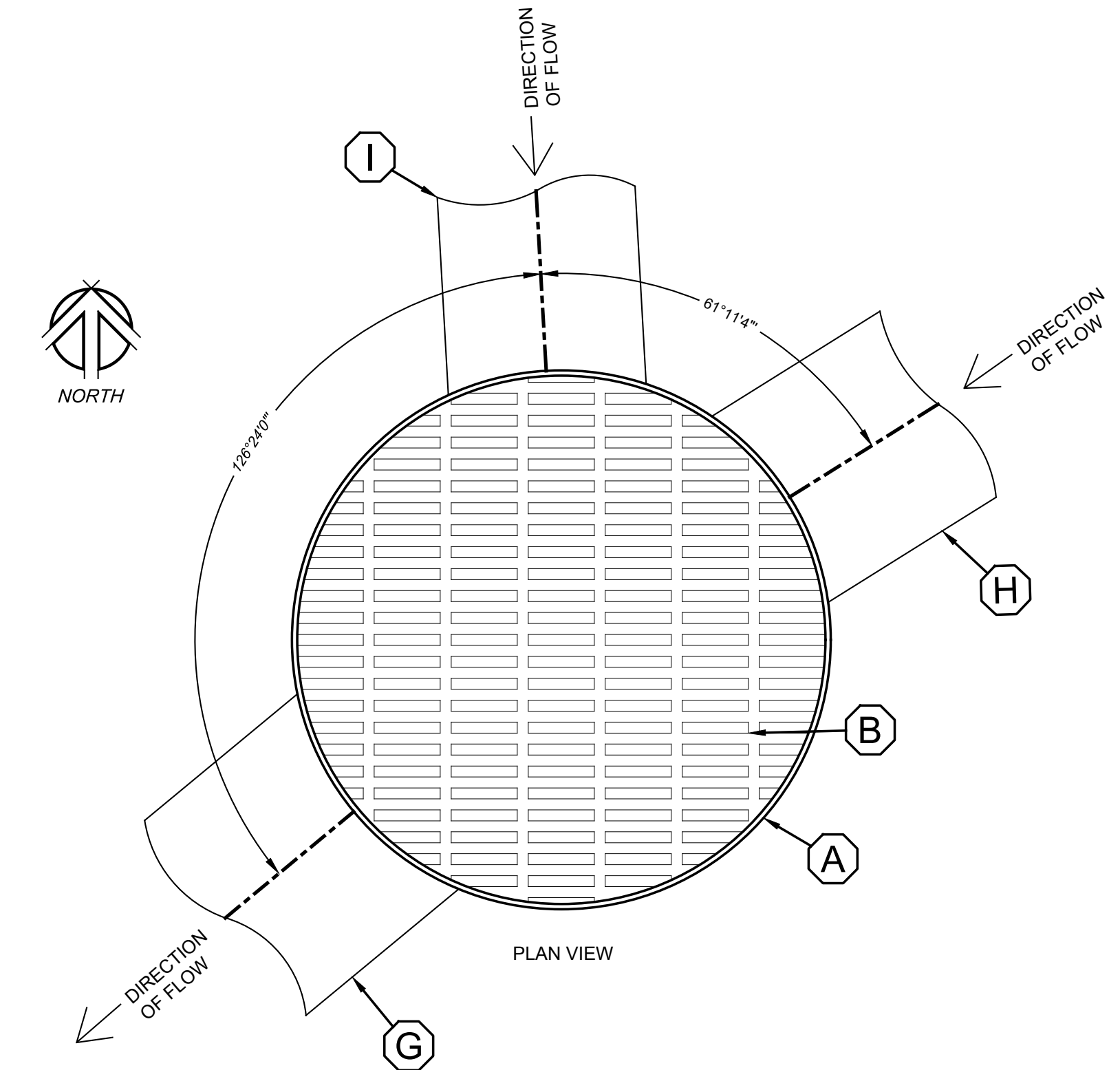
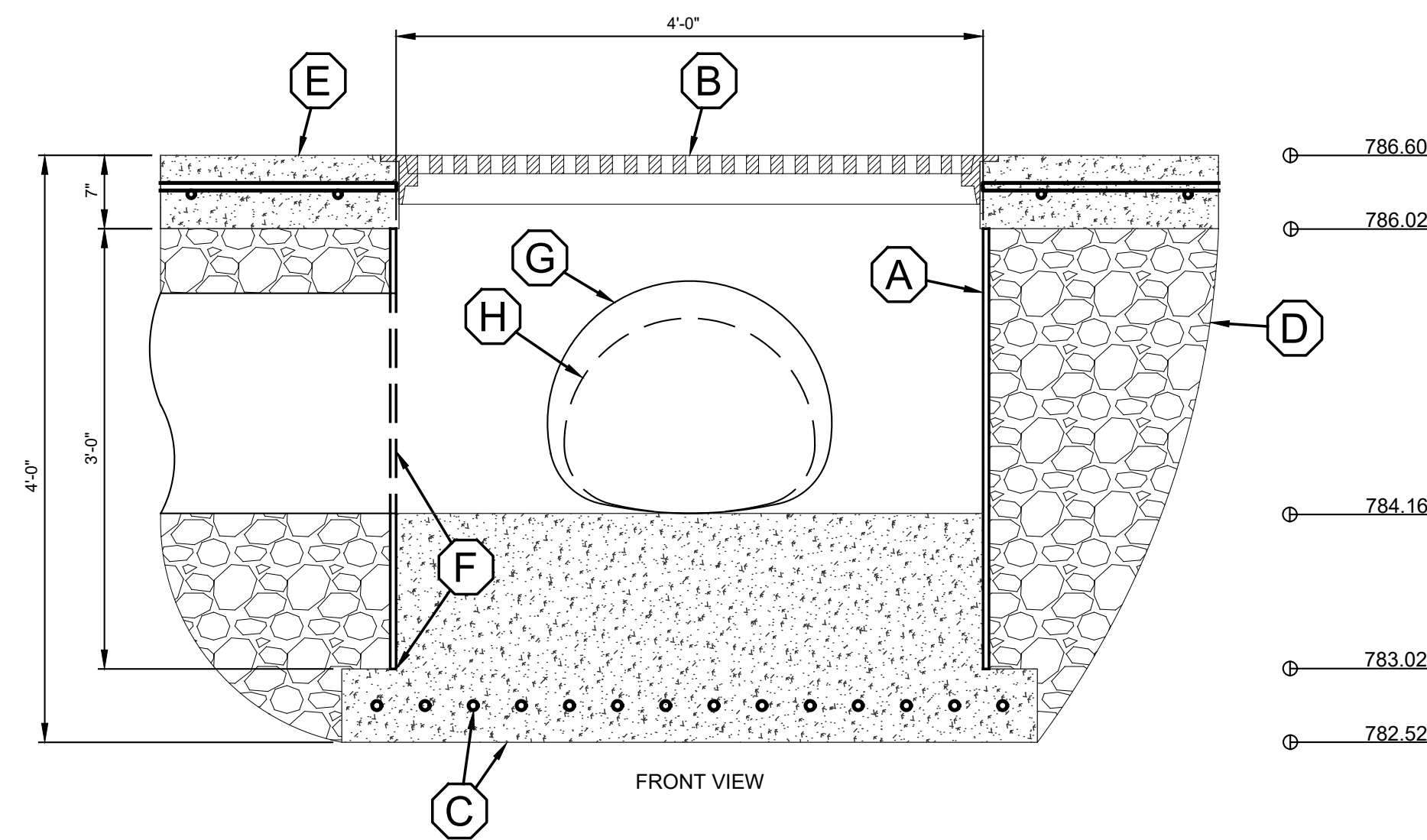
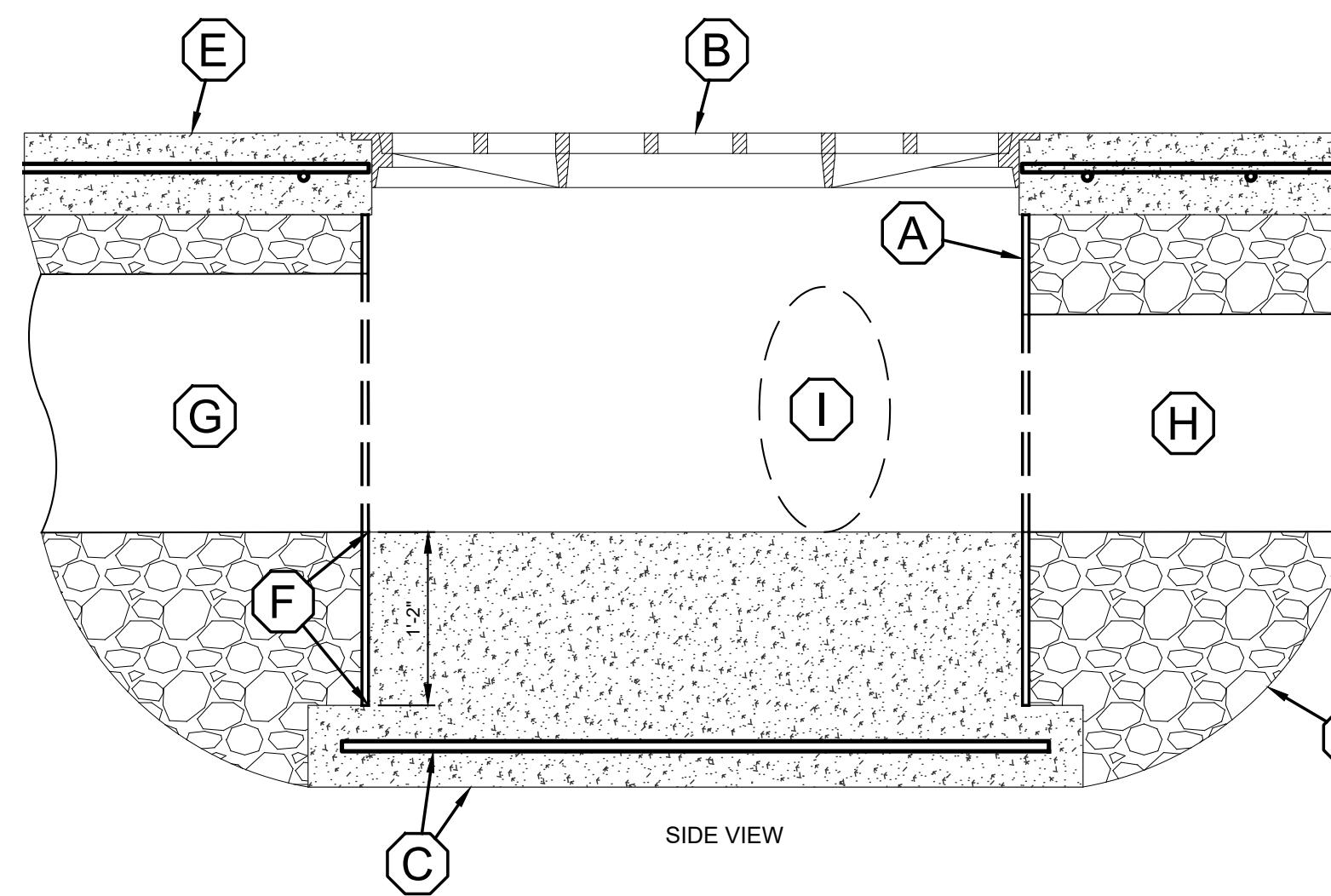
(A) 48" DIA. CMP RISER SECTION. USE CONTECH POLYMERIC COATED CMP OR APPROVED EQUAL. LEAVE 6" BETWEEN TOP OF RISER AND CASTING TO ALLOW CONCRETE SUPPORT BENEATH CASTING FLANGE. TOP OF CMP RISER SECTION = 786.27. INSTALLATION SHALL BE PER MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS.
