

City of Carlisle, Iowa  
Planning and Zoning Commission  
Regular Meeting  
March 15, 2021  
7:00 P.M.  
Carlisle City Hall

Join Zoom Meeting - <https://us02web.zoom.us/j/9951930479>

Meeting ID: 995 193 0479

One tap mobile – Call 1-929-205-6099, enter 995-193-0479# when prompted

We encourage all videoconferencing or calling in to let staff know who you are for the record and then mute your microphone or phone until you would like to speak to provide a better overall experience.

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**Call to order**

**Determine quorum**

**New Business and Action Items**

1. Discussion and Possible Action on Recommendation for Plat of Survey for Parcel “K” in West Half of the Southwest Quarter of Section 22, Township 77 North, Range 23 West of Warren County, Iowa
2. Discussion and Possible Action on Recommendation for Plat of Survey for Parcel “N” of the South Half in Section 16, Township 77 North, Range 23 West of Warren County, Iowa
3. Discussion and Possible Action on Recommendation for Rezoning Application for Parcel “Y” in and Forming a Part of the City of Carlisle from R-1 to Planned Unit Development
4. Discussion and Possible Action on Recommendation for Approval of Construction Drawings for Danamere Farms Plat 10

**Administrator/Engineer/Commission Reports**

**Adjournment**

**\*\* PLEASE NOTE THAT THIS AGENDA MAY CHANGE UP TO 24 HOURS PRIOR TO THE MEETING \*\***

INDEX LEGEND

COUNTY: WARREN  
 LOCATION: PARCEL "K" OF THE W<sup>1</sup>/<sub>2</sub> OF THE SW<sup>1</sup>/<sub>4</sub>, IN SECTION 22,  
 TOWNSHIP 77 NORTH, RANGE 23 WEST

SURVEY FOR PROPRIETOR: JIMMIE R. DOWNS & ROSIE N. DOWNS  
 4807 160th AVENUE, CARLISLE, IOWA 50047

RETURN TO AND PREPARED BY:  
 THOMAS LAND SURVEYING, LLC  
 MATT THOMAS, 6230 90th AVENUE,  
 INDIANOLA, IOWA 50125  
 (515) 494-6663

DATE OF SURVEY: 12-10-2020 THRU 01-22-2021



**TLS**

THOMAS LAND SURVEYING, LLC

6230 90th AVENUE  
 INDIANOLA, IA 50125  
 TELE.: 515.494.6663



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

Signature: *Matthew J. Thomas* Date: 03-01-2021

Name: (Printed or typed) Matthew J. Thomas

License Number: 19968

My license renewal date is December 31, 2021

Pages or sheets covered by this seal: 1 - 2

PROJECT NUMBER	21024	COUNTY	DATE DRAWN	YEAR	SHEET NO.
		WARREN	03-01-2021	2021	1 OF 2

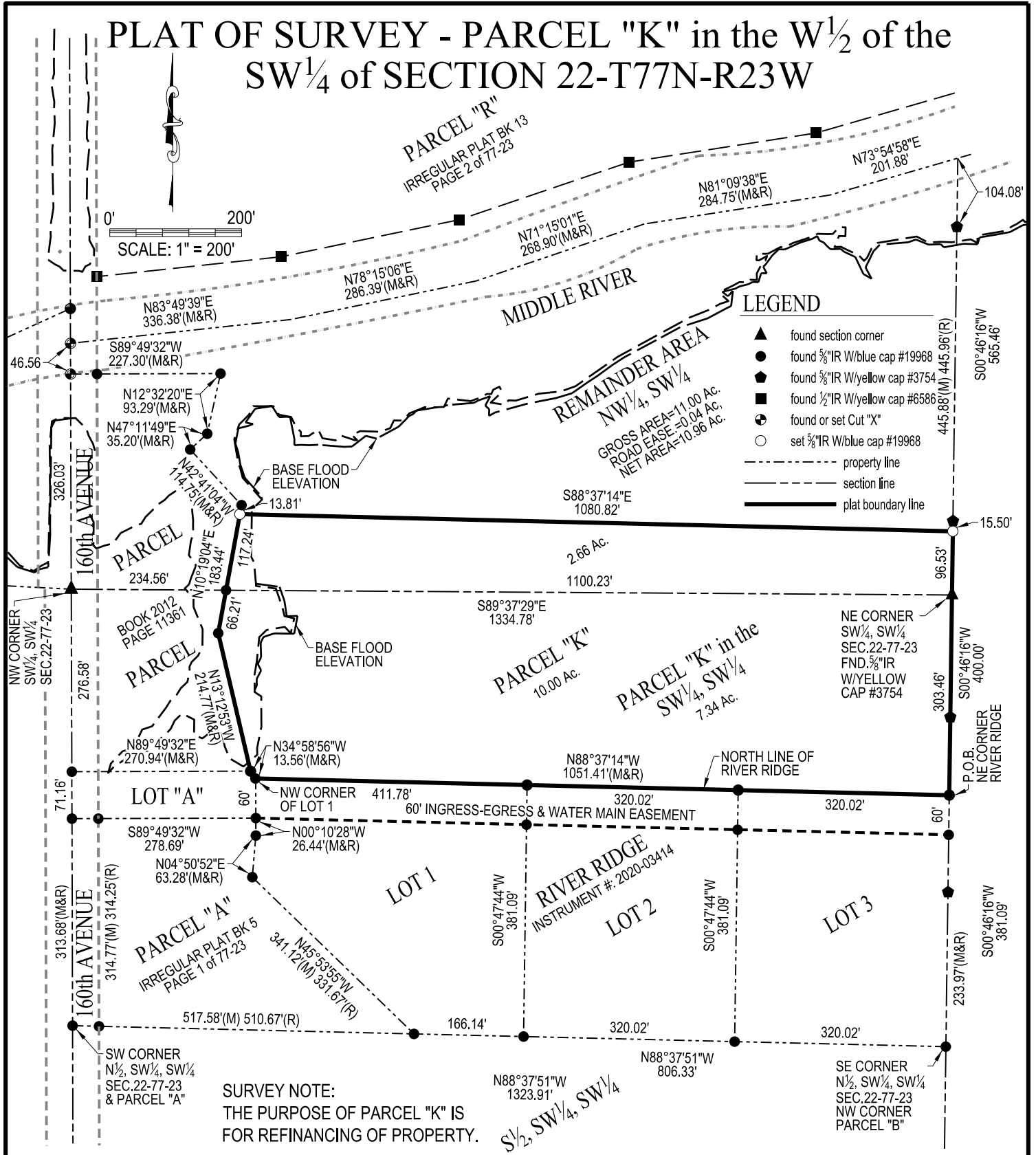
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PROJECT NUMBER	21024	COUNTY	DATE DRAWN	YEAR	SHEET NO.
		WARREN	03-01-2021	2021	1 OF 2

# PLAT OF SURVEY - PARCEL "K" in the W<sup>1</sup>/<sub>2</sub> of the SW<sup>1</sup>/<sub>4</sub> of SECTION 22-T77N-R23W

**LEGAL DESCRIPTION: PARCEL "K"**

A parcel of land now included in and forming a part of the West Half of the Southwest Quarter of Section 22, Township 77 North, Range 23 West of the 5th P.M., Warren County, Iowa, more particularly described as follows:

Beginning at the Northeast Corner of RIVER RIDGE, an Official Plat, now included in and forming a part of the North Half of the Southwest Quarter of Section 22, Township 77 North, Range 23 West of the 5th P.M., Warren County, Iowa; thence North 88°37'14" West along the North Line of said RIVER RIDGE, a distance of 1051.41 feet to the Northwest Corner of LOT 1 and a bend point on the East Line of LOT "A" of said RIVER RIDGE; thence North 34°58'56" West along the East Line of said LOT "A", a distance of 13.56 feet to the Northeast Corner of said LOT "A" and the Southeast Corner of a PARCEL, recorded in Book 2012, Page 11361 of the Office of the Warren County Recorder; thence North 13°12'53" West along the East Line of said PARCEL, a distance of 214.77 feet to a bend point on the East Line of said PARCEL; thence North 10°19'04" East along the East Line of said PARCEL, a distance of 183.44 feet; thence South 88°37'14" East, a distance of 1080.78 feet to a point on the East Line of the West Half of the Southwest Quarter of said Section 22; thence South 00°46'16" West along the East Line of the West Half of the Southwest Quarter of said Section 22, a distance of 400.00 feet to the Point of Beginning, containing 10.00 Acres, subject to all easements, restrictions and covenants of record.

# T L S

THOMAS  
LAND  
SURVEYING, LLC

6230 90th AVENUE  
INDIANOLA, IA 50125  
TELE.: 515.494.6663



**SURVEY NOTE:**  
THE PURPOSE OF PARCEL "K" IS  
FOR REFINANCING OF PROPERTY.

<b>PROJECT NUMBER</b>	<b>21024</b>	<b>COUNTY</b>	<b>DATE DRAWN</b>	<b>YEAR</b>	<b>SHEET NO.</b>
		WARREN	03-01-2021	2021	2 OF 2



# CITY OF CARLISLE, IOWA REZONING APPLICATION

(Please print. Any Non-Legible Application Can Be Rejected.)

- 1. \$50.00 Fee Receipt No. \_\_\_\_\_
- 2. Applicant: Richard Brown
- 3. Contact Name: Brad Kuehl
- 4. Phone number: 210-6206 E-Mail: [richard@parkinglotspecialties.com](mailto:richard@parkinglotspecialties.com)
- 5. Property Address of land to be rezoned

BLUESTEM DRIVE AND  
SCOTCH RIDGE ROAD

- 6. Legal Description of area to be rezoned: See Attachment
- 7. Present Zoning: R-1
- 8. Proposed Zoning: PUD
- 9. Present Use: Residential
- 10. Proposed Use: Residential
- 11. At Least 50 Percent of **Property Owners in Area to be Rezoned** Must Sign Petition  
(Use Extra Sheet if Needed)

Printed Name	Address	Signature
PLS Custom Interior and Exterior LLC	3040 Gateway Drive, Carlisle, IA 50047	_____

At Least 50 Percent of Property Owners within 300 Feet of Area to be Rezoned Must  
Sign Petition (Use Extra Sheet if Needed)

Printed Name	Address	Signature
_____	_____	_____
_____	_____	_____
_____	_____	_____

Printed Name

Address

Signature

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**12. Attach a statement of reasons why the present zoning classification is no longer valid.**

Applicant would like to buy the property and tear down the residential and build a warehouse.  
This agrees with current surrounding land uses.  
Property needs to be rezoned to be more in line with City land use plan.

**13. Attach a drawing or plat showing**

- Location
- Dimensions
- Use(s) of the applicant's property and **all properties within 300'** of the property to be rezoned.
- Please include all streets, alleys, railroads, utility easements and other physical features.

\_\_\_\_\_  
DATE

\_\_\_\_\_  
APPLICANT'S SIGNATURE

\*Can use Assessor's website for property information and map requirements.

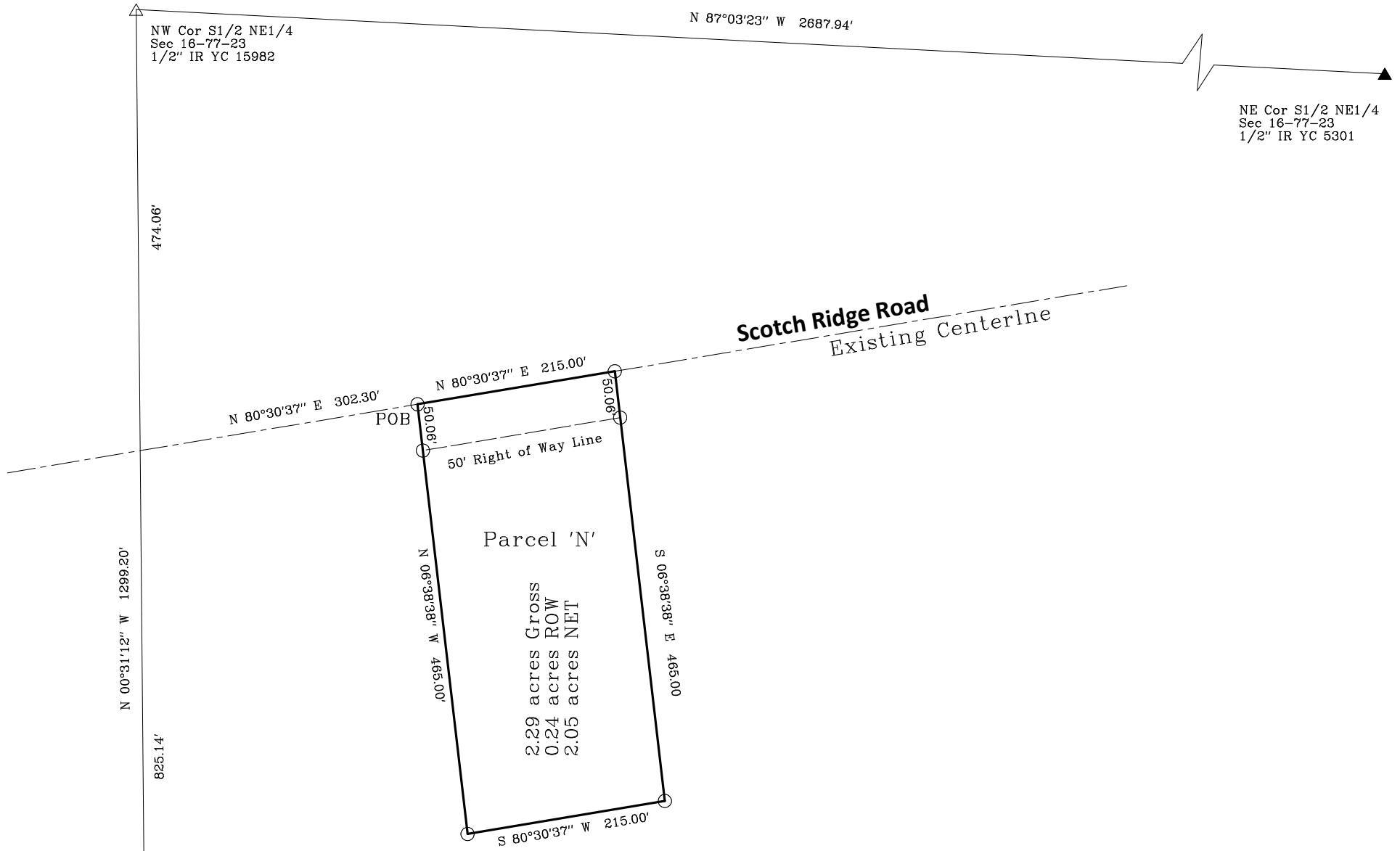
INDEX LEGEND

COUNTY: Warren  
 SITE ADDRESS: 15066 Scotch Ridge Road  
 CITY: Carlisle  
 SECTION: 16 TOWNSHIP: 77 RANGE: 23  
 ALIQUOT PART: S1/2 NW1/4  
 PARCEL DESIGNATION: Parcel 'N'  
 PROPRIETOR: Glenn & Alna Meacham  
 REQUESTED BY: Micheal Cunningham  
 SURVEYOR NAME: Vincent E. Piagentini

**PLAT OF SURVEY  
 PARCEL 'N' OF THE  
 S1/2 NW1/4 OF  
 SEC 16-77-23**

PREPARED BY & RETURN TO: ABACI CONSULTING INC, 3000 SE GRIMES BLVD, STE 800, GRIMES, IA 50111, PH(515)986-5048

\*THIS SPACE RESERVED FOR RECORDER'S OFFICE USE ONLY\*



**Legal Description - Parcel 'N'**  
 All that part of the South Half (S1/2 of the Northwest Quarter (NW1/4) in Section 16, Township 77 North, Range 23, West of the 5th P.M., Warren County, Iowa, lying south of Scotch Ridge Road, being more particularly described as follows:  
 Commencing at the West Quarter Corner of said Section 16, thence North 00°31'12" West, along the West line of the S1/2 of the NW1/4 of said Section 16, a distance of 825.14 feet, to a point on the centerline of said Scotch Ridge Road; thence North 80°30'37" East, along said centerline, a distance of 302.30 feet, to the Point of Beginning; thence continuing North 80°30'37" East, along said centerline, a distance of 215.00 feet; thence South 06°38'38" East, a distance of 465.00 feet; thence South 80°30'07" West, a distance of 215.00 feet; thence North 06°38'38" West, a distance of 465.00 feet to the Point of Beginning, and containing 2.29 acres of land, more or less, including 0.24 acres of road right of way.

W1/4 Corner  
 Sec 16-77-23  
 1/2" IR YC 15982  
 POC

**ABACI CONSULTING, INC.**  
 CIVIL ENGINEERING - LAND SURVEYING  
 3000 SE Grimes Blvd., Ste 800, GRIMES, IOWA 50111, PH. (515)986-5048

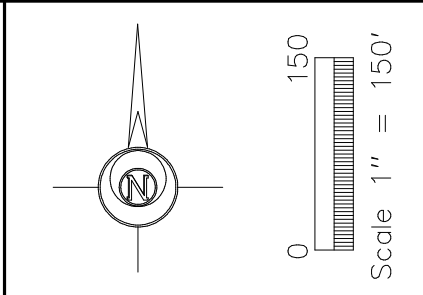
DATE OF SURVEY FIELDWORK: 12/15/20 DRAWING DATE: 2/23/21 DRAFTER: VP PROJECT NO: 20426

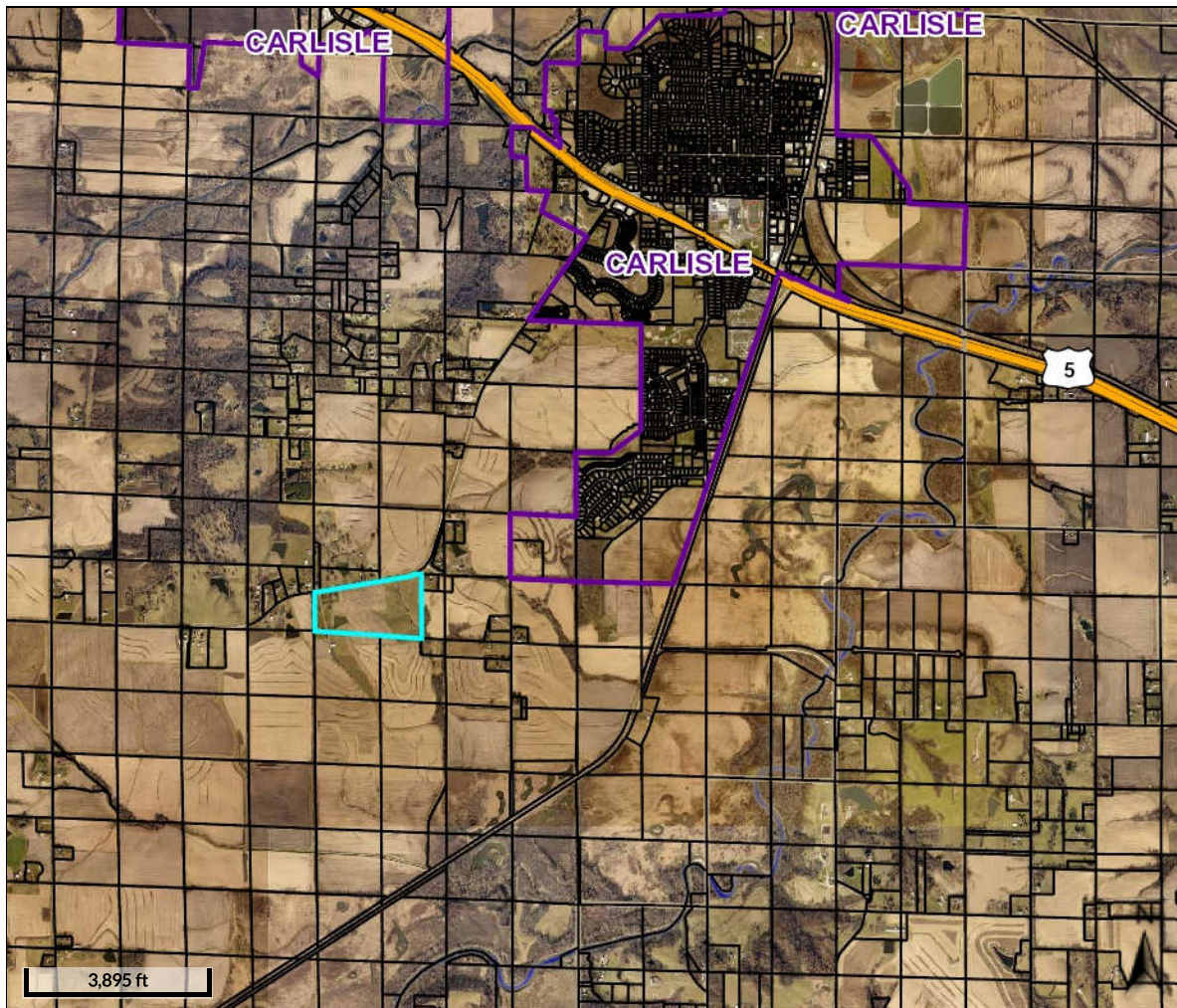
I HEREBY CERTIFY THAT THIS SURVEYING DOCUMENT WAS PREPARED AND THE RELATED WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

VINCENT E. PIAGENTINI, IOWA LIC. NO 15982 DATE \_\_\_\_\_  
 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2022.  
 ADDITIONAL PAGES CERTIFIED (NONE UNLESS INDICATED HERE) \_\_\_\_\_

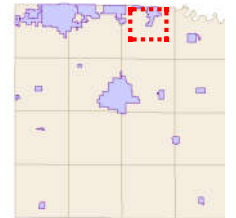


- SYMBOLS LEGEND:**
- R RECORDED DISTANCE
  - M MEASURED DISTANCE
  - C CALCULATED DISTANCE
  - CORNER MONUMENT FOUND
  - SET 1/2" IR YC 15982 UNLESS NOTED
  - ▲ SECTION CORNER FOUND
  - △ SECTION CORNER SET 1/2" IR YC 15982 UNLESS NOTED
  - POB POINT OF BEGINNING
  - POC POINT OF COMMENCEMENT
  - YC YELLOW CAP
  - IR IRON ROD
  - IP IRON PIPE





**Overview**



**Legend**

**Roads**

-  <all other values>
  -  Interstate
  -  Highway
  -  Ramp
  -  County Gravel
  -  County Level B
  -  County Level C
  -  City Gravel
  -  City Street
  -  Private Street
  -  Corporate Limits
  -  Parcels
  -  Political Township
- Major Roads**
-  County Hwy
  -  State Hwy
  -  US Hwy
  -  Interstate
  -  Water

<b>Parcel ID</b>	01000160480	<b>Alternate ID</b>	n/a	<b>Owner Address</b>	MEACHAM, GLENN L/ALNA I
<b>Sec/Twp/Rng</b>	16-77-23	<b>Class</b>	A		19553 CARTER ST
<b>Property Address</b>	15066 SCOTCH RIDGE RD	<b>Acreage</b>	50.04		CARLISLE, IA 50047
	CARLISLE				
<b>District</b>	01151				
<b>Brief Tax Description</b>	16-77-23 53A S 1/2 NW				

(Note: Not to be used on legal documents)

**Disclaimer:**

The maps included in this website do not represent a survey and are compiled from official records, including plats, surveys, recorded deeds, and contracts, and only contain information required for government purposes. No warranties, expressed or implied, are provided for the data herein, its use or its interpretation. Warren County assumes no responsibility for use or interpretation of the data. Any person that relies on any information obtained from this site does so at his or her own risk. All critical information should be independently verified.