 (B) NEENAH "5901-K" CASTING OR APPROVED EQUAL. CASTING SHALL BE IMBEDDED IN P.C.C PAVEMENT FOR STRUCTURAL SUPPORT. DO NOT PLACE CASTING DIRECTLY ON CMP RISER SECTION. RIM ELEVATION = 786.85
 (C) POUR 6" P.C.C. BASE BENEATH CMP RISER SECTION. BASE TO BE REINFORCED WITH #6 REBAR MAT AT 4" O.C. SPACING. BASE ELEVATION = 782.77. REFER TO SUDAS FIGURE 6010.512 FOR FURTHER INFORMATION.
 (D) PLACE SUDAS CLASS 1 BACKFILL MATERIAL AROUND CMP RISER SECTION AND WITHIN PIPE TRENCH.
 (E) 7" REINFORCED P.C.C PAVEMENT. REFER TO SHEET DP-1 FOR FURTHER INFORMATION ON AREAS REQUIRING REINFORCED PAVEMENT.
 (F) SUMP DEPTH TO BE 1.52' TO PROVIDE FURTHER DEPTH OF COVER FOR RISER SECTION BASE.
 (G) 18" EQUIVALENT CMP ARCH PIPE. PIPE TRENCH TO BE ENTIRELY BACKFILLED WITH SUDAS CLASS 1 BACKFILL. PIPE SHALL BE "CONTECH ULTRA FLO" OR APPROVED EQUAL. PIPE INVERT = 784.79.

U-1 STRUCTURE "S4" CMP INTAKE DETAIL
 NO SCALE



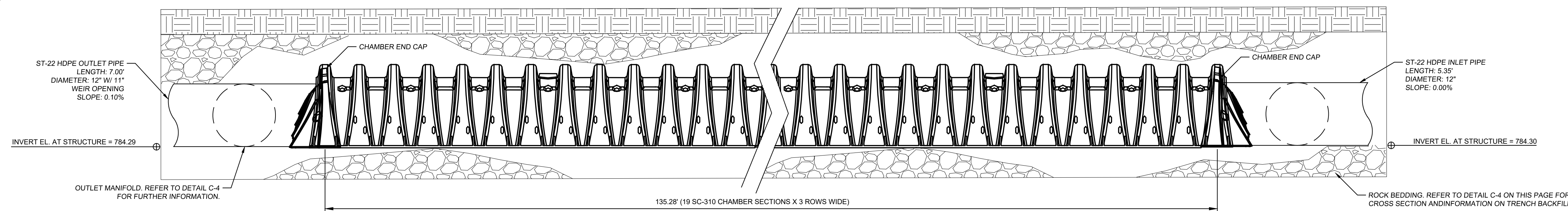
- (A) 48" DIA. CMP RISER SECTION. USE CONTECH POLYMERIC COATED CMP OR APPROVED EQUAL. LEAVE 6" BETWEEN TOP OF RISER AND CASTING TO ALLOW CONCRETE SUPPORT BENEATH CASTING FLANGE. TOP OF CMP RISER SECTION = 786.22. INSTALLATION SHALL BE PER MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS.
- (B) NEENAH "5901-K" CASTING OR APPROVED EQUAL. CASTING SHALL BE IMBEDDED IN P.C.C PAVEMENT FOR STRUCTURAL SUPPORT. DO NOT PLACE CASTING DIRECTLY ON CMP RISER SECTION. RIM ELEVATION = 786.80
- (C) POUR 6" P.C.C. BASE BENEATH CMP RISER SECTION. BASE TO BE REINFORCED WITH #6 REBAR MAT AT 4" O.C. SPACING. BASE ELEVATION = 782.72. REFER TO SUDAS FIGURE 6010.512 FOR FURTHER INFORMATION.
- (D) PLACE SUDAS CLASS 1 BACKFILL MATERIAL AROUND CMP RISER SECTION AND WITHIN PIPE TRENCH.
- (E) 7" REINFORCED P.C.C PAVEMENT. REFER TO SHEET DP-1 FOR FURTHER INFORMATION ON AREAS REQUIRING REINFORCED PAVEMENT.
- (F) SUMP DEPTH TO BE 1.38' TO PROVIDE FURTHER DEPTH OF COVER FOR RISER SECTION BASE.
- (G) 18" EQUIVALENT CMP ARCH PIPE. PIPE TRENCH TO BE ENTIRELY BACKFILLED WITH SUDAS CLASS 1 BACKFILL. PIPE SHALL BE "CONTECH ULTRA FLO" OR APPROVED EQUAL. PIPE INVERT = 784.60.
- (H) 18" EQUIVALENT CMP ARCH PIPE. PIPE TRENCH TO BE ENTIRELY BACKFILLED WITH SUDAS CLASS 1 BACKFILL. PIPE SHALL BE "CONTECH ULTRA FLO" OR APPROVED EQUAL. PIPE INVERT = 784.60.