The 2,000 Foot Buffers layer is for law enforcement guidance only, and is based on the best information available at the time it was prepared. This layer should not be considered to be a complete and accurate representation of the locations of every school or child care facility, and will be changed as new information is available. The registered offender is responsible for ensuring that proposed residence is in compliance with the law, and may not rely solely on this layer. The registered offender should seek legal advice from a licensed attorney if needed.

Date created: 3/2/2021  
 Last Data Uploaded: 3/1/2021 10:38:22 PM

Developed by 





March 1, 2021

Honorable Mayor, City Council and Plan and Zoning Commission  
195 North 1<sup>st</sup> Street  
Carlisle, Iowa 50047  
ATTN: Deven Markley

**Re: Carlisle Commons Rezoning Request**

On behalf of PLS Custom Interior and Exterior LLC (the "Owner"), we respectfully request consideration to rezone approximately 4.55 acres described as Parcel 'Y' in Sec 3-77-23 in Carlisle from R-1, Single-Family Residence to a PUD, Planned Unit Development to support the development of 30 single-family detached, 50-foot minimum wide lots with a 26-foot private street. The property is located on the SE corner of Scotch Ridge Road and Bluestem Drive.

Per the attached PUD Preliminary Plan, there will be one access from Bluestem Drive on the north via a 26-foot wide private street and interior cul-de-sac drive serving the 30 lots. A minimum of two off-street parking spaces will be provided for each lot, On-street parking and a sidewalk will be provided on one side of the street. Public sanitary sewer and water is readily available and storm water detention is proposed on-site. We believe the proposed small lot development will be a nice addition to the area and complement the existing Danamere Townhome development to the east and single-family homes to the south.

Accompanying the Preliminary Plan, we have included a Rezoning Exhibit, Rezoning Application and Signed Petition to Rezone from the Owner. The Owner is also seeking Signed Consents from property owners identified within the required 300-foot boundary, excluding public right-of-way and publicly-owned properties.

We appreciate your time and consideration for review and approval. Please do not hesitate to contact me if you have any questions or concerns.

Respectfully Submitted,

A handwritten signature in blue ink, appearing to read "Brad Kuehl".

Brad Kuehl, Project Manager  
Bishop Engineering

# CARLISLE COMMONS PUD PRELIMINARY PLAN

**OWNER:**  
PLS CUSTOM INTERIOR AND EXTERIOR LLC  
3040 GATEWAY DRIVE  
CARLISLE, IOWA 50047

**APPLICANT:**  
RICHARD BROWN  
3040 GATEWAY DRIVE  
CARLISLE, IOWA 50047  
PH: (515) 210-6206

**PREPARED BY:**  
BISHOP ENGINEERING  
3501 104TH ST  
URBANDALE, IA 50322  
PH: (515) 276-0467  
FAX: (515) 276-0217

**PROPERTY DESCRIPTION:**  
PARCEL "Y", AN OFFICIAL PLAT INCLUDED IN AND FORMING A PART OF THE CITY OF CARLISLE, WARREN COUNTY, IOWA. CONTAINING 4.55 ACRES

**CURRENT ZONING:**  
R-1

**PROPOSED ZONING:**  
PUD

**PROPOSED BULK REGULATIONS:**

DENSITY: 30 LOTS FOR 4.55 AC = 6.6 DU/AC

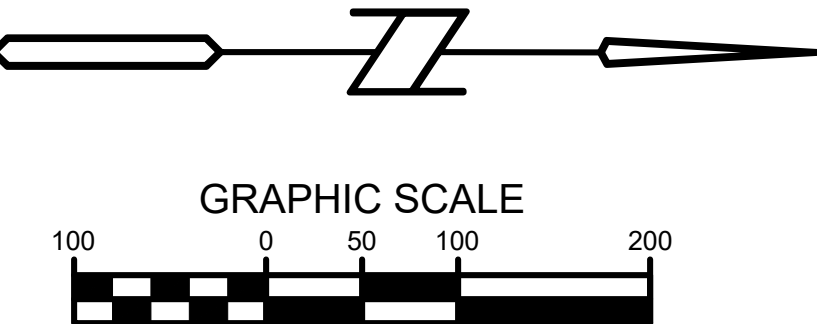
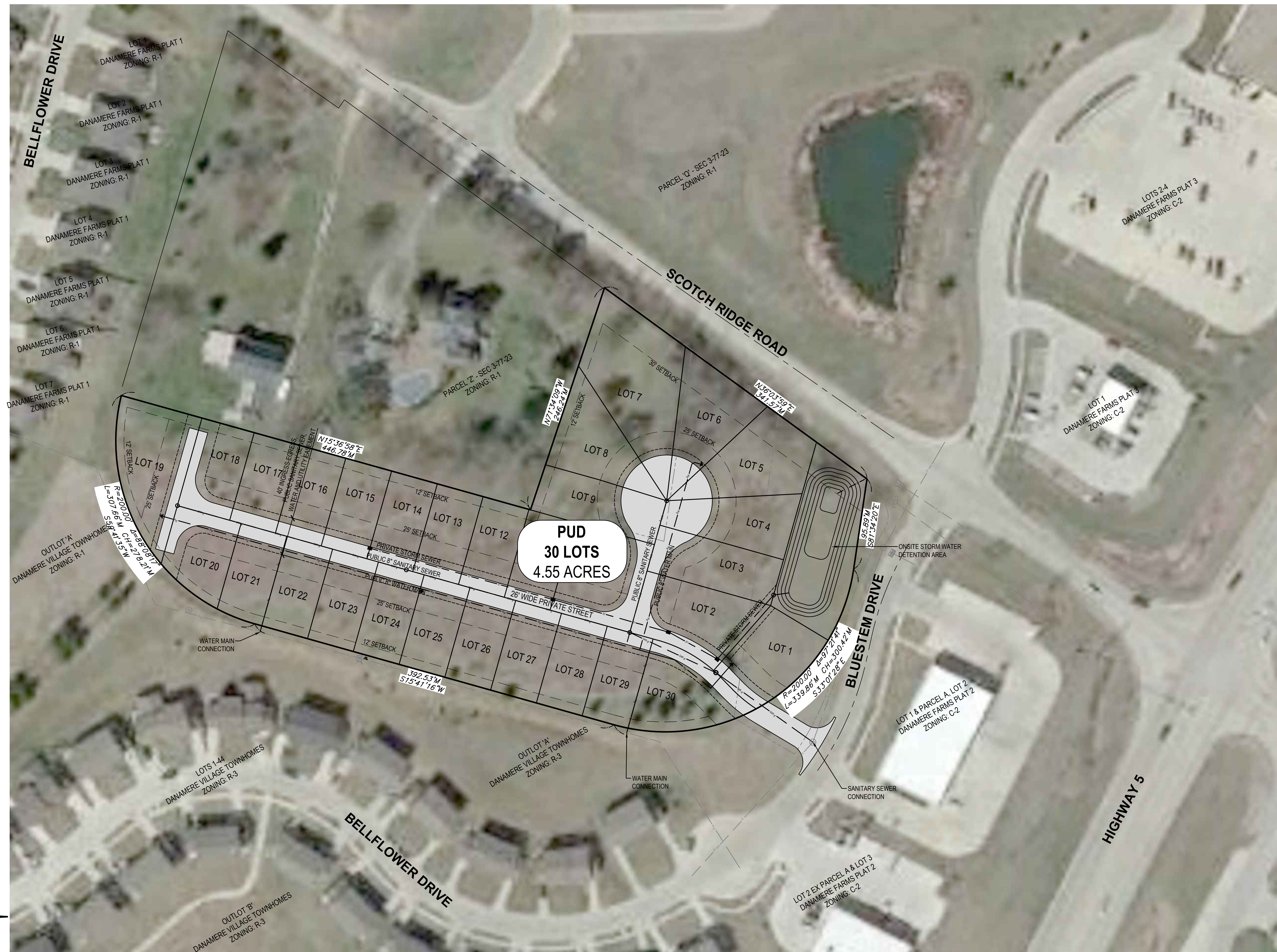
**SETBACKS:**  
30' SCOTCH RIDGE ROAD  
30' BLUESTEM - ORIGINAL RIGHT-OF-WAY  
25' EDGE OF PRIVATE DRIVE - FRONT  
15' EDGE OF PRIVATE DRIVE - SIDE  
12' REAR YARD OR PUD PERIMETER, NOT ROW  
5' SIDE YARD (10' MIN BETWEEN STRUCTURES)

**OPENSOURCE:**

SITE AREA = 4.55 ACRES (198,198 SF)  
REQUIRED OPENSOURCE (20%) = 39,640 SF

**STREET AND PARKING:**

26' PRIVATE STREET WITH PARKING ON ONE SIDE  
2 OFFSTREET SPACES PER LOT  
5' SIDEWALK ON ONE SIDE



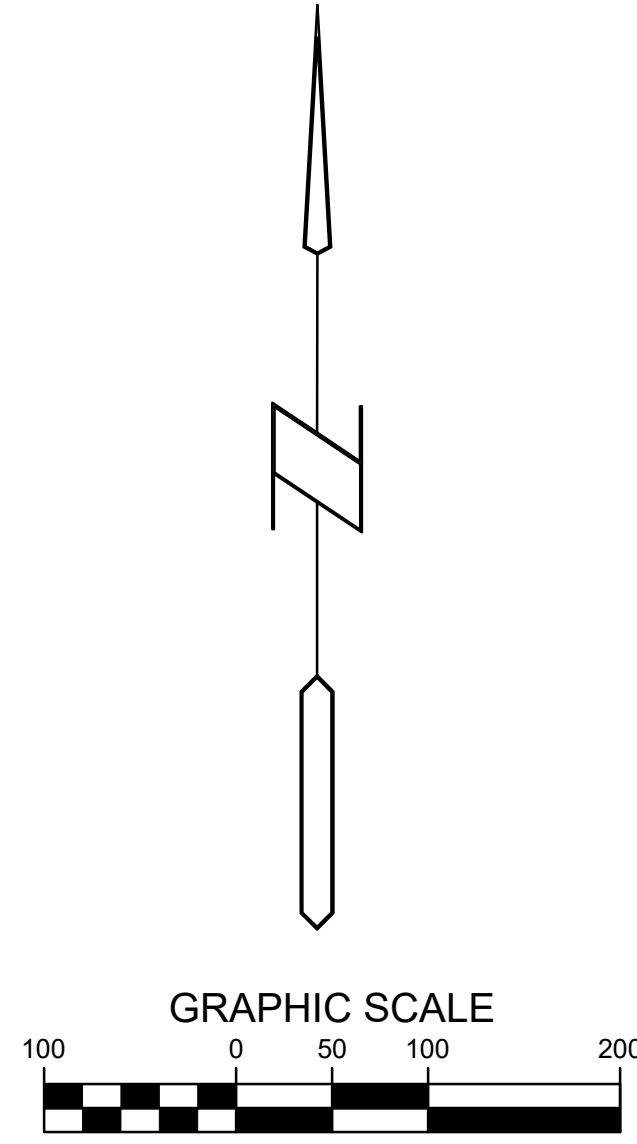
REFERENCE NUMBER:	
DRAWN BY:	BK
CHECKED BY:	DB
REVISION DATE:	03/01/2021 CITY#1
PROJECT NUMBER:	210080
SHEET NUMBER:	1 OF 1

PRELIMINARY- NOT FOR CONSTRUCTION

# CARLISLE COMMONS REZONING EXHIBIT



VICINITY MAP  
SCALE: 1" = 1,000'



**OWNER:**  
PLS CUSTOM INTERIOR AND EXTERIOR LLC  
3040 GATEWAY DRIVE  
CARLISLE, IOWA 50047

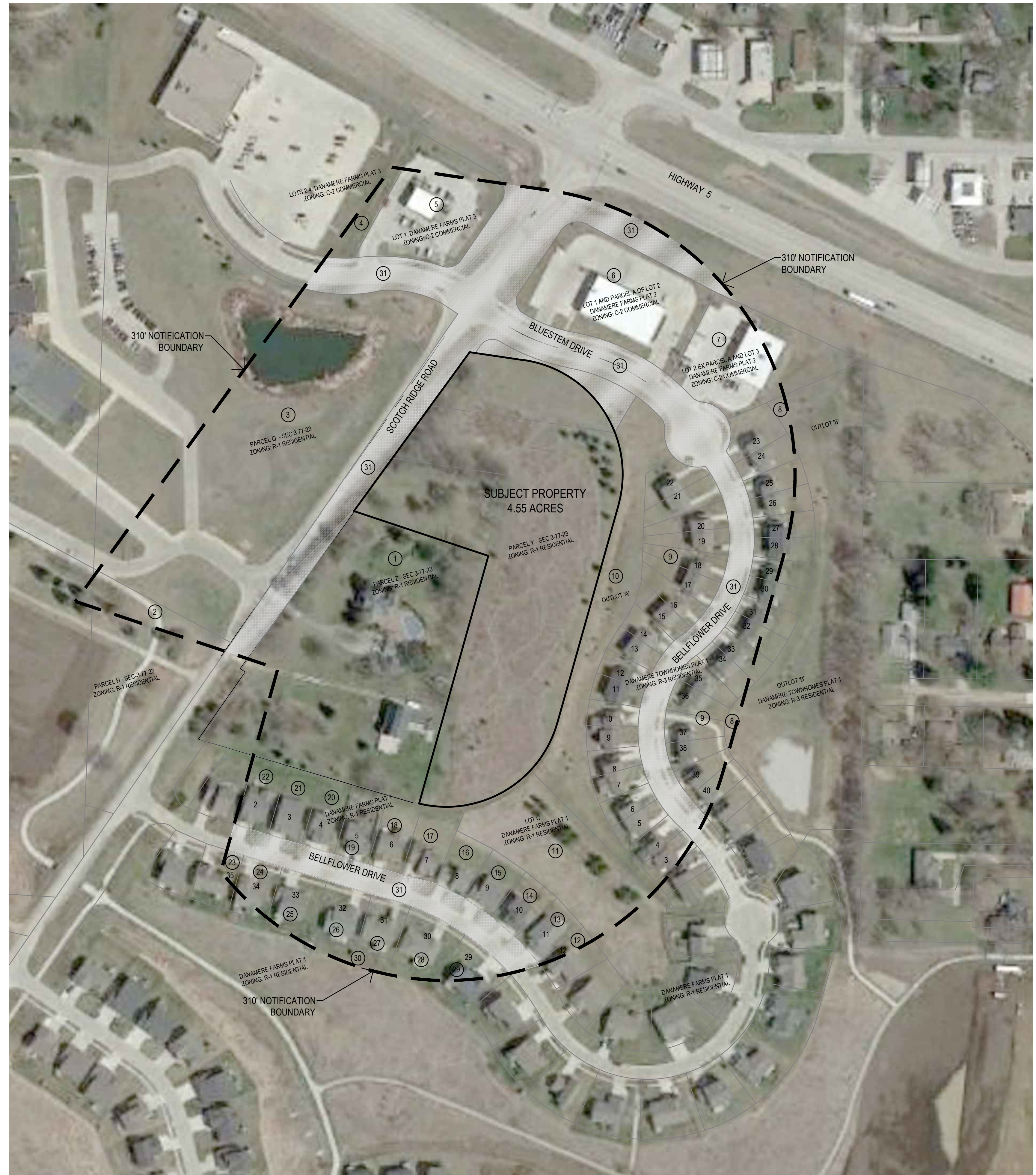
**APPLICANT:**  
RICHARD BROWN  
3040 GATEWAY DRIVE  
CARLISLE, IOWA 50047  
PH: (515) 210-6206