U-2 STRUCTURE "S3" CMP INTAKE DETAIL
NO SCALE

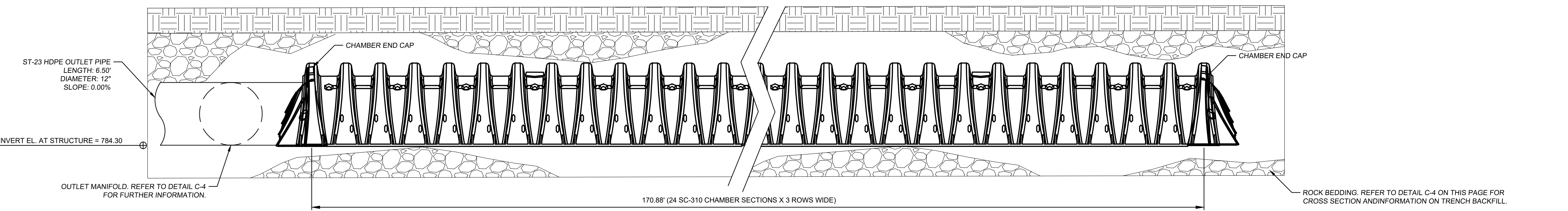


- (A) 48" DIA. CMP RISER SECTION. USE CONTECH POLYMERIC COATED CMP OR APPROVED EQUAL. LEAVE 7" BETWEEN TOP OF RISER AND CASTING TO ALLOW CONCRETE SUPPORT BENEATH CASTING FLANGE. TOP OF CMP RISER SECTION = 786.02. INSTALLATION SHALL BE PER MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS.
- (B) NEENAH "5901-K" CASTING OR APPROVED EQUAL. CASTING SHALL BE IMBEDDED IN P.C.C PAVEMENT FOR STRUCTURAL SUPPORT. DO NOT PLACE CASTING DIRECTLY ON CMP RISER SECTION. RIM ELEVATION = 786.60
- (C) POUR 6" P.C.C. BASE BENEATH CMP RISER SECTION. BASE TO BE REINFORCED WITH #6 REBAR MAT AT 4" O.C. SPACING. BASE ELEVATION = 782.52. REFER TO SUDAS FIGURE 6010.512 FOR FURTHER INFORMATION.
- (D) PLACE SUDAS CLASS 1 BACKFILL MATERIAL AROUND CMP RISER SECTION AND WITHIN PIPE TRENCH.
- (E) 7" REINFORCED P.C.C PAVEMENT. REFER TO SHEET DP-1 FOR FURTHER INFORMATION ON AREAS REQUIRING REINFORCED PAVEMENT.
- (F) SUMP DEPTH TO BE 1.14' TO PROVIDE FURTHER DEPTH OF COVER FOR RISER SECTION BASE.
- (G) 21" EQUIVALENT CMP ARCH PIPE. PIPE TRENCH TO BE ENTIRELY BACKFILLED WITH SUDAS CLASS 1 BACKFILL. PIPE SHALL BE "CONTECH ULTRA FLO" OR APPROVED EQUAL. PIPE INVERT = 784.16.
- (H) 18" EQUIVALENT CMP ARCH PIPE. PIPE TRENCH TO BE ENTIRELY BACKFILLED WITH SUDAS CLASS 1 BACKFILL. PIPE SHALL BE "CONTECH ULTRA FLO" OR APPROVED EQUAL. PIPE INVERT = 784.16.
- (I) 18" HDPE INLET PIPE. PIPE INVERT = 784.16.

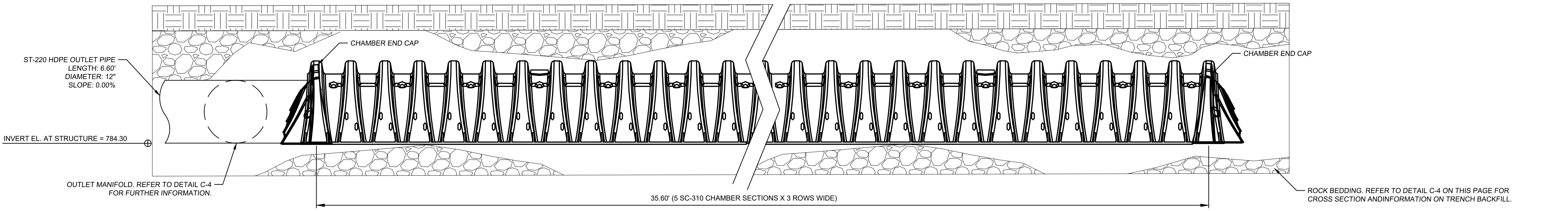
U-3 STRUCTURE "S2" CMP INTAKE DETAIL
NO SCALE



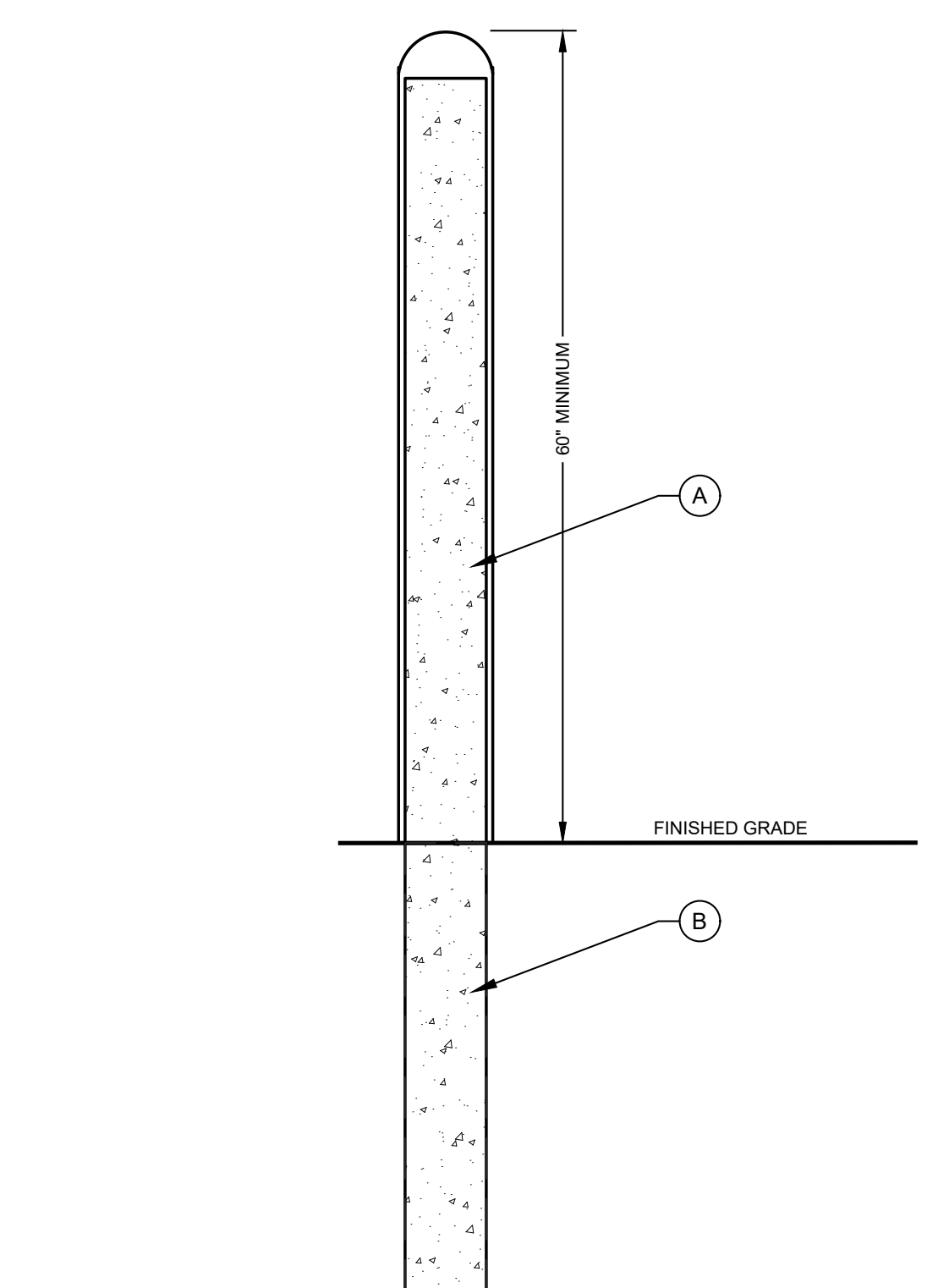
C-1 ST-22 UNDERGROUND STORAGE CHAMBER DETAIL
NO SCALE