**PREPARED BY:**  
BISHOP ENGINEERING  
3501 104TH ST  
URBANDALE, IA 50322  
PH: (515)276-0467  
FAX: (515)276-0217

**PROPERTY DESCRIPTION:**  
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**CURRENT ZONING:**  
R-1

**PROPOSED ZONING:**  
PUD



No.	Lot Address	Owner	Contact Address	Area within 300' (SF)	Area within 300' (AC)	Percent within 300'	Zoning
1	320 SCOTCH RIDGE ROAD	MARK & YOLANDA CARTER	320 SCOTCH RIDGE, CARLISLE, IA 50047	135,549	3.112	11.60%	RES.
2	PARCEL "H" - SEC 3-77-23	DANAMERE FARMS INC	7809 NAVAJO STREET	10,980	0.252	0.94%	RES.
3	325 SCOTCH RIDGE ROAD	CARLISLE COMM. SCHOOL DISTRICT	430 SCHOOL STREET, CARLISLE, IA 50047	167,606	3.848	14.34%	RES.
4	1115 BLUESTEM DRIVE	FAREWAY STORES	715 8TH STREET, PO BOX 70, BOONE, IA 50036	5,526	0.127	0.47%	COM.
5	1105 BLUESTEM DRIVE	AVDEN LLC	714 LIBERTY STREET, PELLA, IA 50219	28,405	0.652	2.43%	COM.
6	1015 BLUESTEM DRIVE	PECO DOLLAR STORE CARLISLE	5905 E GALBRAITH ROAD, CINCINNATI, OH 45236	50,354	1.156	4.31%	COM.
7	1005 BLUESTEM DRIVE	O'REILLY AUTOMOTIVE STORES	PO BOX 1156, SPRINGFIELD, MO 65801	24,753	0.568	2.12%	COM.
8	OUTLOT "B" DANAMERE VILLAGE TH	DANAMERE VILLAGE TOWNHOMES LLC	6900 WESTOWN PARKWAY, WEST DES MOINES, IA 50266	2,759	0.063	0.24%	RES.
9	430 TO 825 BELLFLOWER DRIVE	DANAMERE VILLAGE TOWNHOMES LLC	6900 WESTOWN PARKWAY, WEST DES MOINES, IA 50266	106,845	2.453	9.14%	RES.
10	OUTLOT "A" DANAMERE VILLAGE TH	DANAMERE VILLAGE TOWNHOMES LLC	6900 WESTOWN PARKWAY, WEST DES MOINES, IA 50266	48,875	1.122	4.18%	RES.
11	LOT C DANAMERE FARMS PLAT 1	HUBBELL METROPOLITAN DEV FUND I LLC	6900 WESTOWN PARKWAY, WEST DES MOINES, IA 50266	41,622	0.956	3.56%	RES.
12	1055 BELLFLOWER DRIVE	JAMES & KASEY HOFFMAN	1055 BELLFLOWER DRIVE, CARLISLE, IA 50047	1,832	0.042	0.16%	RES.
13	1065 BELLFLOWER DRIVE	BRIAN & LORI CARIYLE	1065 BELLFLOWER DRIVE, CARLISLE, IA 50047	6,363	0.146	0.54%	RES.
14	1105 BELLFLOWER DRIVE	TYLER & ALLISON KANALY	1105 BELLFLOWER DRIVE, CARLISLE, IA 50047	6,363	0.146	0.54%	RES.
15	1115 BELLFLOWER DRIVE	DREW & JAMIE HUPKE	1115 BELLFLOWER DRIVE, CARLISLE, IA 50047	6,363	0.146	0.54%	RES.
16	1125 BELLFLOWER DRIVE	JOEL & DIANE BYFORD	1125 BELLFLOWER DRIVE, CARLISLE, IA 50047	6,363	0.146	0.54%	RES.
17	1135 BELLFLOWER DRIVE	TONY & LESLIE BECKER	1135 BELLFLOWER DRIVE, CARLISLE, IA 50047	8,660	0.199	0.74%	RES.
18	1145 BELLFLOWER DRIVE	LINH PHANTHAVONG	1145 BELLFLOWER DRIVE, CARLISLE, IA 50047	7,499	0.172	0.64%	RES.
19	1155 BELLFLOWER DRIVE	CODY & SHELLY HUIZENGA	1155 BELLFLOWER DRIVE, CARLISLE, IA 50047	7,493	0.172	0.64%	RES.
20	1205 BELLFLOWER DRIVE	ANDREW & ABBIE GREEN	1205 BELLFLOWER DRIVE, CARLISLE, IA 50047	7,487	0.172	0.64%	RES.
21	1215 BELLFLOWER DRIVE	TED & CONNIE LANG	1215 BELLFLOWER DRIVE, CARLISLE, IA 50047	7,481	0.172	0.64%	RES.
22	1225 BELLFLOWER DRIVE	JUAN & CHRISTINE RAMIREZ	1225 BELLFLOWER DRIVE, CARLISLE, IA 50047	7,476	0.172	0.64%	RES.
23	1220 BELLFLOWER DRIVE	JOSHUA & BRANDY BAXTER	1220 BELLFLOWER DRIVE, CARLISLE, IA 50047	1,503	0.035	0.13%	RES.
24	1210 BELLFLOWER DRIVE	DAVID & JESSICA LEHMAN	1210 BELLFLOWER DRIVE, CARLISLE, IA 50047	5,332	0.122	0.46%	RES.
25	1200 BELLFLOWER DRIVE	LUKE & JENNA PANKOW	1200 BELLFLOWER DRIVE, CARLISLE, IA 50047	8,042	0.185	0.69%	RES.
26	1140 BELLFLOWER DRIVE	CARLISLE UNITED METHODIST CHURCH	405 SCHOOL STREET, CARLISLE, IA 50047	8,140	0.187	0.70%	RES.
27	1130 BELLFLOWER DRIVE	KEVIN & AMY BISHOP	1130 BELLFLOWER DRIVE, CARLISLE, IA 50047	6,693	0.154	0.57%	RES.
28	1120 BELLFLOWER DRIVE	MATTHEW LEE	1120 BELLFLOWER DRIVE, CARLISLE, IA 50047	9,393	0.216	0.80%	RES.
29	1101 BELLFLOWER DRIVE	ANTHONY TOUZANI	1110 BELLFLOWER DRIVE, CARLISLE, IA 50047	5,505	0.126	0.47%	RES.
30	LOT A DANAMERE FARMS PLAT 1	HUBBELL METROPOLITAN DEV FUND I LLC	6900 WESTOWN PARKWAY, WEST DES MOINES, IA 50266	5,340	0.123	0.46%	RES.
31	N/A	N/A	PUBLIC RIGHT OF WAY	422,358	9.696	EXCL.	N/A

**Bishop Engineering**  
"Planning Your Successful Development"  
3501 104th Street  
Des Moines, Iowa 50322-3825  
Phone: (515)276-0467 Fax: (515)276-0217  
Civil Engineering & Land Surveying Established 1959

## CARLISLE COMMONS CARLISLE, IOWA REZONING EXHIBIT

REFERENCE NUMBER:
DRAWN BY: BK
CHECKED BY: DB
REVISION DATE: 03/01/2021 CITY#1
PROJECT NUMBER: 210080
SHEET NUMBER: 1 OF 1

3/1/2021 3:34:19 PM L:\LAND PROJECTS 2021\210080 - DAVIDSON PROPERTY-CARLISLE\DWG\REZONING EXHIBIT.DWG

March 10, 2021

**Caleb Smith**  
McClure Engineering Co.  
1360 NW 121st Street  
Clive, IA 50325

RE: **Danamere Farms Plat 10 – Construction Plan Review**  
**Carlisle, Iowa**  
*FOX Ref No: 8666-03C.259*

FOX Engineering has completed the second review for of the Danamere Farms Plat 10 (formerly Danamere Plat 9) Construction Plans, dated March 10, 2021 and offer the following comments:

**Construction Plan - General**

1. Please provide IDNR Water/Sewer construction permits for review.
2. Please provide a detail sheet that indicates how services will be provided to each lot. Also, it appears that the lots will utilize sump pits (same as previous plats). Please provide sump service details as was done for previous plats.

**Sheet 1 – Cover Sheet**

3. Please rename the planset to be “Danamere Farms Plat 10”.

**Sheet 3 – Existing Conditions ad Survey Control**

4. Please label the existing sanitary sewer easement through the proposed plat.

**Sheet 4 – General Layout and Dimension Plan**

5. Please pan the view port north to see where the new trail connects to the exiting trail along Scotch Ridge Road.
6. Please match the provided cul-de-sac labels to the new cul-de-sac linework.
7. Please show the water/sanitary sewer service locations for the plat, including where they will be installed along the cul-de-sac. This linework doesn't necessarily need to be shown on this sheet, but should be shown somewhere on the drawings, and especially on the plan/profile sheets.
8. Please provide an overland flowage easement for the overflow between lots 21 & 22.
9. Please review the location of the mailbox cluster with the Postmaster.

**Sheet 6 – Grading Plan**

10. It appears that the grades at the rear of Lots 18, 19, 20 & 21 are quite flat. Typically, any swale grades less than 1.5% should have subdrains to properly drain grass areas. Please revise the grading plan as necessary to increase grass swale longitudinal slopes above 1.5% or provide subdrains to help dry out the flat swales. Please review the rear of Lot 16 as well.
11. Please review the back yard grading of lots 9-11 and whether MPEs are necessary. Please review the grading of the adjacent plat (Plat 4) to verify whether there is risk of flooding to the adjacent property based on spillway elevation.
12. Please note at what elevation the spillway is for the intake in the rear of Lot 11, in the rear of Lots 16/17, in the rear of Lots 21/22, and the rear of Lot 29. Once again, MPEs should be 1-ft higher than the spillway elevation and/or highest water elevation (100-yr).
13. Please show the adjacent plat existing contours on this sheet.

---

### **Sheet 7, 8 & 9 – Storm Sewer Plan and Profile**

14. Please dimension the rip rap placement (length and width)

### **Sheet 10 – Water Main Plan and Profile**

15. Please clarify that the vertical deflections around the storm sewer shown on this sheet will have restrained joints. Restrained joints should be placed from STA 105+83 to STA 106+63 (20-ft each way of the bends) or as otherwise determined by Engineer.
16. Please include the following language when placing a storm sewer over water main or less than 18-inches under an existing water main (per SUDAS):
  - a. Where the storm sewer crosses over or less than 18 inches below a water main, locate one full length of sewer pipe of water main material or reinforced concrete pipe (RCP) with flexible gasket joints meeting ASTM C 443 so both joints are as far as possible from the water main

### **Sheet 11 – Paving Plan & Profile**

17. It appears that the storm & street sign on Juniper Drive is too far north. Please review and revise as necessary.
18. Please specify the speed limit sign is for 25 mph.
19. Please show the existing roadways in plan view.

### **Sheet 12 – Paving Plan and Profile**

20. Please show the existing roadway paving in plan view to verify that the roadway is tying in at the same alignment as the existing roadway.
21. There appears to be a jog in the trail vertical profile for trail near STA 21+29. Please review and revise as necessary.

### **Sheet 15 – Paving Trail Details**

22. What is the purpose for the 8' PCC trail detail on this sheet? It appears to match the detail shown on the previous sheet.
23. Please show the existing trail paving in plan view to verify that the trails are matching the existing alignments.
24. Please review the cross slope shown for the end of trail paving. Is this a surveyed match point? The cross slope is shown at 2.9%.
25. Is there existing survey information for the trail stubs? Are the longitudinal grades shown assumed? There is less concern about the trail along Scotch Ridge Road as any grade changes can be made up over a long distance. The shorter trail stub grades may change significantly if the existing trail is not where it was assumed to be.

### **Sheet 19 – Lighting Plan**

26. Please provide dimensions between light poles.

### **Sheet 21 – Details**

27. Please review the curb details. The typical section indicates a 3" relaxed curb, the other detail on this sheet indicates a 4" sloped curb. Plat 4 plans showed a 3" sloped curb.

### **Landscape Plan**

28. Please provide detail for type/spacing/number for the evergreen windbreak. Also, please provide information regarding what the entrance feature will look like. Will there be a monument sign at this access to Danamere?

---

**Storm Water Pollution Prevention Plan**

29. FOX has yet to review the provided SWPPP narrative. Further comments, if necessary, will be forthcoming under separate cover.

**Storm Water Management Report**

30. FOX has yet to review the 2<sup>nd</sup> submittal of the SWMP. Further comments will be forthcoming, under separate cover.

**Please provide a letter addressing all comments on this comment letter and/or state what was modified on the construction drawings to address said comments.**

**CONSTRUCTION PLAN REVIEW SCHEDULE:**

**PLANNING & ZONING:** March 15, 2021 at 7:00 at the Carlisle City Hall\*

**COUNCIL MEETING:** March 22, 2021 at 6:30 at the Carlisle City Hall\*  
\*Public meetings also held via Zoom

If you have any questions or concerns, please contact Mitch Holtz at (515) 231-6005. The City reserves the right to add or modify these comments.

FOX ENGINEERING ASSOCIATES, INC.



Mitch Holtz, P.E.

CC: Deven Markley, City Administrator

# DANAMERE PLAT 10 CONSTRUCTION DRAWINGS

CARLISLE, IOWA



1360 NW 121ST. Street  
Clive, Iowa 50325  
515-964-1229  
fax 515-964-2370

**NOTICE:**  
McClure Engineering Company waives any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for problems which arise from failure to obtain and/or follow the engineers guidance with respect to any errors, omissions, inconsistencies, ambiguities, or conflicts which are alleged.

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## OWNER

HUBBELL METROPOLITAN DEVELOPMENT FUND, LLC  
6900 WESTOWN PARKWAY  
WEST DES MOINES, IA 50266  
(515) 243-3228

## ENGINEER

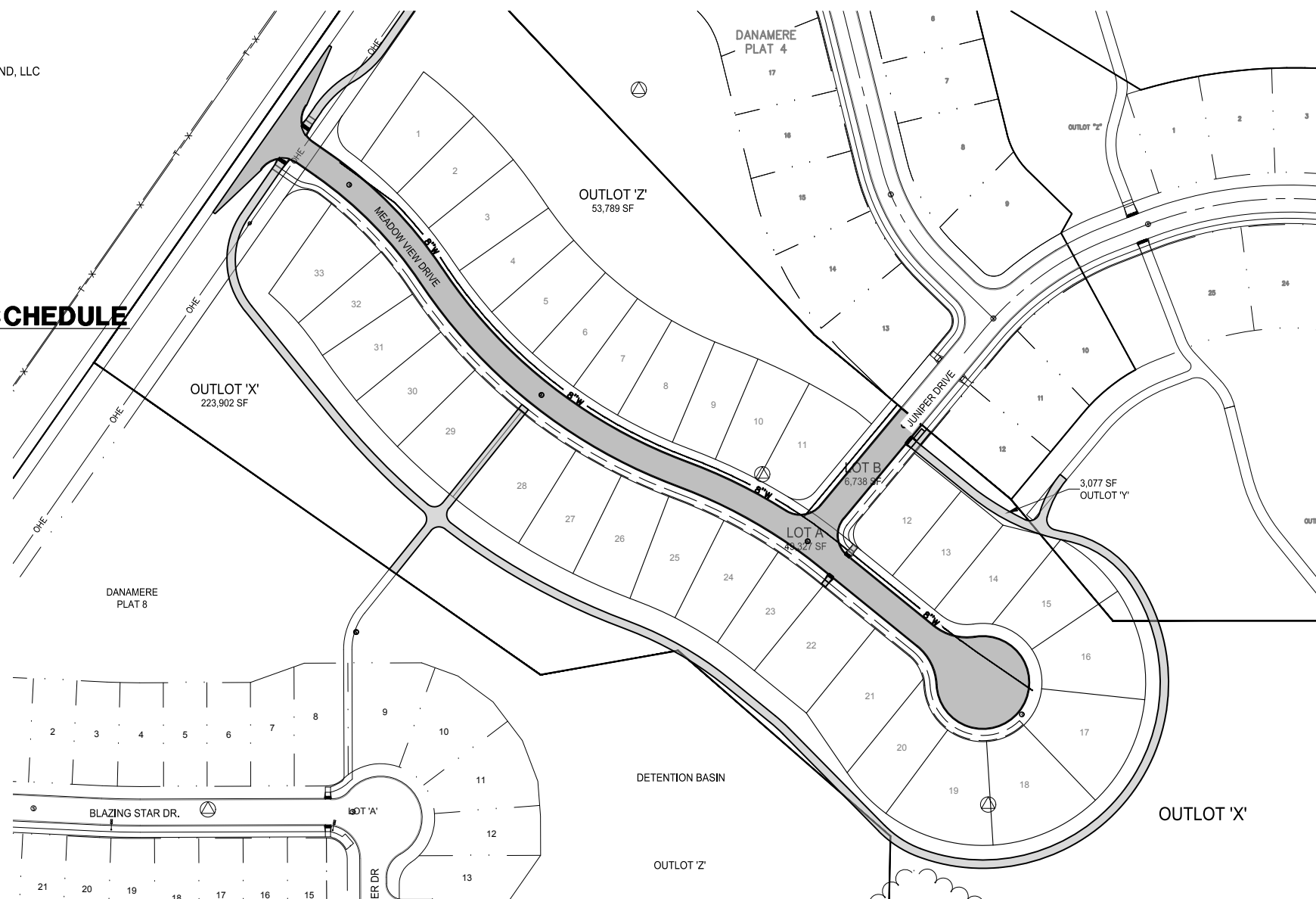
McCLURE ENGINEERING  
1360 NW 121ST STREET  
CLIVE, IOWA 50325  
(515) 964-1229  
ATTN: CALEB SMITH  
csmith@meccresults.com

## CONSTRUCTION SCHEDULE

GRADING: SUMMER 2021  
UTILITIES: SUMMER 2021  
PAVING: FALL 2021

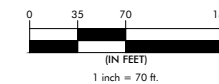
## SETBACKS

FRONT YARD: 20 FEET  
REAR YARD: 10 FEET  
SIDE YARD: 5 FEET



Sheet List Table		
Sheet Number	Sheet Title	Sheet Description
01	GN-01	COVER SHEET
02	GN-02	LEGEND AND GENERAL NOTES
03	GN-03	EXISTING CONDITIONS
04	GN-04	GENERAL LAYOUT AND DIMENSION PLAN
05	GR-01	GRADING PLAN AND EROSION CONTROL
06	SAN-01	SANITARY SEWER PLAN & PROFILE
07	ST-01	STORM SEWER PLAN & PROFILE
08	ST-02	STORM SEWER PLAN & PROFILE
09	ST-03	STORM SEWER PLAN & PROFILE
10	WAT-01	WATER MAIN PLAN & PROFILE
11	PAV-01	PAVING PLAN & PROFILE
12	PAV-02	PAVING PLAN & PROFILE
13	PAV-03	PAVING PLAN & PROFILE
14	PAV-04	PAVING PLAN & PROFILE
15	PAV-05	PAVING TRAIL DETAILS
16	JT-01	JOINTING PLAN AND ADA RAMP DESIGN
17	JT-02	JOINTING PLAN AND ADA RAMP DESIGN
18	JT-03	CUL-DE-SAC JOINTING
19	LI-01	LIGHTING PLAN
20	LA-01	LANDSCAPING PLAN
21	DT-01	DETAILS

COVER SHEET



DANAMERE FARMS PLAT 10  
CONSTRUCTION DRAWINGS

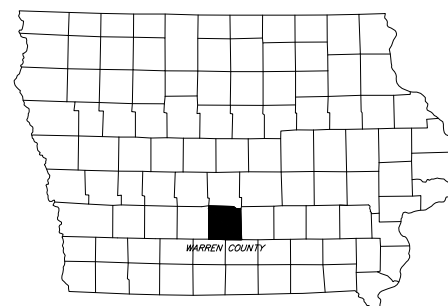
CARLISLE, IOWA  
2215013  
FEBRUARY 12, 2021

REVISIONS  
MARCH 10, 2021

ENGINEER: C. SMITH  
DRAWN BY: R. CORONA  
CHECKED BY: FIELD BOOK NO.

DRAWING NO. SHEET NO.  
GN-01 01 / 21

ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH IOWA STATEWIDE URBAN DESIGN STANDARD AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AS ACCEPTED BY THE CITY OF CARLISLE AND THE CARLISLE SUPPLEMENTAL SPECIFICATIONS EXCEPT WHERE ALTERED OR AMENDED BY THE CITY OF CARLISLE.



**PRELIMINARY**

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

CALEB A. SMITH, PE NO. 17983 DATE: \_\_\_\_\_  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2021  
PAGES OR SHEETS COVERED BY THIS SEAL: \_\_\_\_\_

GENERAL LEGEND

EXISTING PROPOSED

		SANITARY SEWER MAIN		SANITARY SEWER MANHOLE	T/S	TOP OF SLAB	TOP	TOP OF SLOPE
		SANITARY SEWER SERVICE		SANITARY SEWER CLEANOUT	BC	BACK OF CURB	BOT	BOTTOM OF SLOPE
		SANITARY SEWER FORCE MAIN		AIR RELEASE MANHOLE/RAIN MANHOLE	TC	TOP OF CURB	EP	EDGE OF PAVING
		STORM SEWER MAIN OR CULVERT		STORM SEWER MANHOLE	FG	FORM GRADE	BOP	BEGINNING OF PROJECT
		SECONDARY STORM SEWER MAIN		STORM SEWER CLEANOUT	FL	FLOWLINE	EOP	END OF PROJECT
		SECONDARY STORM SEWER SERVICE		STORM SEWER INTAKE	CL	CENTERLINE	UAC	USE AS CONSTRUCTED
		SUBDRAIN/TILE		STORM SEWER BEEHIVE INTAKE	C	CUT		
		WATER MAIN		FLARED END SECTION	F	FILL		
		WATER SERVICE		FIRE HYDRANT				
		UNDERGROUND ELECTRIC		WATER VALVE				
		OVERHEAD ELECTRIC		WATER VALVE MANHOLE				
		UNDERGROUND TELEPHONE		CURB STOP				
		UNDERGROUND FIBER OPTIC		WATER METER MANHOLE				
		UNDERGROUND CABLE TV		YARD HYDRANT				
		GAS MAIN OR SERVICE		ELECTRIC MANHOLE / VAULT				
		CONTOUR LINES INTERMEDIATE		ELECTRIC PEDESTAL / TRANSFORMER				
		CONTOUR LINES INDEX		OUTDOOR ELECTRIC POWER OUTLET				
		PROPERTY LINE / LOT LINE		POWER POLE				
		RIGHT OF WAY LINE		POWER POLE w/ STREET LIGHT				
		SECTION LINE		STREET LIGHT POLE				
		EASEMENT		GUY WIRE				
		GUARD RAIL		FLOODLIGHT				
		FIELD FENCE		FIBER OPTIC MARKER				
		CHAIN LINK FENCE		TRAFFIC SIGNAL				
		WOODEN FENCE		TRAFFIC SIGNAL BOX				
		ROAD CENTERLINE		TRAFFIC SIGNAL MANHOLE / VAULT				
		GRADING LIMITS		RAILROAD CROSSING SIGNAL				
		CONSTRUCTION LIMITS		TELEPHONE MANHOLE / VAULT				
		AG LINE		TELEPHONE PEDESTAL				
		WATERWAY FLOWLINE		CABLE TV MANHOLE / VAULT				
		TOP OF SLOPE		CABLE TV PEDESTAL				
		BOTTOM OF SLOPE		GAS VALVE				
		SILT FENCE		IRRIGATION HANDHOLE				
		FLOW DIRECTION		BOLLARD (BUMPER POST)				

UTILITY QUALITY SERVICE LEVELS:

UTILITY QUALITY LEVELS ARE BASED ON THE CIVASCE 38-02 STANDARD.

UTILITY QUALITY LEVEL A:  
PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY THE ACTUAL EXPOSURE (OR VERIFICATION OF PREVIOUSLY EXPOSED AND SURVEYED UTILITIES) AND SUBSEQUENT MEASUREMENT OF SUBSURFACE UTILITIES.

UTILITY QUALITY LEVEL B:  
INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES.

UTILITY QUALITY LEVEL C:  
INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION.

UTILITY QUALITY LEVEL D:  
INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.

EXAMPLES:

	SANITARY SEWER MAIN - QUALITY SERVICE LEVEL A
	SANITARY SEWER MAIN - QUALITY SERVICE LEVEL B
	SANITARY SEWER MAIN - QUALITY SERVICE LEVEL C
	SANITARY SEWER MAIN - QUALITY SERVICE LEVEL D

UTILITY COMPANIES

SERVICE	SUPPLIER	PHONE
GAS	MID-AMERICAN ENERGY CO. 500 EAST COURT AVENUE DES MOINES, IA 50309	515-242-3030
TELEPHONE/INTERNET	CENTURY LINK 2103 EAST UNIVERSITY DES MOINES, IA 50312	515-263-7212
CABLE TV	MEDIACOM CABLE 2205 INGERSOL AVENUE DES MOINES, IA 50312	515-246-1555
ELECTRIC	MID-AMERICAN ENERGY CO. 500 EAST COURT AVENUE DES MOINES, IA 50309	515-242-3030
WATER	CITY OF CARLISLE 195 N. 1ST STREET CARLISLE, IA 50047-0430	515-989-3224
SEWER	CITY OF CARLISLE 195 N. 1ST STREET CARLISLE, IA 50047-0430	515-989-3224
ALL	IOWA ONE-CALL	800-292-8989

EXISTING UTILITIES NOTE

THESE EXISTING UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND THEREFORE MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGING THEM. NO CLAIMS WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. PAYMENT WILL BE ALLOWED FOR UNCHARTED UTILITIES PER THE SPECIFICATIONS.

CITY OF CARLISLE STANDARD NOTES

- 1. General Notes:
  - a. All work shall be done in accordance with the current version of the Urban Standards Specifications for Public Improvements on the date of approval and the City of Carlisle Supplemental Specifications.
  - b. A preconstruction meeting is required prior to the start of construction. The Contractor shall be responsible to coordinate this meeting with the City of Carlisle & FOX Engineering.
  - c. The City of Carlisle must be notified by all Contractors 48 hours prior to commencing work. Call City of Carlisle & FOX Engineering.
  - d. All permits (IDNR, IDOT, Army Corp., etc.) shall be obtained prior to the start of construction.
  - e. All Utility Contractors and/or Owners shall be responsible to provide the City of Carlisle with "As-Built" Drawings of all improvements.
  - f. All signage shall be supplied and installed by the Contractor.
  - g. All site lighting shall not spill onto adjacent properties or right-of-ways.
- 2. Sanitary Sewer Notes:
  - a. The Contractor is required to place a temporary plug in the existing downstream sanitary sewer manhole prior to the start of construction. The plug shall be removed following approval of construction by the City of Carlisle.
  - b. Sanitary gravity pipe material shall be PVC SDR 26 or Truss (8" to 15").
  - c. Sanitary gravity service pipe material shall be PVC SDR 23.5 (4" to 6").
  - d. All sanitary sewer manholes castings shall be sealed with interior chimney seals. In addition, the minimum spacer ring size is 4-inches and the maximum number of spacer rings shall not exceed 12-inches.
  - e. All sanitary sewer manhole castings located within pavement shall be boxed out. All sanitary sewer manholes shall have steps.
  - f. Mandrel and pressure tests are required for all sanitary sewer lines prior to paving. In addition, all sanitary sewer lines shall be televised. The sewer system shall be flushed with water prior to televising.
- 3. Water Main Notes:
  - a. All fire hydrants shall be Mueller Super Centurion 250 (3-way A-423), 6" MJ Shoe, 2-1/2" Hose Nozzle, 4-1/2" Steamer Nozzle, NST Threads, Pentagon Operating Nut, Chain on cap, open left, and factory painted red. The minimum hydrant lead shall be 2-feet.
  - b. All hydrants will immediately be covered with a black plastic bag (or equivalent) once the hydrant is installed. The City of Carlisle will notify the Contractor when the bags can be removed.
  - c. A tracer wire receptacle shall be installed at each hydrant (flush mount Valveco or approved equal).
  - d. Tracer wire shall be added to all water main.
  - e. All valves shall be resilient wedge gate valves.
  - f. Water service shall be 1-inch minimum type K copper.
  - g. The Contractor is responsible for pressure testing, chlorination, and bacteria test.
- 4. Storm Sewer Notes:
  - a. All storm sewer in the ROW shall be RCP, unless otherwise approved by the City.
  - b. All flared end sections shall have footings and apron grates. The last 3 pipe sections and the flared end section on all culverts shall be tied. All storm sewer joints shall be wrapped with engineering fabric.
  - c. The Contractor is responsible for repairing any field tile damaged during construction. The tile should be directed to public storm sewer if possible. The Contractor shall record the elevation and location of all files.
  - d. All sump service lines shall have tracer wire.
  - e. All rip-rap shall be underlain with engineering fabric as specified in the Urban Specifications.

GENERAL NOTES

- 1. Contractor to protect existing pavement unless designated for removal. Damaged pavement shall be removed and replaced at the contractor's expense.
- 2. Contractor to confine operations to permanent and temporary easements and Developer owned property.
- 3. All trees and shrubs shall be protected unless designated for removal in the plans.
- 4. Contractor shall submit all subgrade and paving material test results to the project engineer.
- 5. The contractor is responsible for keeping and maintaining a set of record drawings. Record drawings shall show all changes to plans, and represent the As-Built condition. Submit Record Drawings to engineer prior to final payment.
- 6. The Engineer shall provide all construction staking for project and shall be discussed in detail at the pre-construction meeting.
- 7. The plans show utilities located within the limits of the work under this contract. The completeness or accuracy of the information shown on the plans is in no way implied or guaranteed. The Contractor shall obtain the location of the utilities and services from the various public utility companies before beginning any excavation and will be held responsible for any damage to said utilities and services resulting from his operations. Additional compensation will not be allowed for this work and shall be considered incidental to other areas of work.
- 8. All Standard Details shall be considered applicable to construction work on this project. The list of Standard Details shown on this sheet are brought to the Contractor's attention. This tabulation shall not be considered a complete list of all applicable standard details.
- 9. All construction shall be completed in accordance with the Iowa Statewide Urban Design Standard and Specifications for public improvements as accepted by the City of Carlisle and as approved on file with the Iowa DNR.



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Clive, Iowa 50325  
515-964-1229  
fax 515-964-2370

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PRELIMINARY

LEGEND AND GENERAL NOTES

DANAMERE FARMS PLAT 10 CONSTRUCTION DRAWINGS

CARLISLE, IOWA  
2215013  
FEBRUARY 12, 2021

REVISIONS  
MARCH 10, 2021

ENGINEER C. SMITH  
DRAWN BY R. CORONA  
CHECKED BY FIELD BOOK NO.

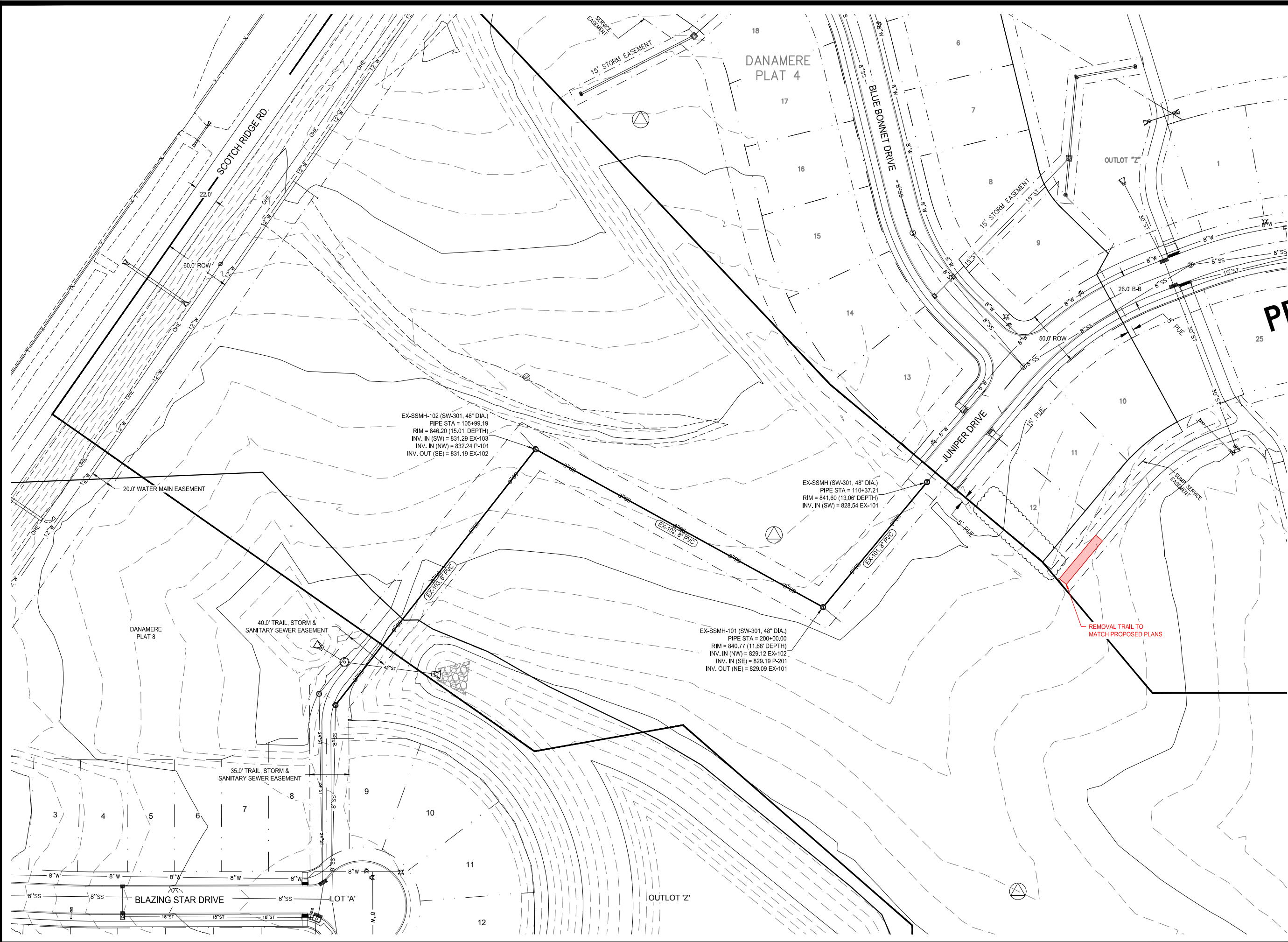
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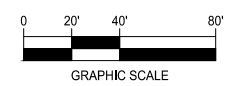
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**PRELIMINARY**



EXISTING CONDITIONS



**DANAMERE FARMS PLAT 10  
CONSTRUCTION DRAWINGS**

CARLISE, IOWA  
2215013  
FEBRUARY 12, 2021

REVISIONS  
MARCH 10, 2021

ENGINEER: C. SMITH  
DRAWN BY: R. CORONA  
CHECKED BY: \_\_\_\_\_  
FIELD BOOK NO.:

DRAWING NO.: GN-03  
SHEET NO.: 03 / 21

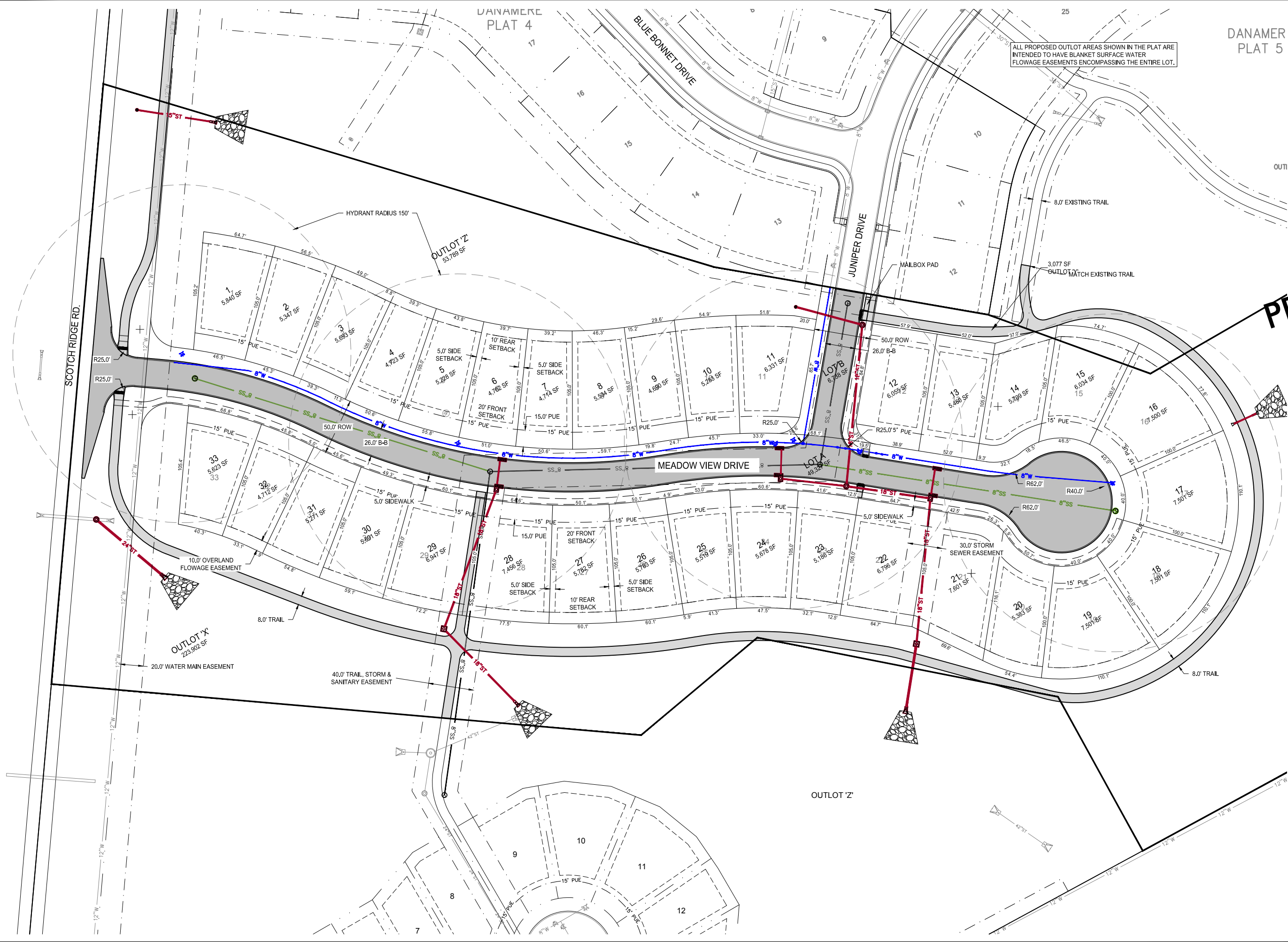
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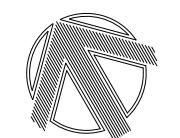
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ALL PROPOSED OUTLOT AREAS SHOWN IN THE PLAT ARE INTENDED TO HAVE BLANKET SURFACE WATER FLOWAGE EASEMENTS ENCOMPASSING THE ENTIRE LOT.

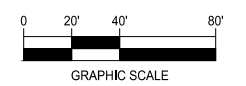
**PRELIMINARY**



**GENERAL LAYOUT & DIMENSION PLAN**



NORTH



**DANAMERE FARMS PLAT 10 CONSTRUCTION DRAWINGS**

CARLISLE, IOWA  
2215013  
FEBRUARY 12, 2021

REVISIONS  
MARCH 10, 2021

ENGINEER: C. SMITH  
DRAWN BY: R. CORONA  
CHECKED BY: \_\_\_\_\_  
FIELD BOOK NO.:

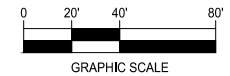
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**PRELIMINARY**

**GRADING PLAN & EROSION CONTROL**



NORTH



**DANAMERE FARMS PLAT 10  
CONSTRUCTION DRAWINGS**

CARLISLE, IOWA  
2215013  
FEBRUARY 12, 2021

REVISIONS  
MARCH 10, 2021

ENGINEER: C. SMITH  
DRAWN BY: R. CORONA  
CHECKED BY: \_\_\_\_\_  
FIELD BOOK NO.:

DRAWING NO. GR-01  
SHEET NO. 05 / 21

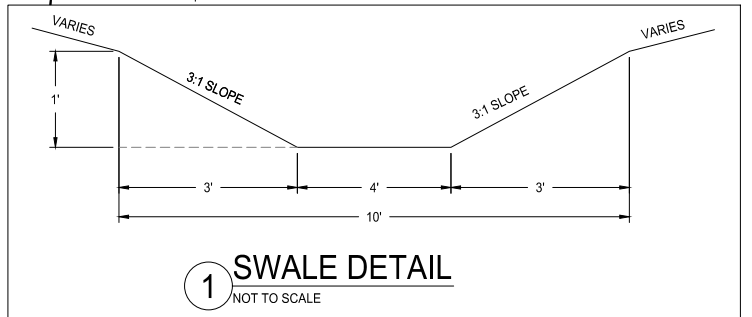
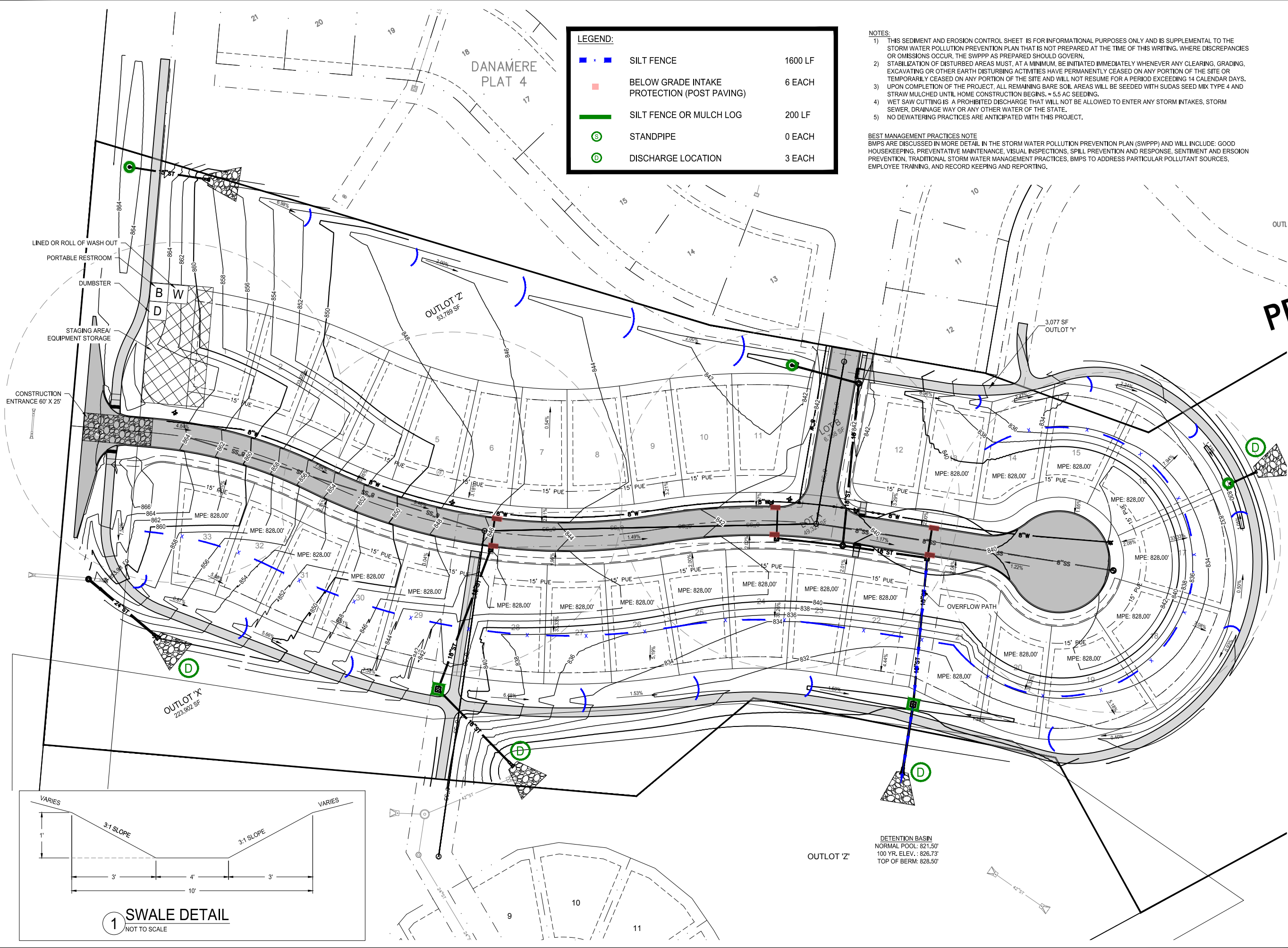
**LEGEND:**

	SILT FENCE	1600 LF
	BELOW GRADE INTAKE PROTECTION (POST PAVING)	6 EACH
	SILT FENCE OR MULCH LOG	200 LF
	STANDPIPE	0 EACH
	DISCHARGE LOCATION	3 EACH

**NOTES:**

- 1) THIS SEDIMENT AND EROSION CONTROL SHEET IS FOR INFORMATIONAL PURPOSES ONLY AND IS SUPPLEMENTAL TO THE STORM WATER POLLUTION PREVENTION PLAN THAT IS NOT PREPARED AT THE TIME OF THIS WRITING. WHERE DISCREPANCIES OR OMISSIONS OCCUR, THE SWPPP AS PREPARED SHOULD GOVERN.
- 2) STABILIZATION OF DISTURBED AREAS MUST, AT A MINIMUM, BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. UPON COMPLETION OF THE PROJECT, ALL REMAINING BARE SOIL AREAS WILL BE SEEDED WITH SUDAS SEED MIX TYPE 4 AND STRAW MULCHED UNTIL HOME CONSTRUCTION BEGINS. ~ 5.5 AC SEEDING.
- 3) WET SAW CUTTING IS A PROHIBITED DISCHARGE THAT WILL NOT BE ALLOWED TO ENTER ANY STORM INTAKES, STORM SEWER, DRAINAGE WAY OR ANY OTHER WATER OF THE STATE.
- 4) NO DEWATERING PRACTICES ARE ANTICIPATED WITH THIS PROJECT.