C-2 ST-23 UNDERGROUND STORAGE CHAMBER DETAIL
NO SCALE

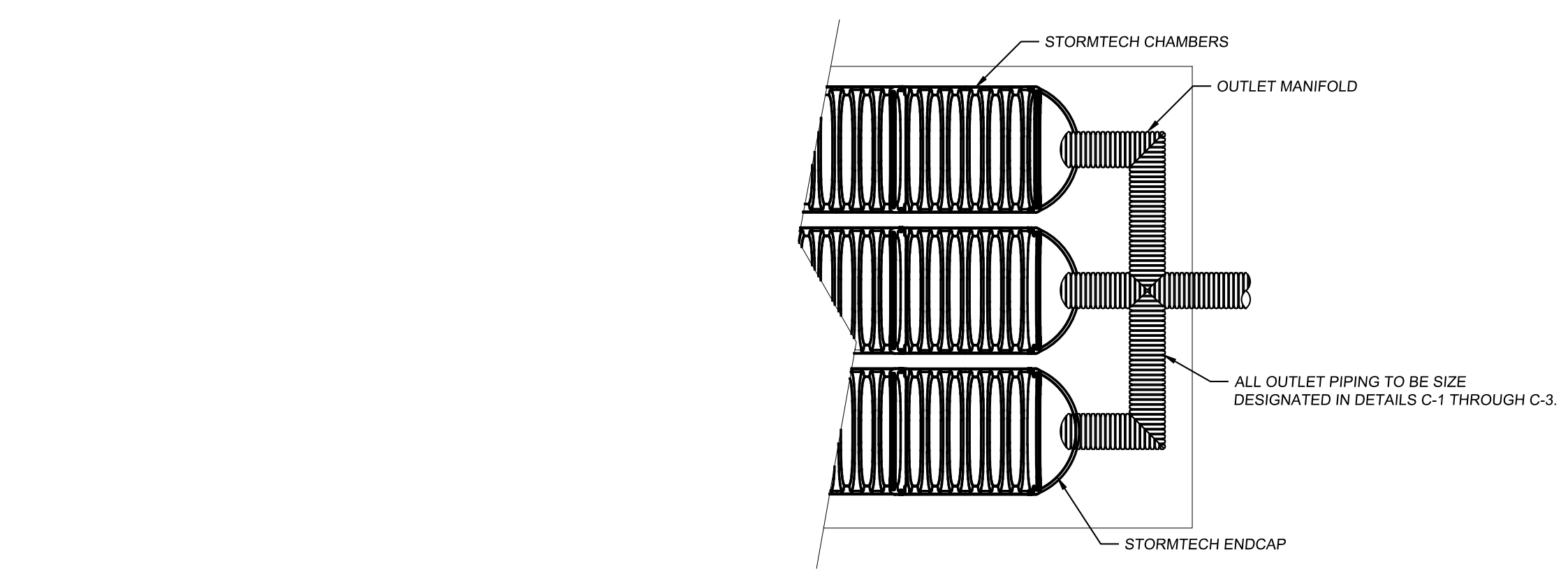


C-3 ST-220 UNDERGROUND STORAGE CHAMBER DETAIL
NO SCALE



- A 8" DIAMETER STEEL BOLLARD FILLED WITH CONCRETE AND COVERED WITH HDPE THERMOPLASTIC BUMPER POST SLEEVE SUCH AS IDEAL SHIELD 1/2" DOME TOP BOLLARD COVER #BPD-BL-04-080-S OR APPROVED EQUAL.
- B FOLLOW MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION AND MOUNTING.

P-2 PROTECTION BOLLARD
NOT TO SCALE

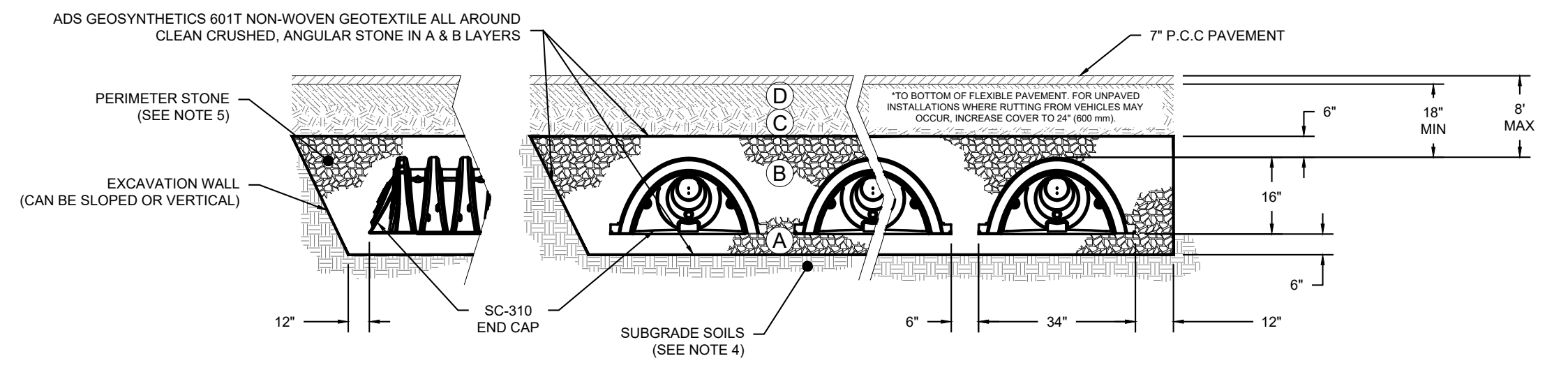


C-4 STANDARD PIPE JUNCTION DETAIL
NO SCALE

ACCEPTABLE FILL MATERIALS: STORMTECH SC-310 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'D' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145' A-1, A-2-4, A-3 OR AASHTO M43' 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43' 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43' 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE ^{2,3}

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



- NOTES:**
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2922 (POLETHYLENE) OR ASTM F2418 (POLYPROPYLENE). *STANDARD SPECIFICATION FOR CORRUGATED WALL STORMWATER COLLECTION CHAMBERS*.
 - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 - REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2922 SHALL BE GREATER THAN OR EQUAL TO 400 LBS/FT². AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

C-5 SC-310 CROSS SECTION DETAIL

PRELIMINARY SITE PLAN

1933 SW MAGAZINE ROAD
ANKENY, IOWA 50023-2555
(515) 965-0123 phone - (515) 965-3322 fax
Civil Engineering - Land Surveying
Landscape Architecture