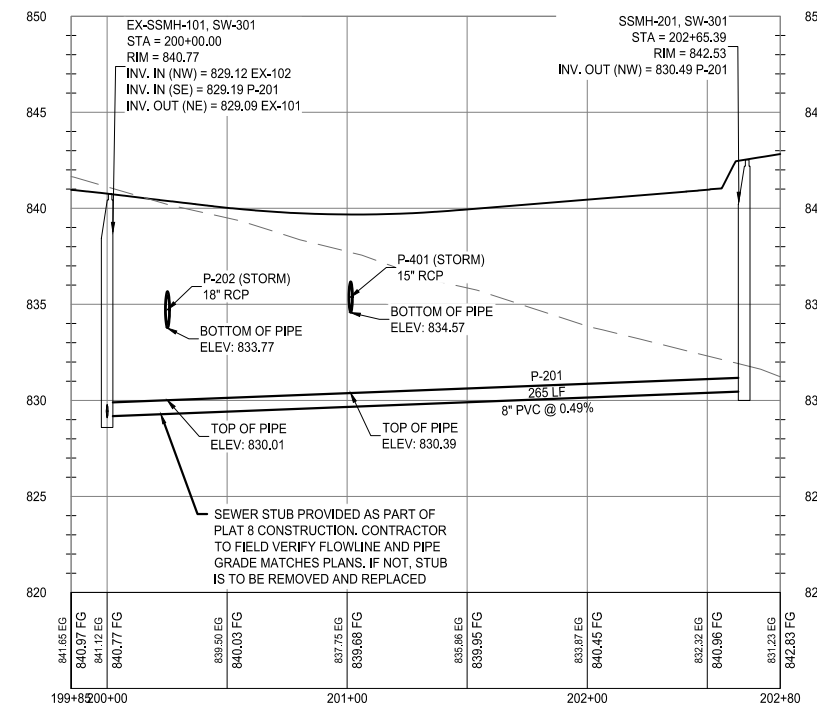
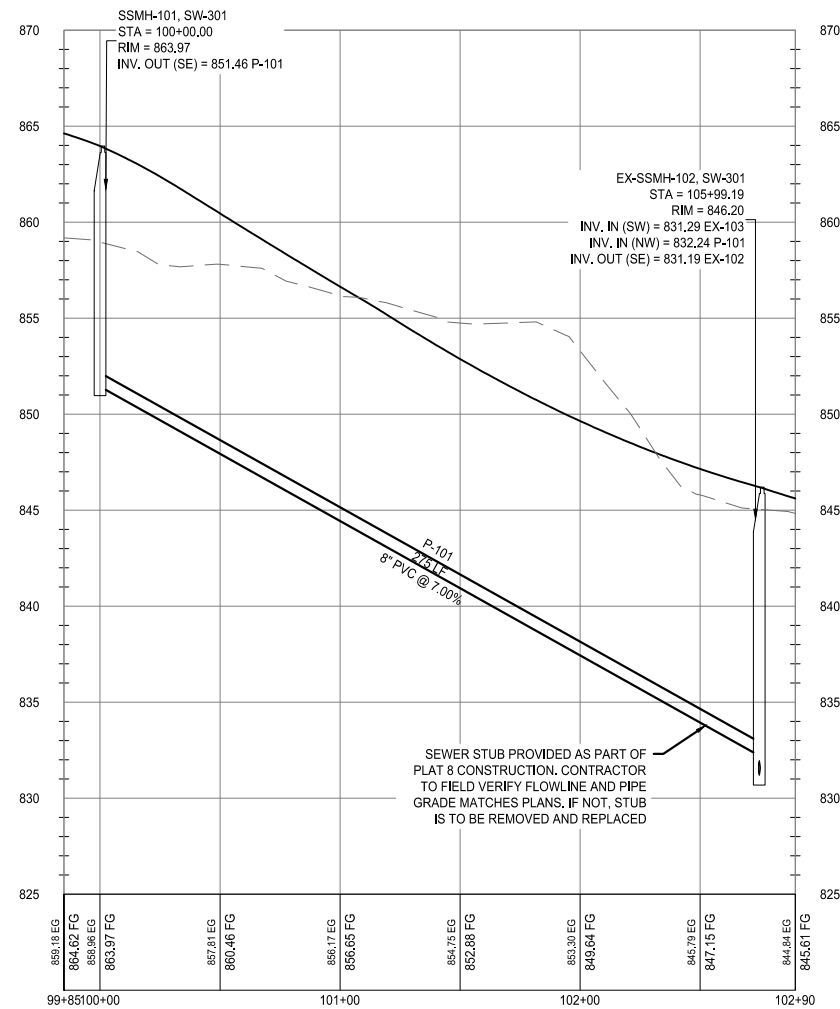
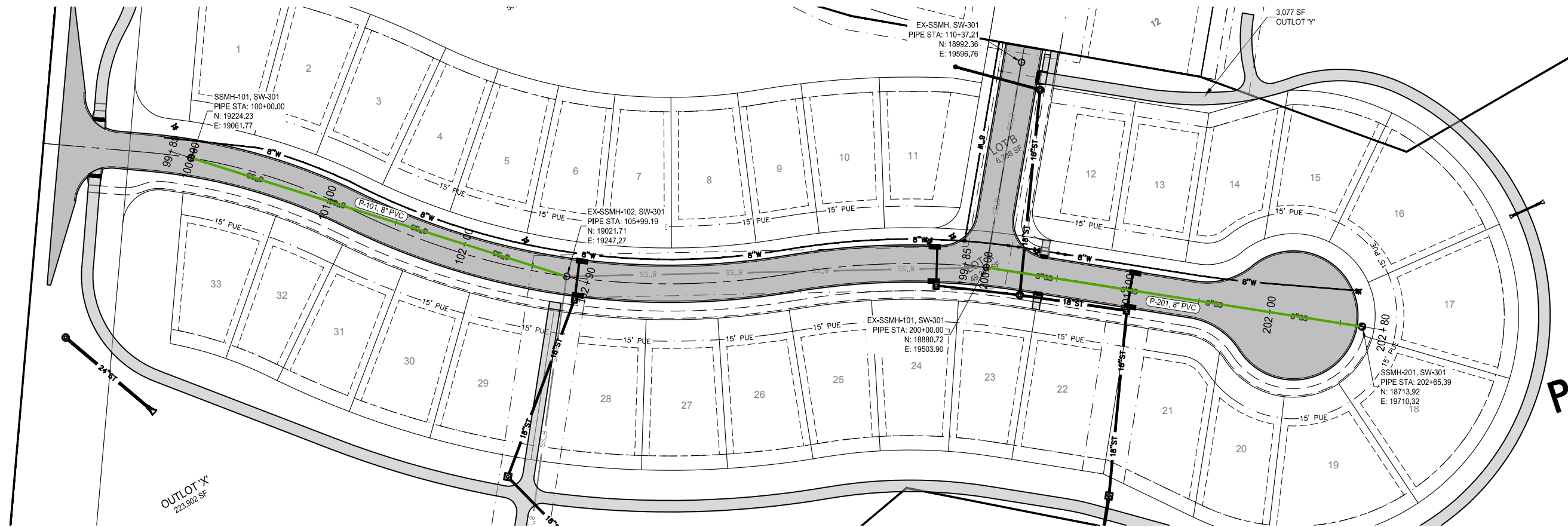
**BEST MANAGEMENT PRACTICES NOTE**  
BMPs ARE DISCUSSED IN MORE DETAIL IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND WILL INCLUDE: GOOD HOUSEKEEPING, PREVENTATIVE MAINTENANCE, VISUAL INSPECTIONS, SPILL PREVENTION AND RESPONSE, SEDIMENT AND EROSION PREVENTION, TRADITIONAL STORM WATER MANAGEMENT PRACTICES, BMPs TO ADDRESS PARTICULAR POLLUTANT SOURCES, EMPLOYEE TRAINING, AND RECORD KEEPING AND REPORTING.



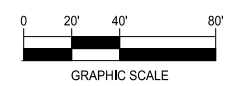
DETENTION BASIN  
NORMAL POOL: 821.50'  
100 YR. ELEV.: 826.73'  
TOP OF BERM: 828.50'

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**PRELIMINARY**



**SANITARY SEWER  
PLAN & PROFILE**

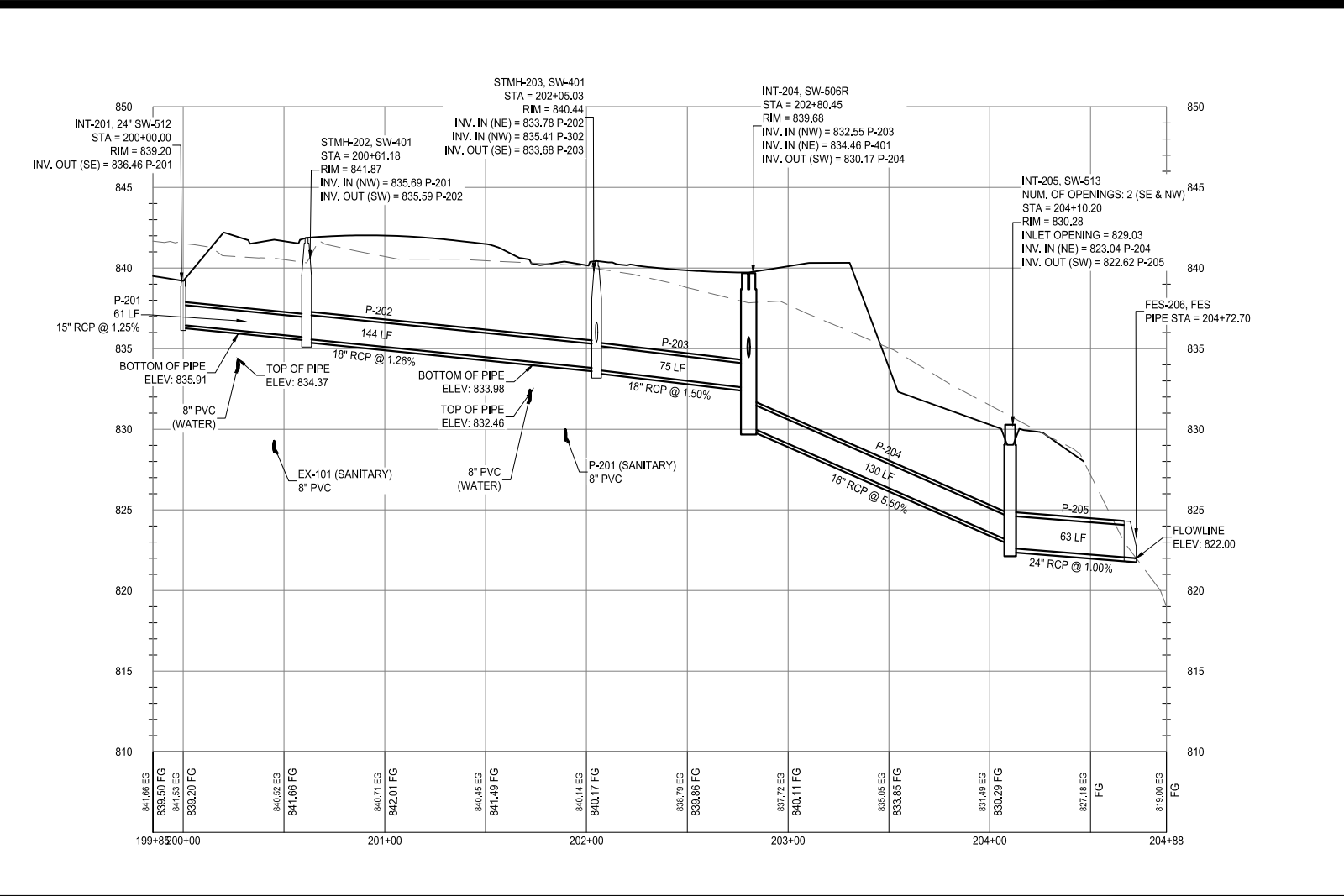
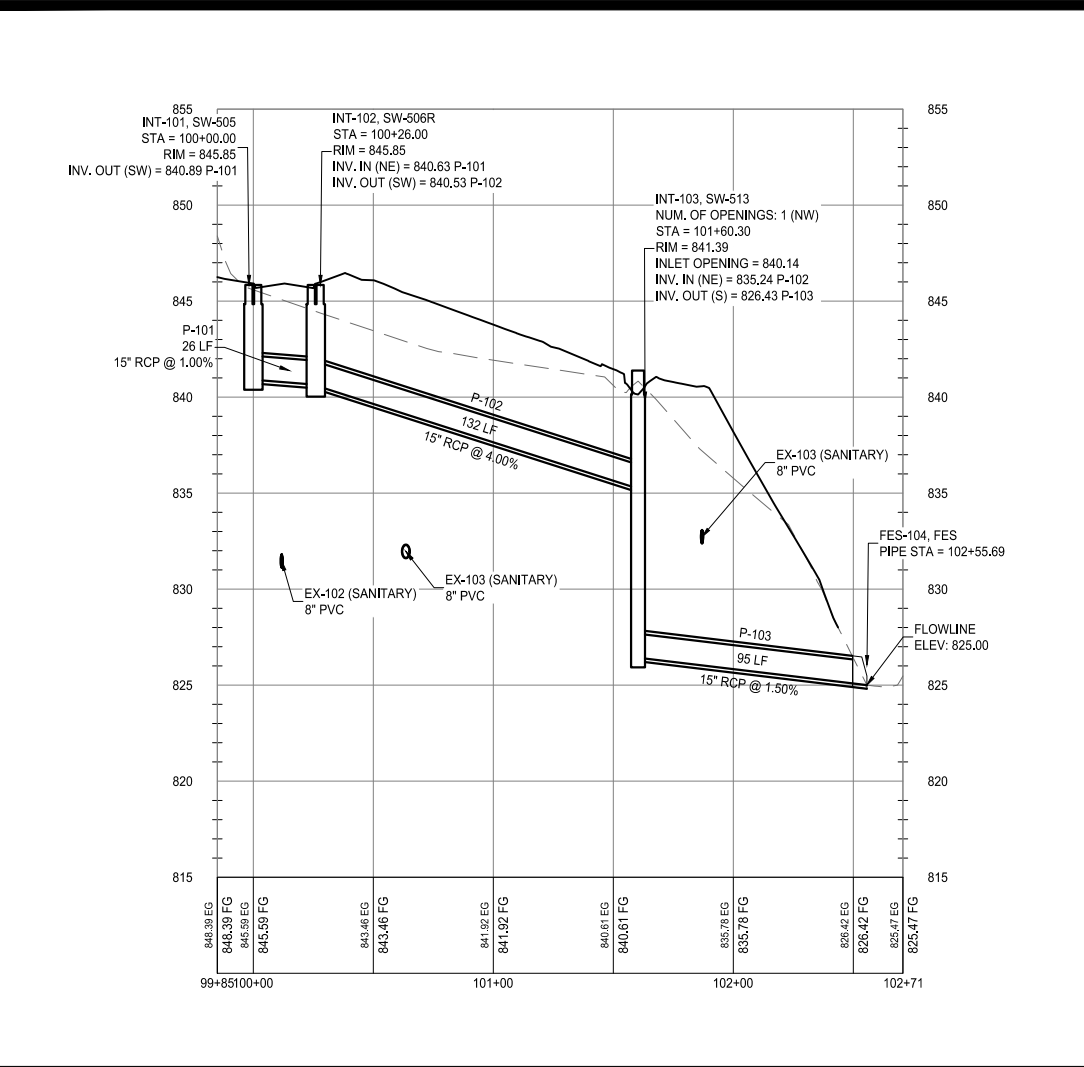
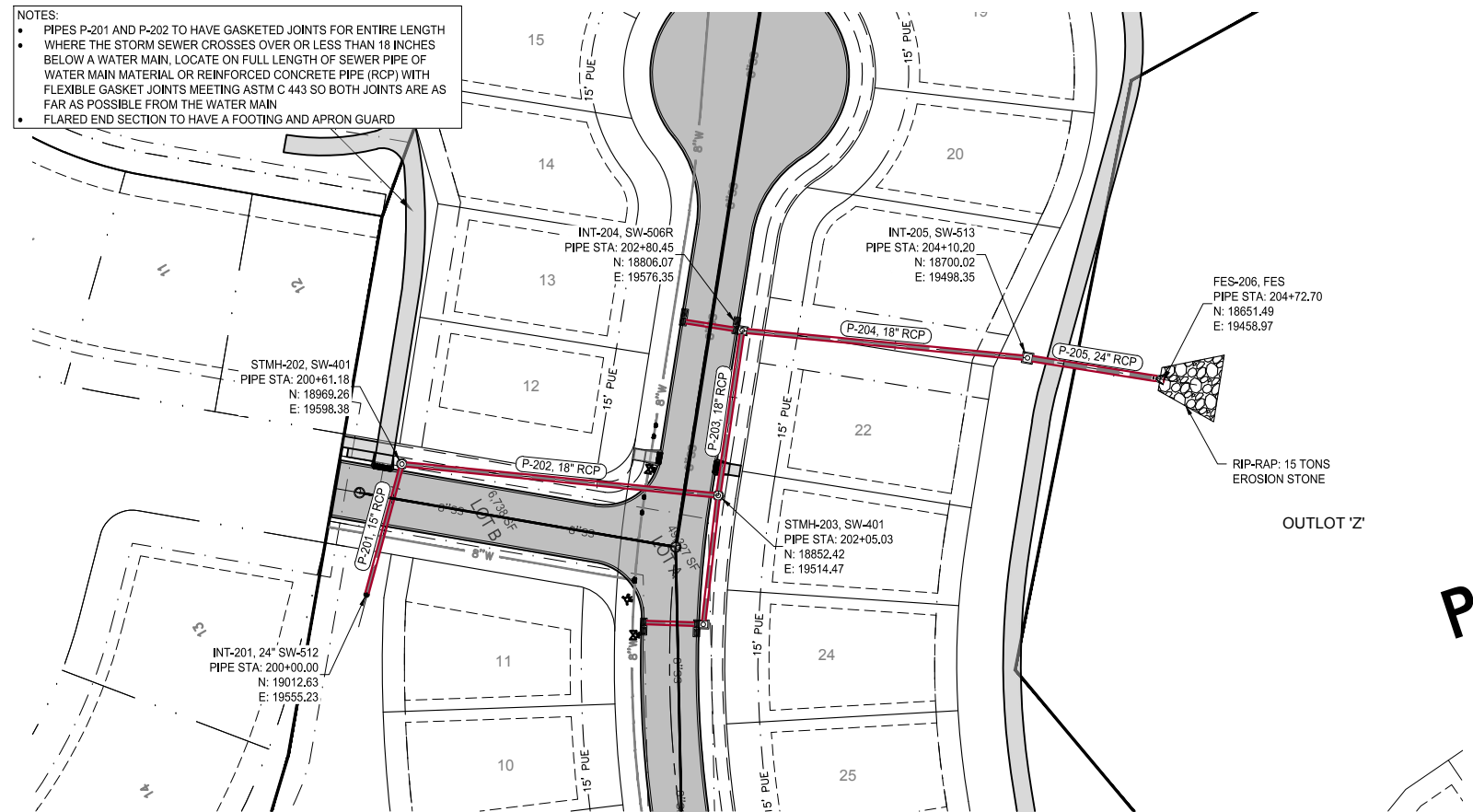
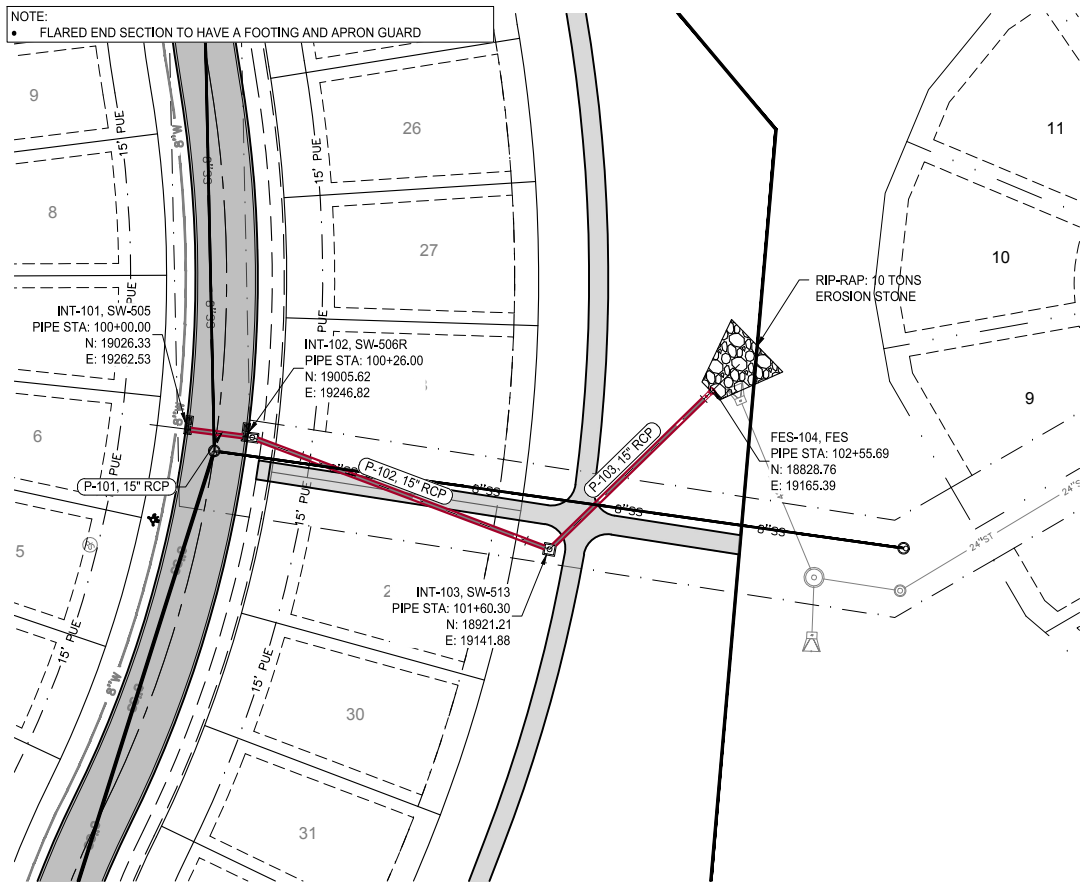


**DANAMERE FARMS PLAT 10  
CONSTRUCTION DRAWINGS**

CARLISE, IOWA  
2215013  
FEBRUARY 12, 2021

REVISIONS  
MARCH 10, 2021

ENGINEER: C. SMITH  
DRAWN BY: R. CORONA  
CHECKED BY: FIELD BOOK NO.



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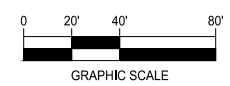
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**PRELIMINARY**

**STORM SEWER  
 PLAN & PROFILE**



NORTH



**DANAMERE FARMS PLAT 10  
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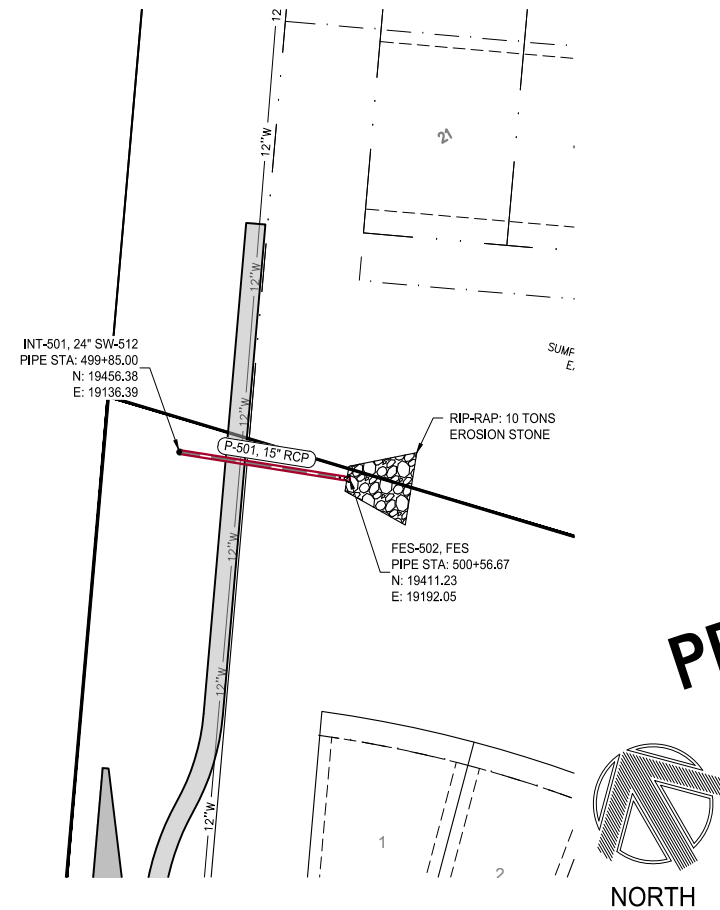
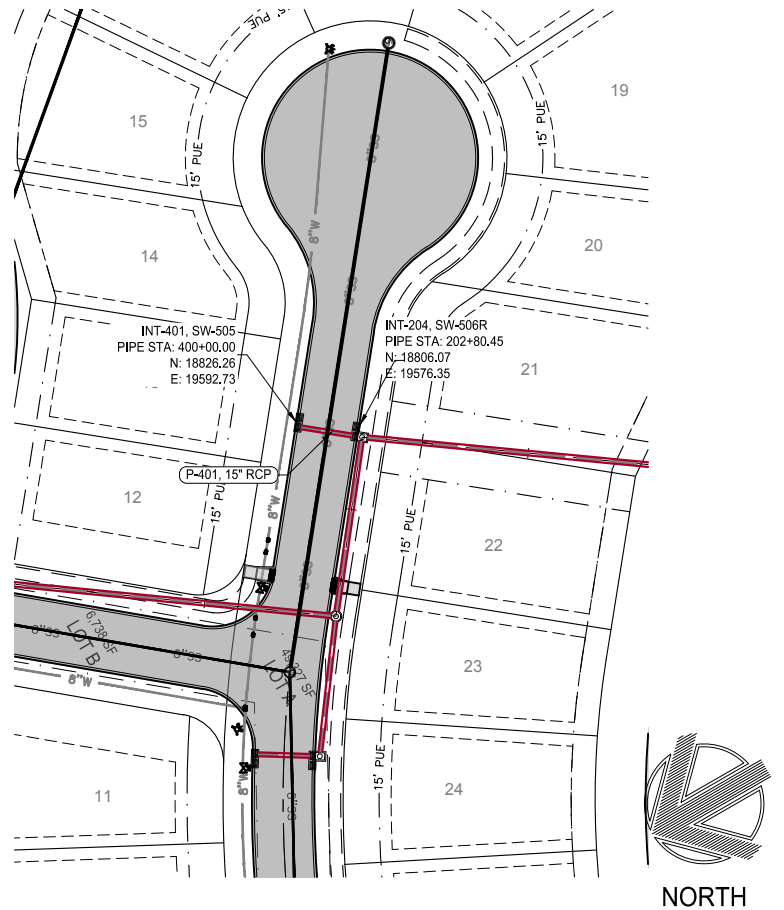
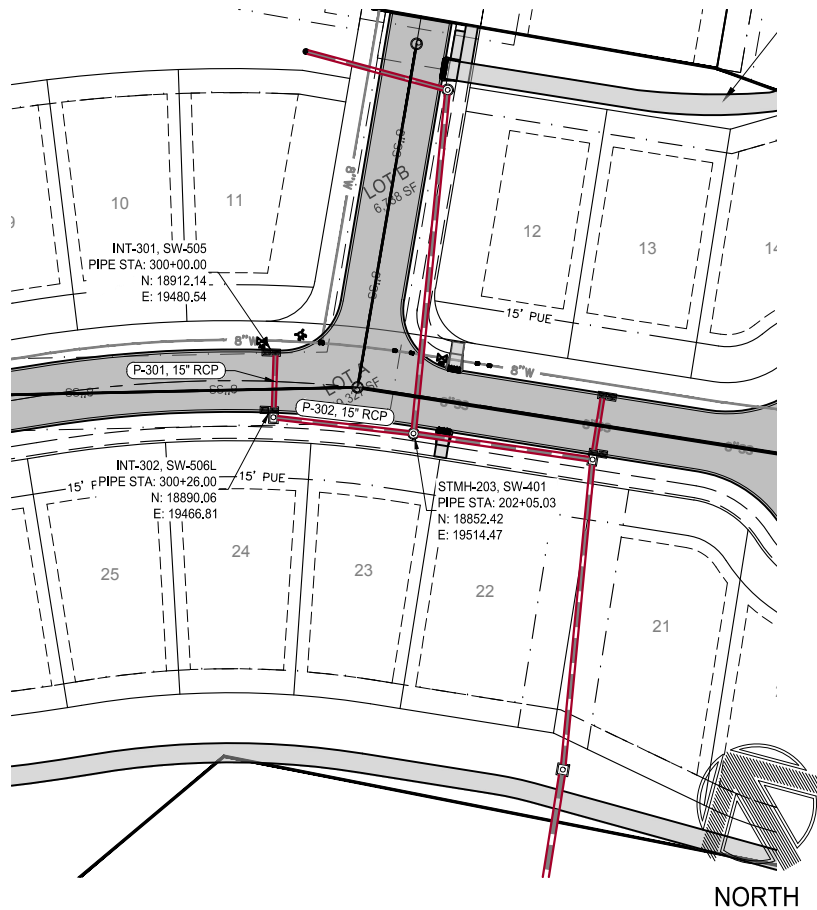
ENGINEER  
**C. SMITH**

DRAWN BY  
**R. CORONA**

CHECKED BY  
 FIELD BOOK NO.

DRAWING NO.  
**ST-01**

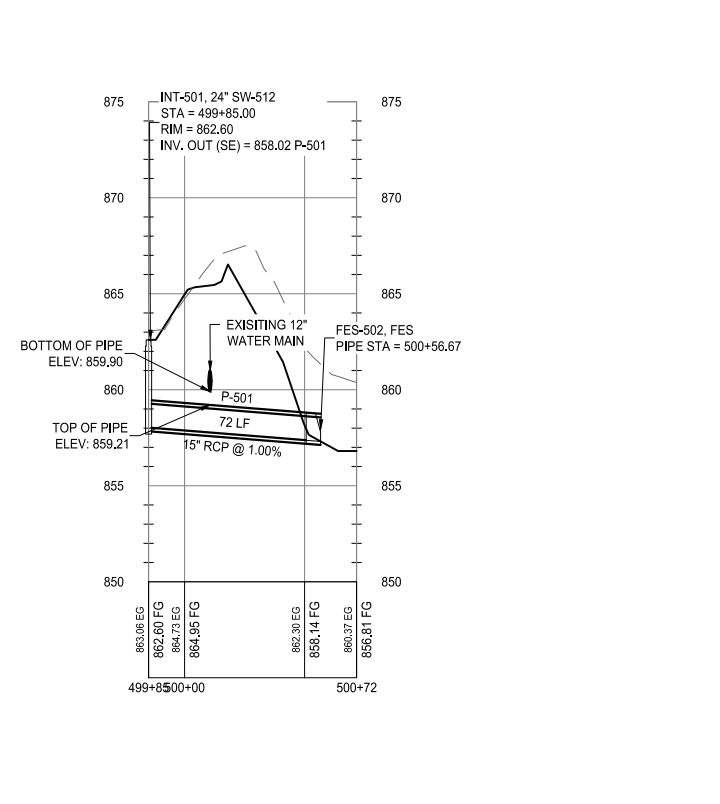
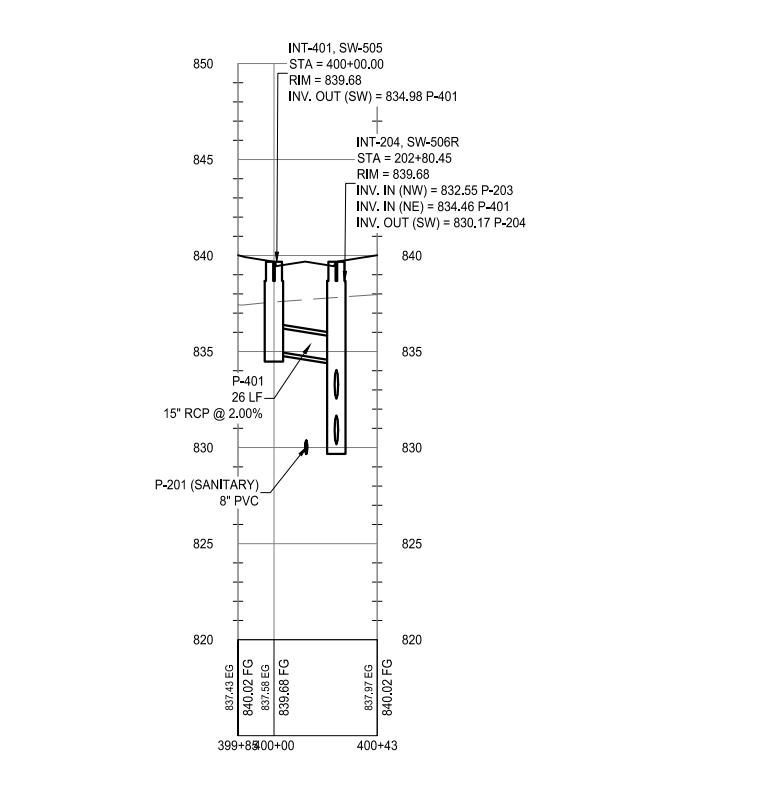
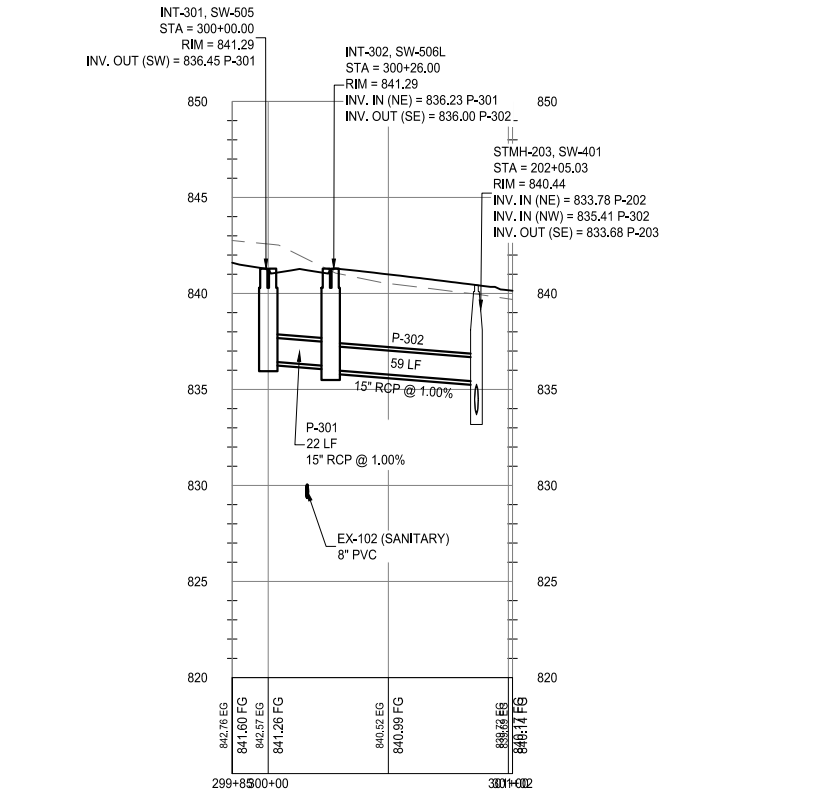
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**07 / 21**



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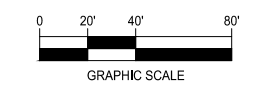
**PRELIMINARY**



**NOTE:**

- EXISTING WATER MAIN DRAWN AT APPROXIMATE LOCATION. CONTRACTOR TO FIELD VERIFY. CONTRACTOR TO MAINTAIN 6-INCH CLEARANCE PER SUDAS.
- WHERE THE STORM SEWER CROSSES OVER OR LESS THAN 18 INCHES BELOW A WATER MAIN, LOCATE ON FULL LENGTH OF SEWER PIPE OR WATER MAIN MATERIAL OR REINFORCED CONCRETE PIPE (RCP) WITH FLEXIBLE GASKET JOINTS MEETING ASTM C 443 SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE WATER MAIN
- FLARED END SECTION MUST HAVE A FOOTING AND APRON GUARD