NILLES ASSOCIATES

REVISIONS:
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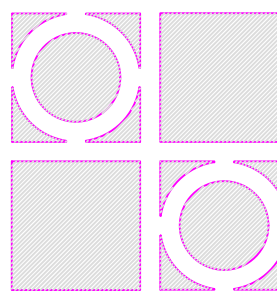
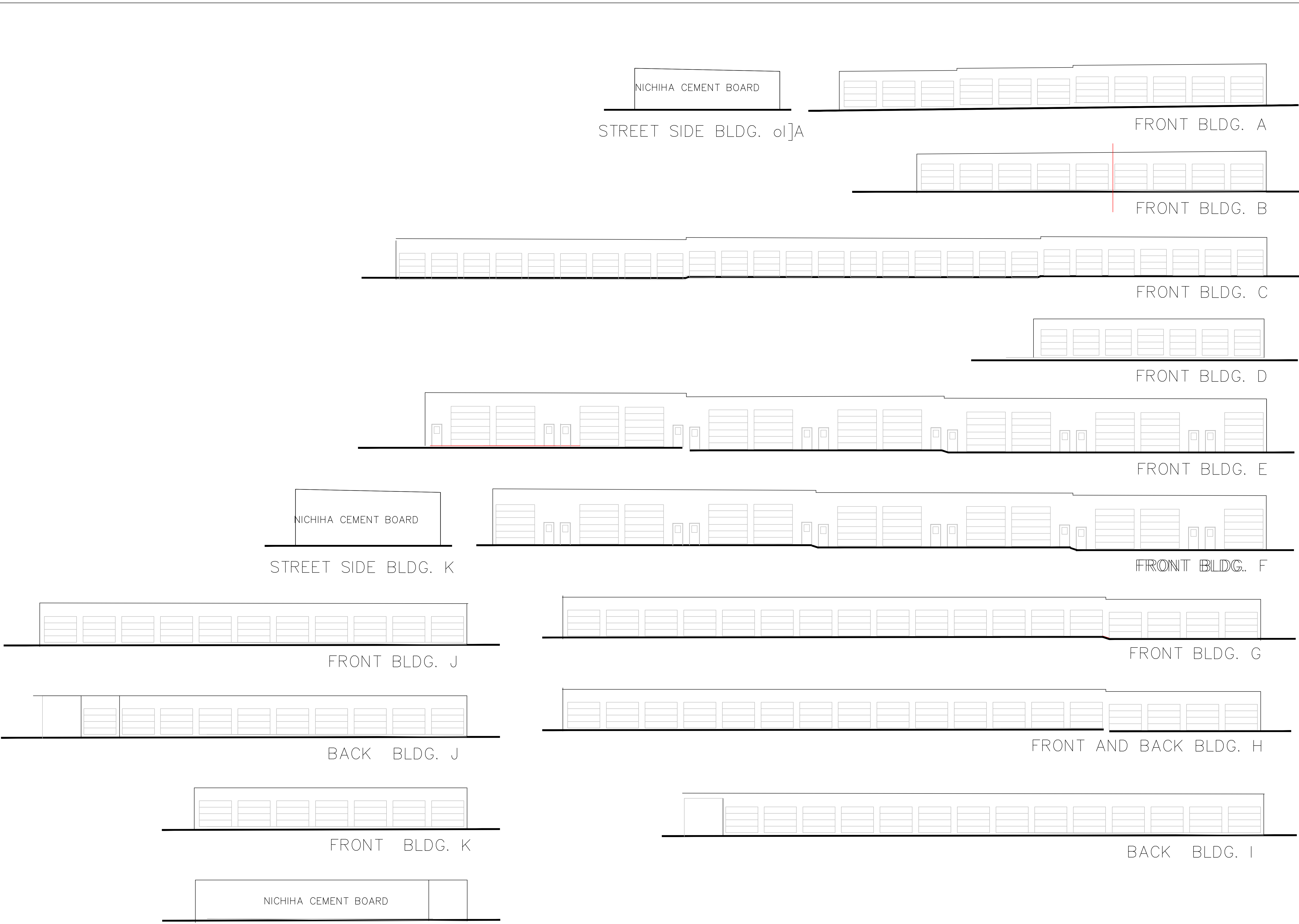
NOTE: NILLES ASSOCIATES, INC. WARRIORS ANY PROJECTS WHICH ARISE FROM FAILURE TO FOLLOW THE ENGINEERING INTENT OF THE CONTRACT, OR TO OBTAIN AND/OR FOLLOW THE ENGINEER'S OR ARCHITECT'S REVISIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE ALLEGED.

2920 GATEWAY DRIVE - FREEDOM STORAGE PHASE 2
CARLEISLE, IOWA

DETAILS

PROJECT NAME: 2920 GATEWAY DRIVE - FREEDOM STORAGE PHASE 2
CARLEISLE, IOWA

DATE: 2/10/2023
DRAWN BY: RJS/BLH
CHECKED BY: JTN
SHEET SIZE: 24" X 36"
SHEET TITLE: DT-3
SHEET NO.: 11/11

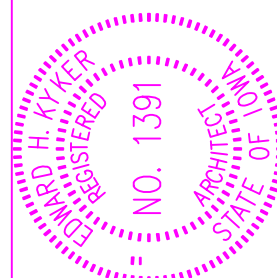


Kyler Johnson Architecture
 4936 Franklin Ave.
 Des Moines, Ia 50310-1901
 Phone: 515-279-8144 For: 515-279-8161
 E-mail: kyler@kja.com

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CERTIFICATION
 I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

EDWARD H. KYKER
 REG. NO. 1391



FREEDOM STORAGE
 IOWA
 CARLISLE

DATE: 01/05/2023
 REVISIONS:
 △
 △
 △
 PROJ. NO.

SHEET NO.
F