**STORM SEWER  
PLAN & PROFILE**



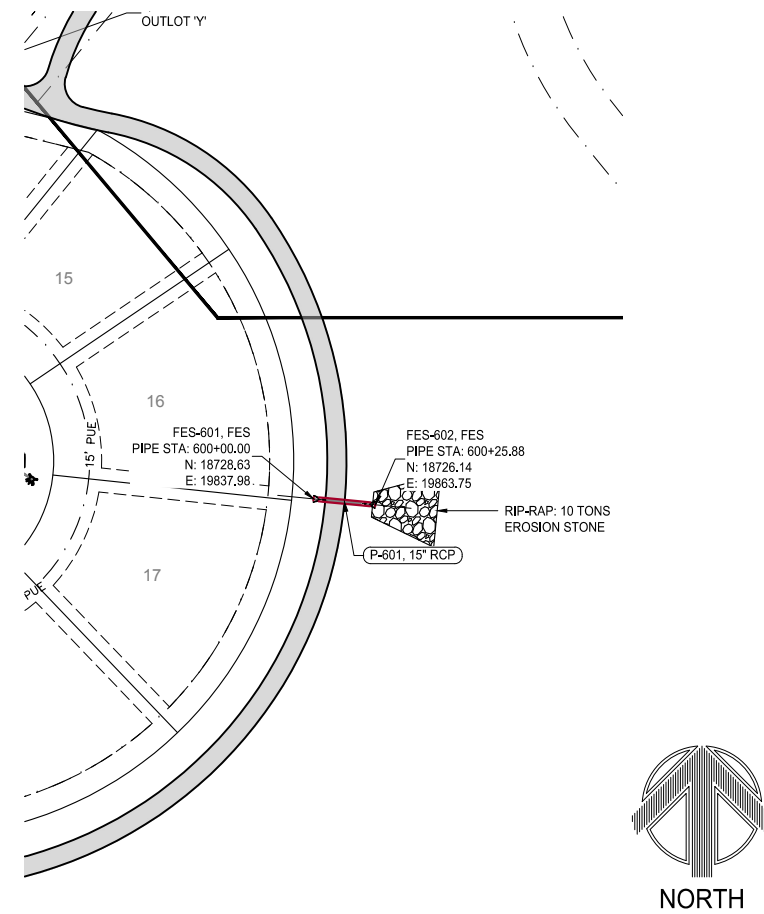
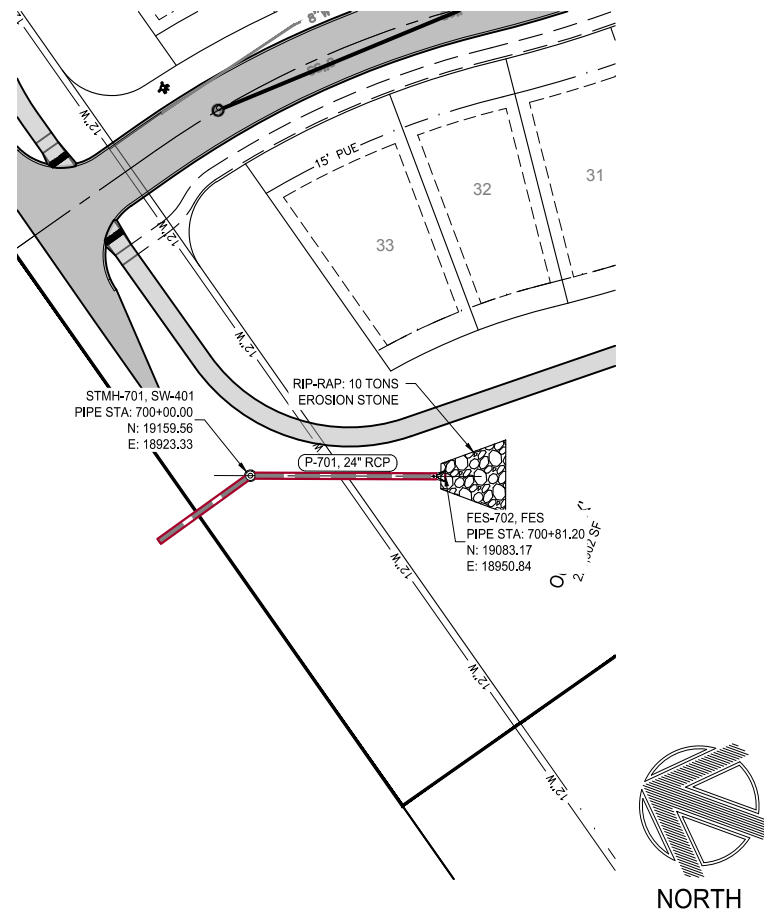
**DANAMERE FARMS PLAT 10  
CONSTRUCTION DRAWINGS**

CARLISLE, IOWA  
2215013  
FEBRUARY 12, 2021

REVISIONS  
MARCH 10, 2021

ENGINEER: C. SMITH  
DRAWN BY: R. CORONA  
CHECKED BY: FIELD BOOK NO.

DRAWING NO. **ST-02**  
SHEET NO. **08 / 21**



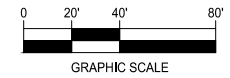
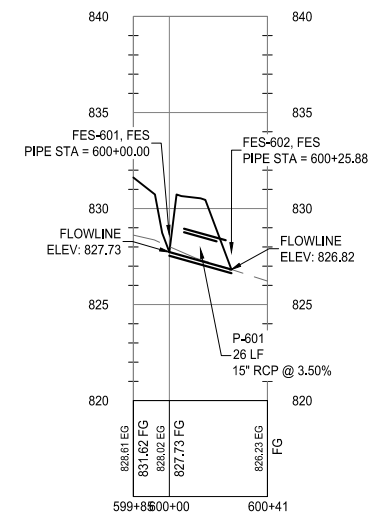
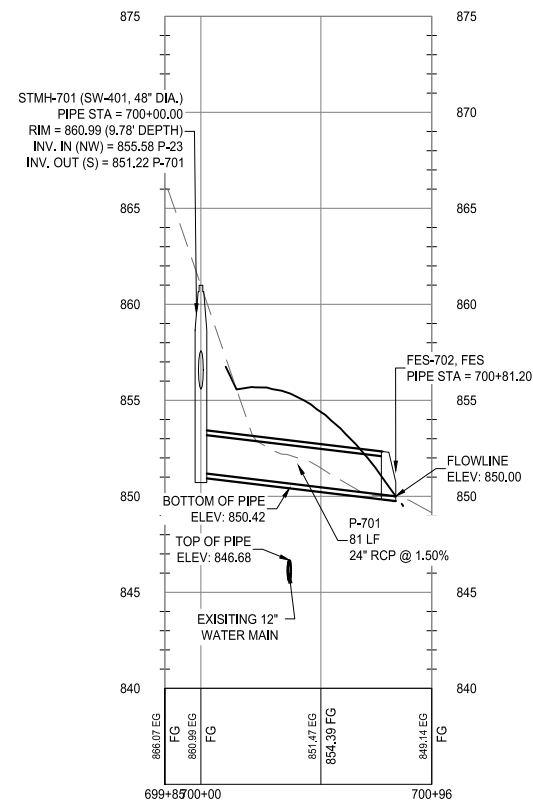
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**PRELIMINARY**

- NOTES:**
- EXISTING WATER MAIN DRAWN AT APPROXIMATE LOCATION. CONTRACTOR TO FIELD VERIFY.
  - WHERE THE STORM SEWER CROSSES OVER OR LESS THAN 18 INCHES BELOW A WATER MAIN, LOCATE ONE FULL LENGTH OF SEWER PIPE OF WATER MAIN MATERIAL OR REINFORCED CONCRETE PIPE (RCP) WITH FLEXIBLE GASKET JOINTS MEETING ASTM C 443 SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE WATER MAIN
  - FLARED END TO HAVE A FOOTING AND APRON GUARD

- NOTE:**
- FLARED END TO HAVE A FOOTING AND APRON GUARD



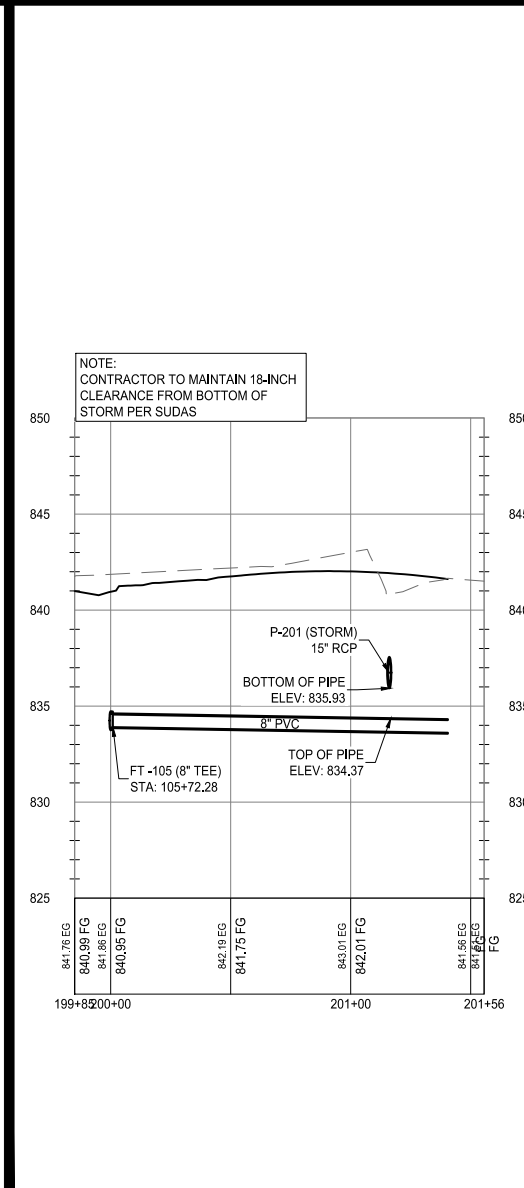
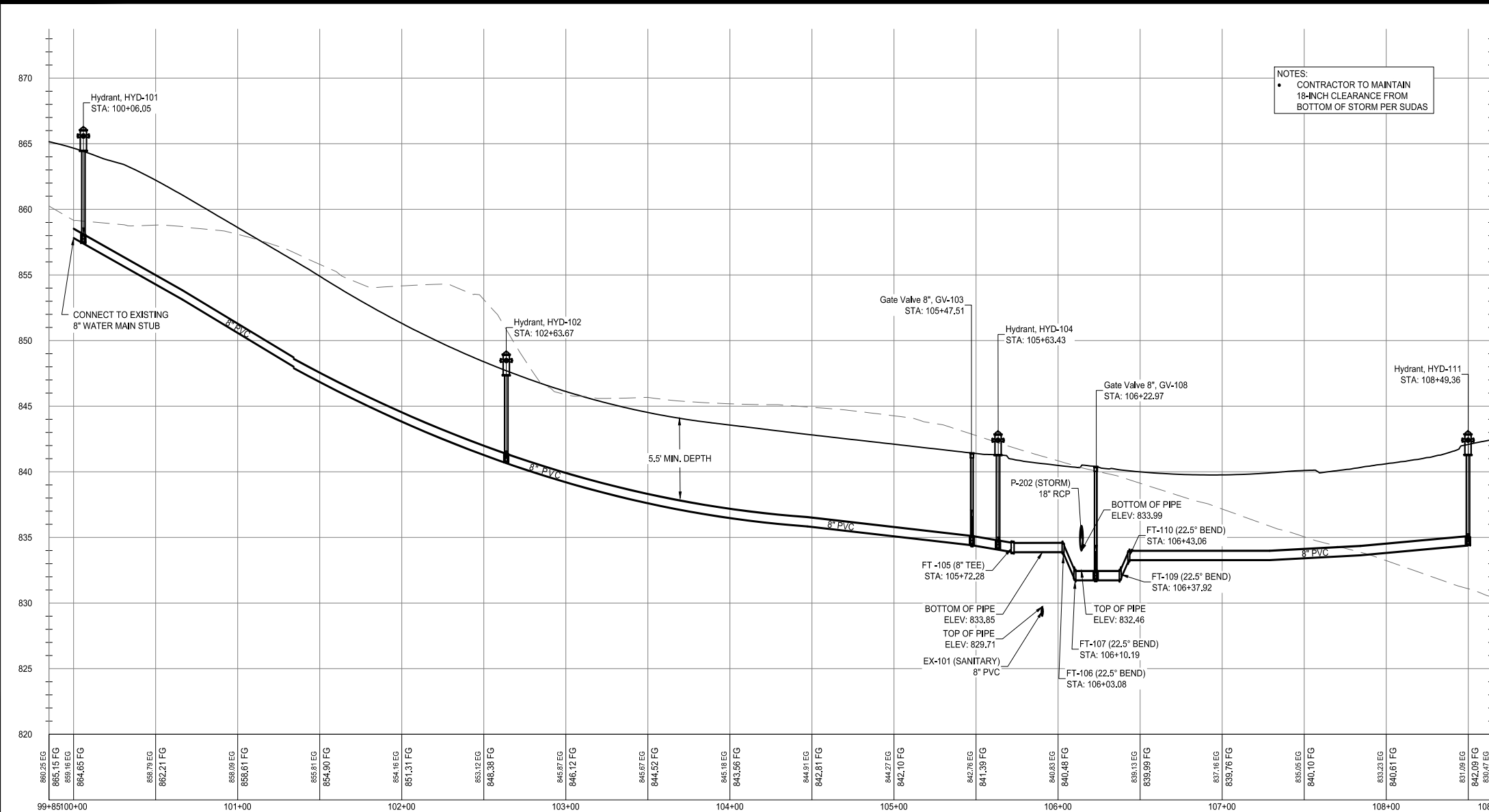
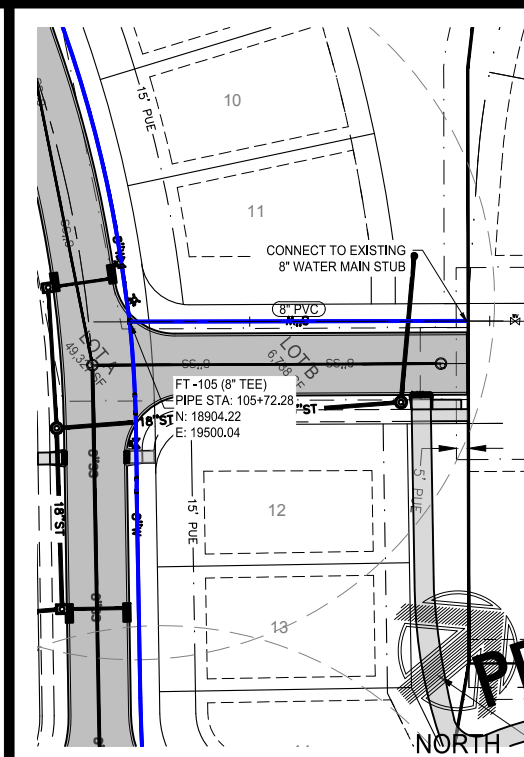
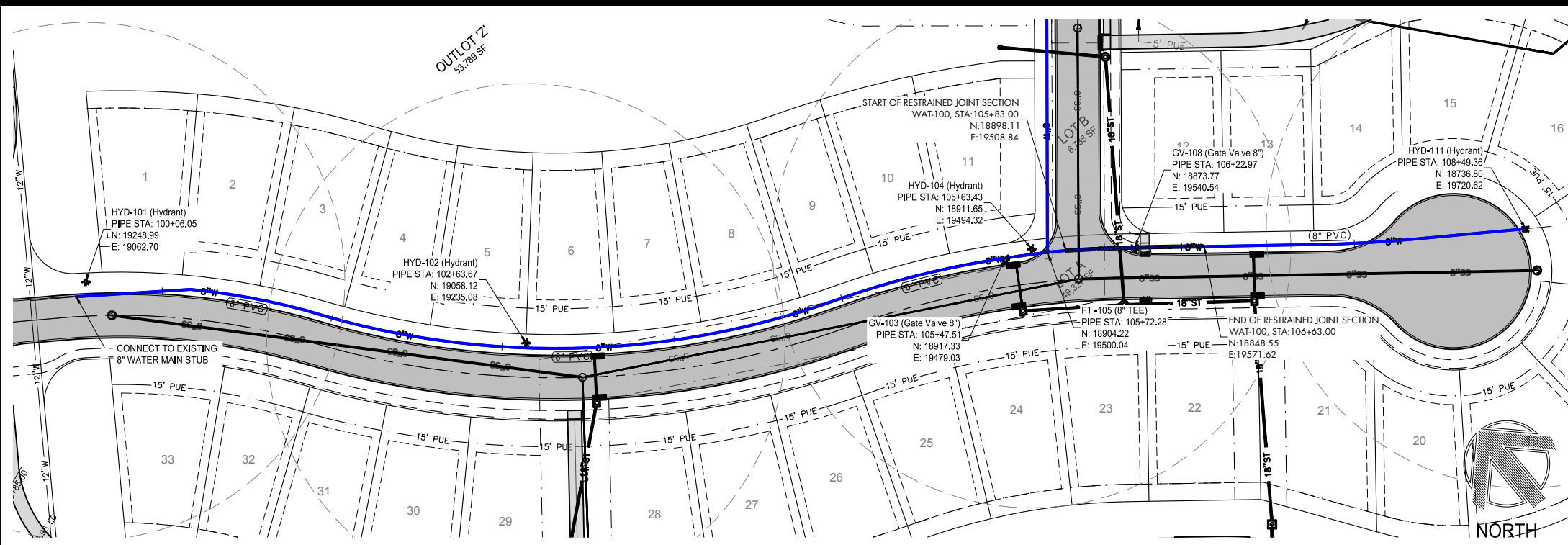
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CONSTRUCTION DRAWINGS**

CARLISLE, IOWA  
2215013  
FEBRUARY 12, 2021

REVISIONS  
MARCH 10, 2021

ENGINEER: C. SMITH  
DRAWN BY: R. CORONA  
CHECKED BY: FIELD BOOK NO.

DRAWING NO. ST-03  
SHEET NO. 09 / 21



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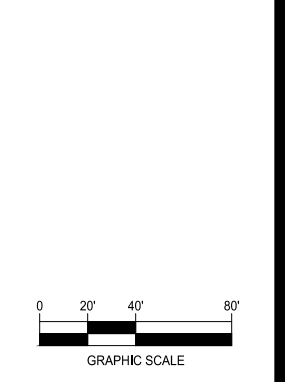
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fax 515-964-2370

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**PRELIMINARY**

**WATER MAIN  
PLAN & PROFILE**



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CARLISLE, IOWA  
2215013  
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ENGINEER  
**C. SMITH**

DRAWN BY  
**R. CORONA**

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FIELD BOOK NO.

DRAWING NO.  
**WAT-01**

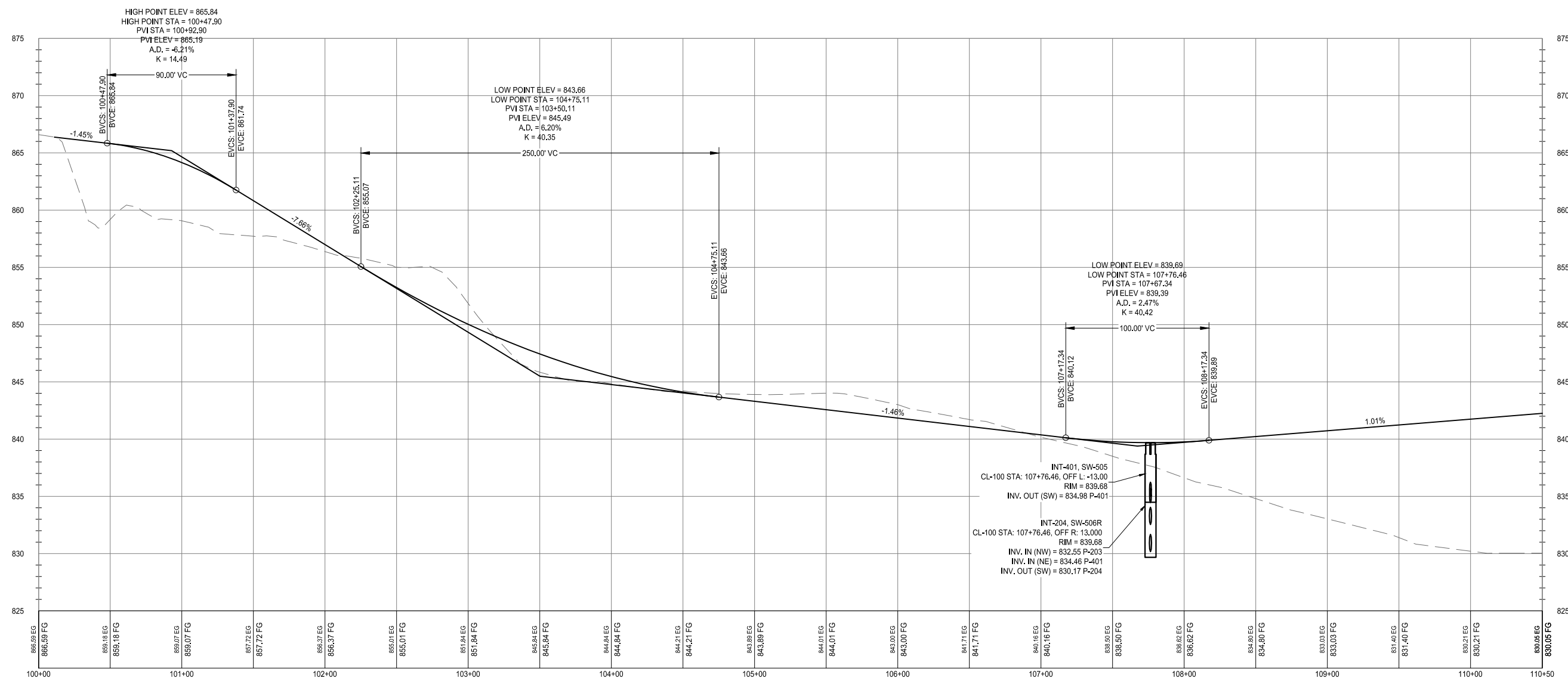
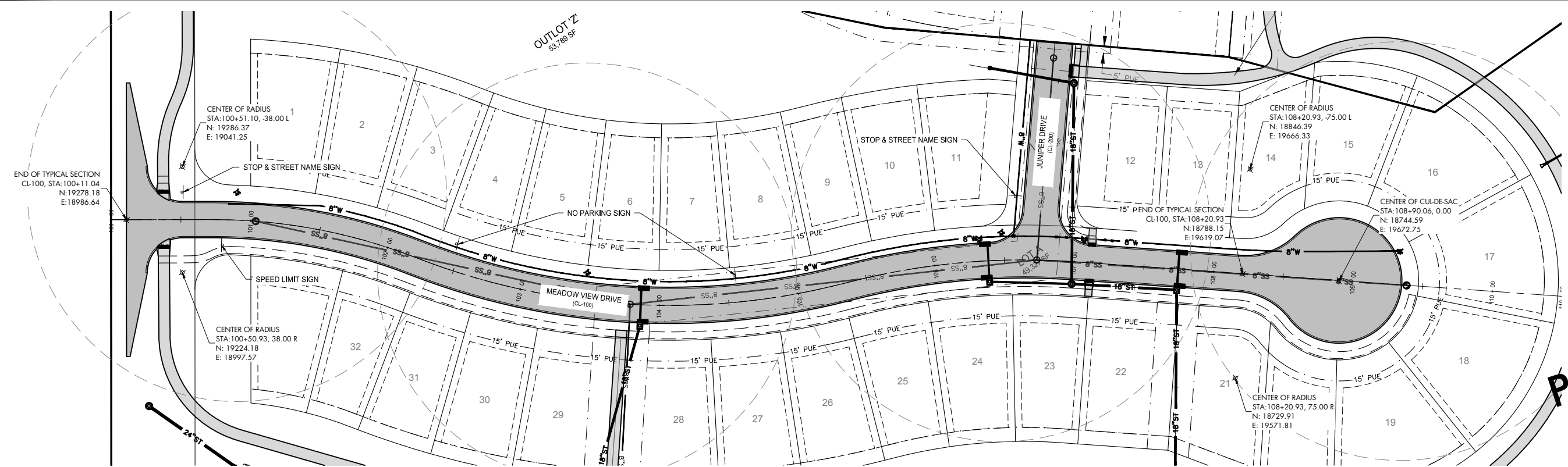
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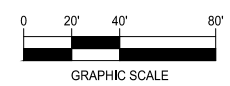
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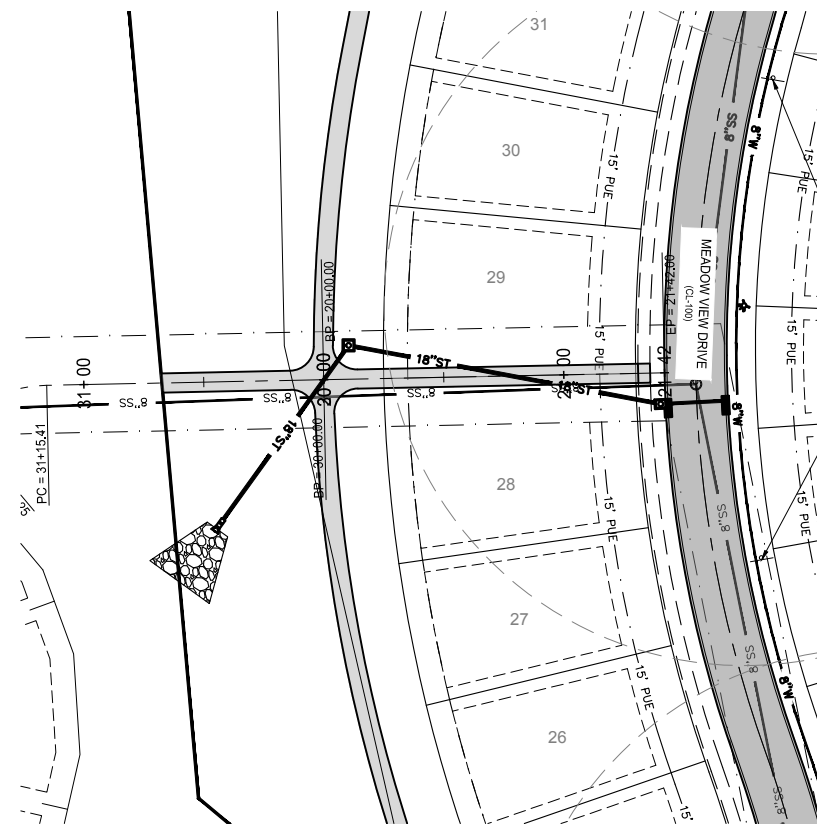
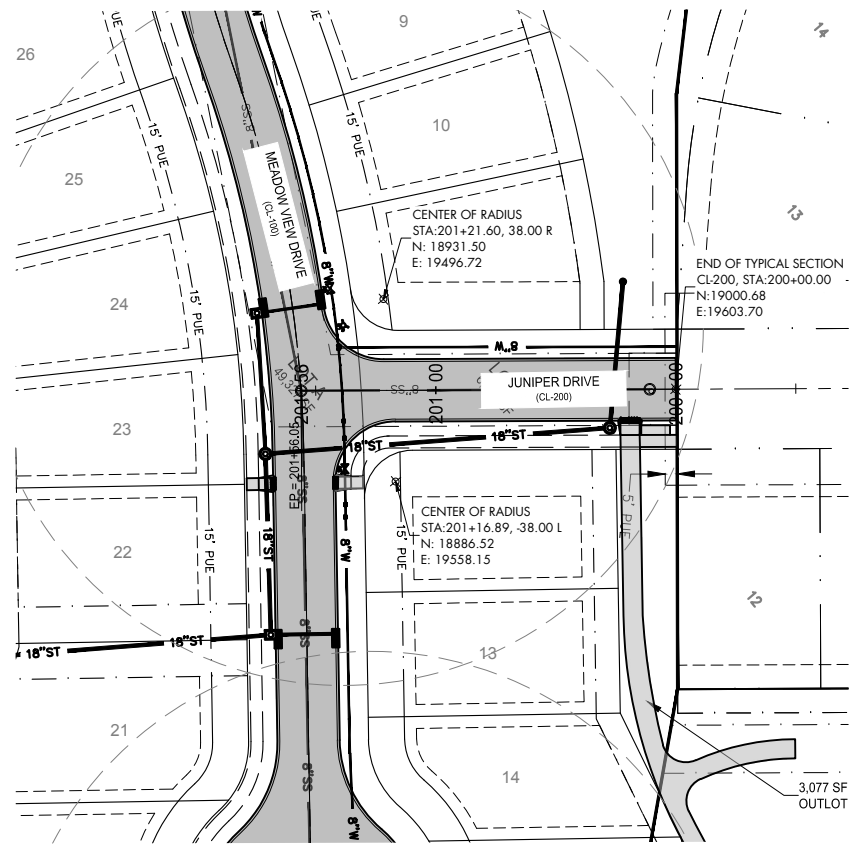
**DANAMERE FARMS PLAT 10  
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CARLISLE, IOWA  
2215013  
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ENGINEER: **C. SMITH**  
DRAWN BY: **R. CORONA**  
CHECKED BY: \_\_\_\_\_  
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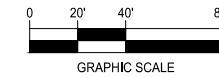
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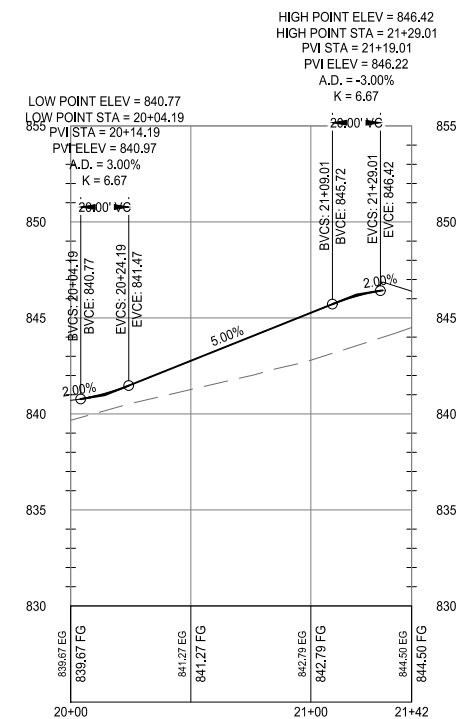
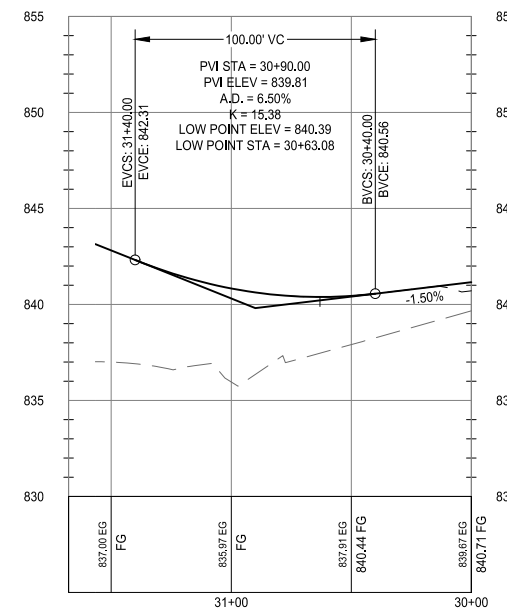
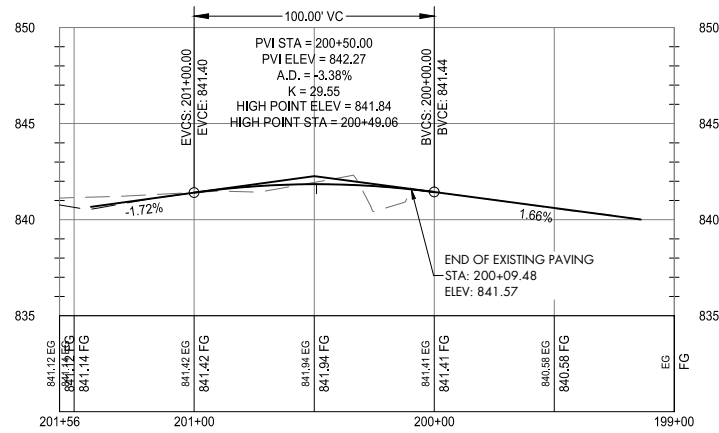
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CONSTRUCTION DRAWINGS**

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2215013  
FEBRUARY 12, 2021

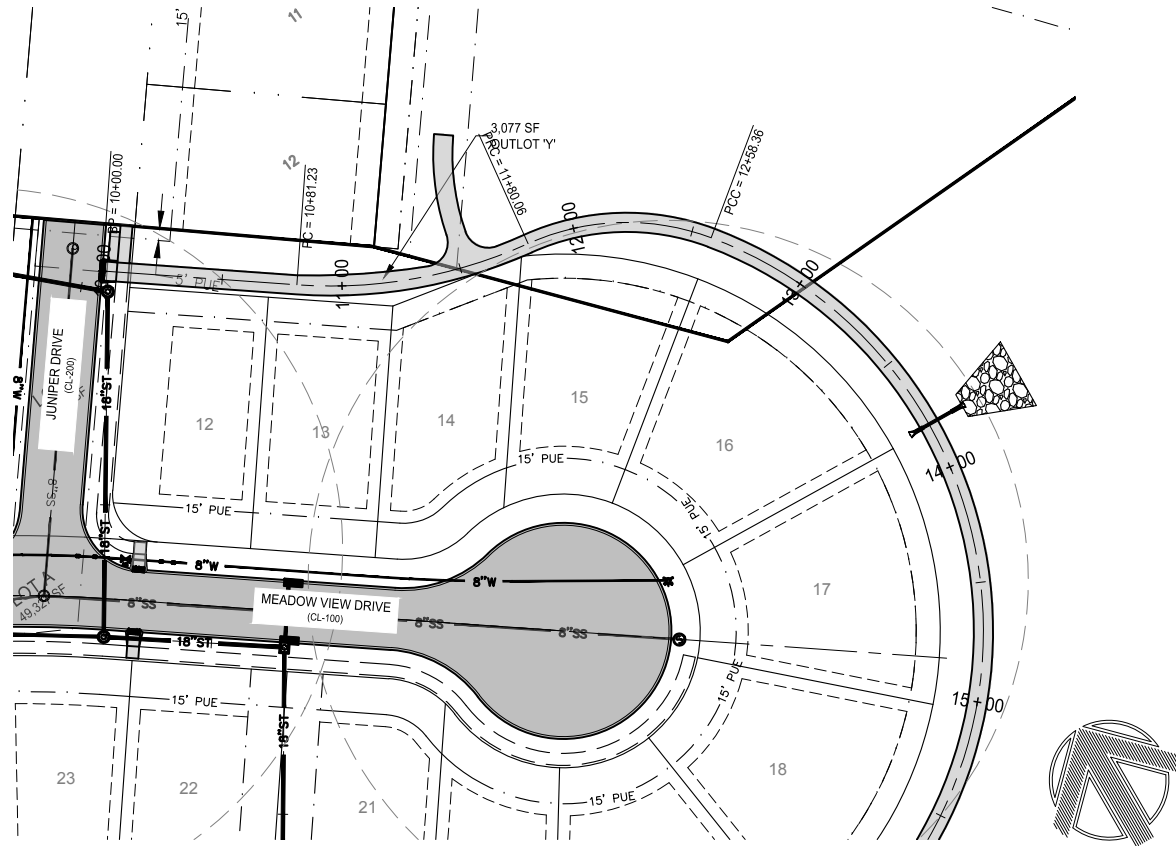
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DRAWN BY: R. CORONA  
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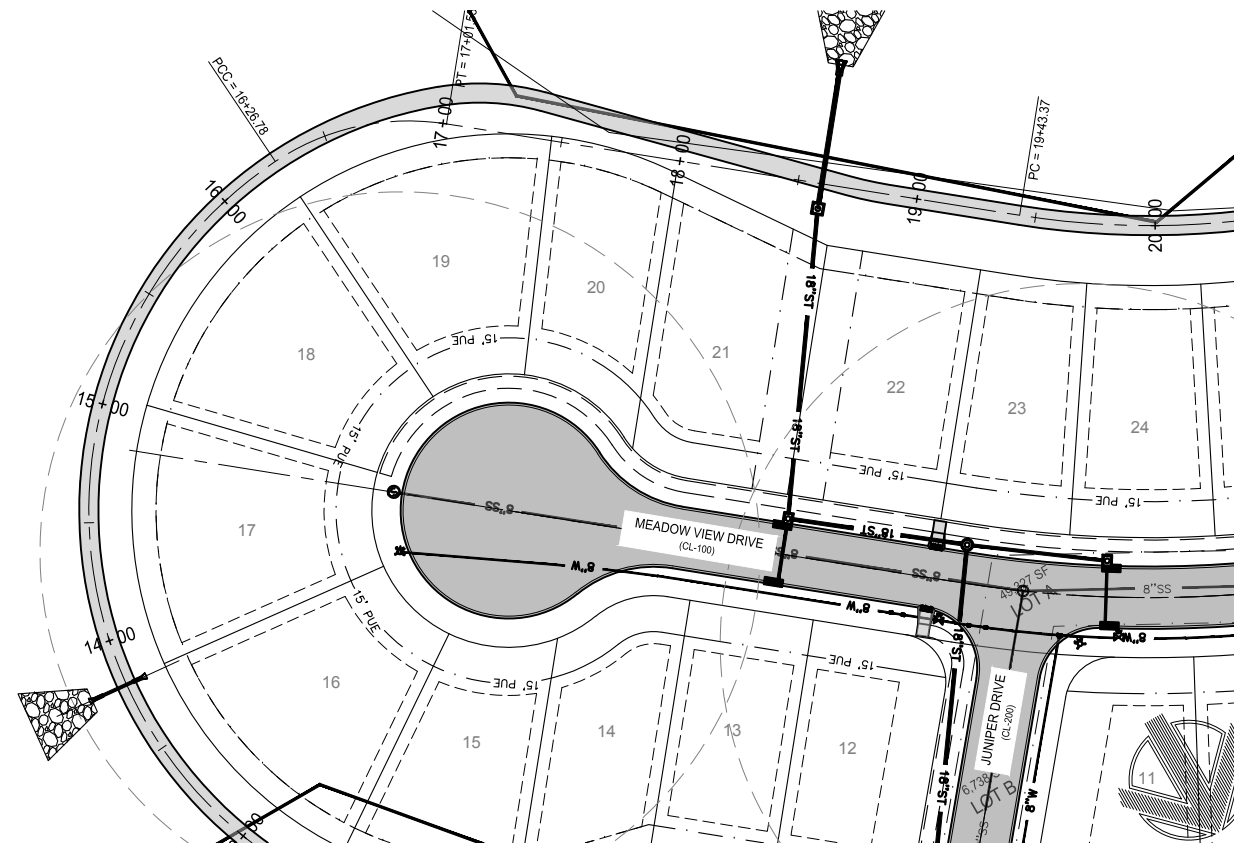
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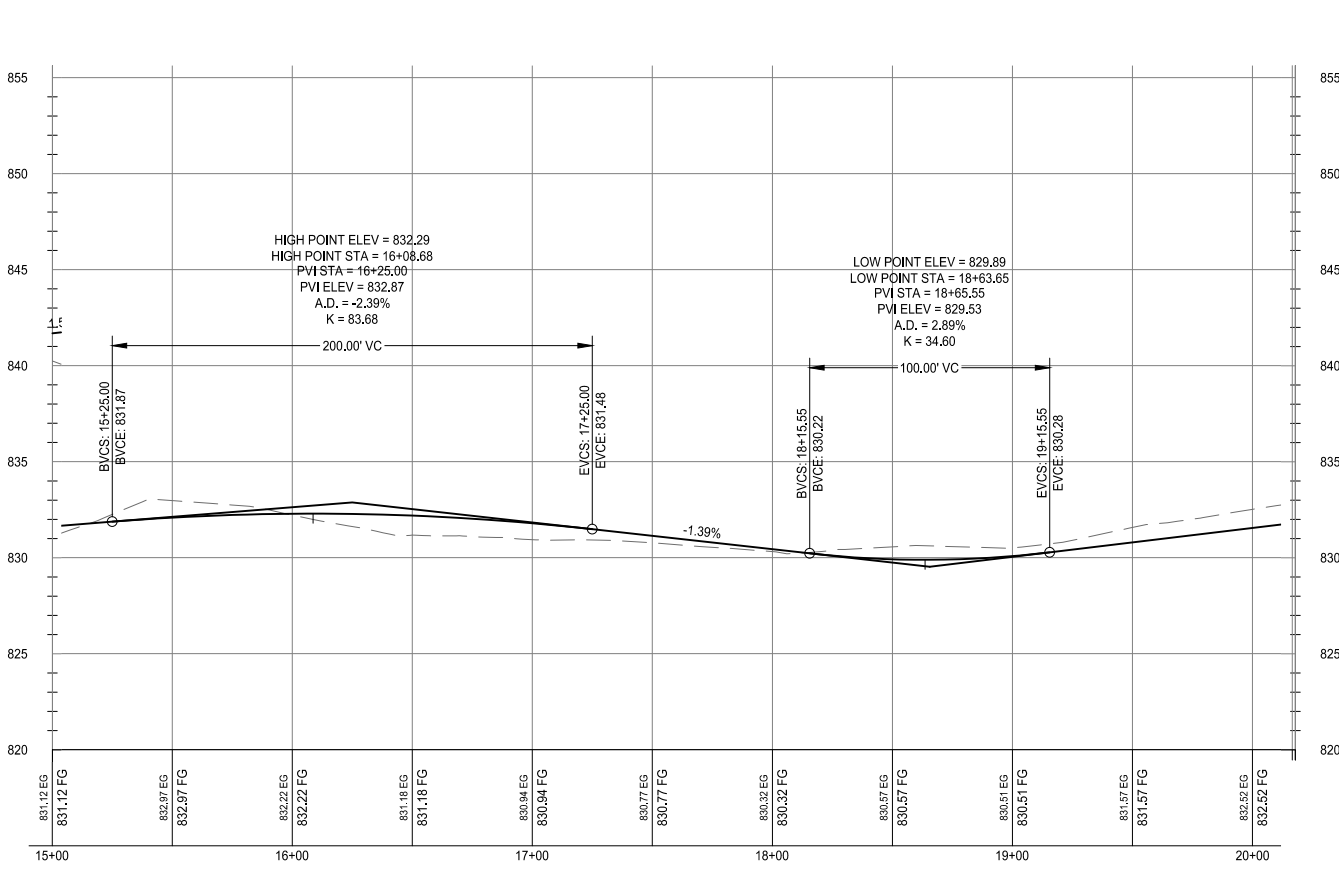
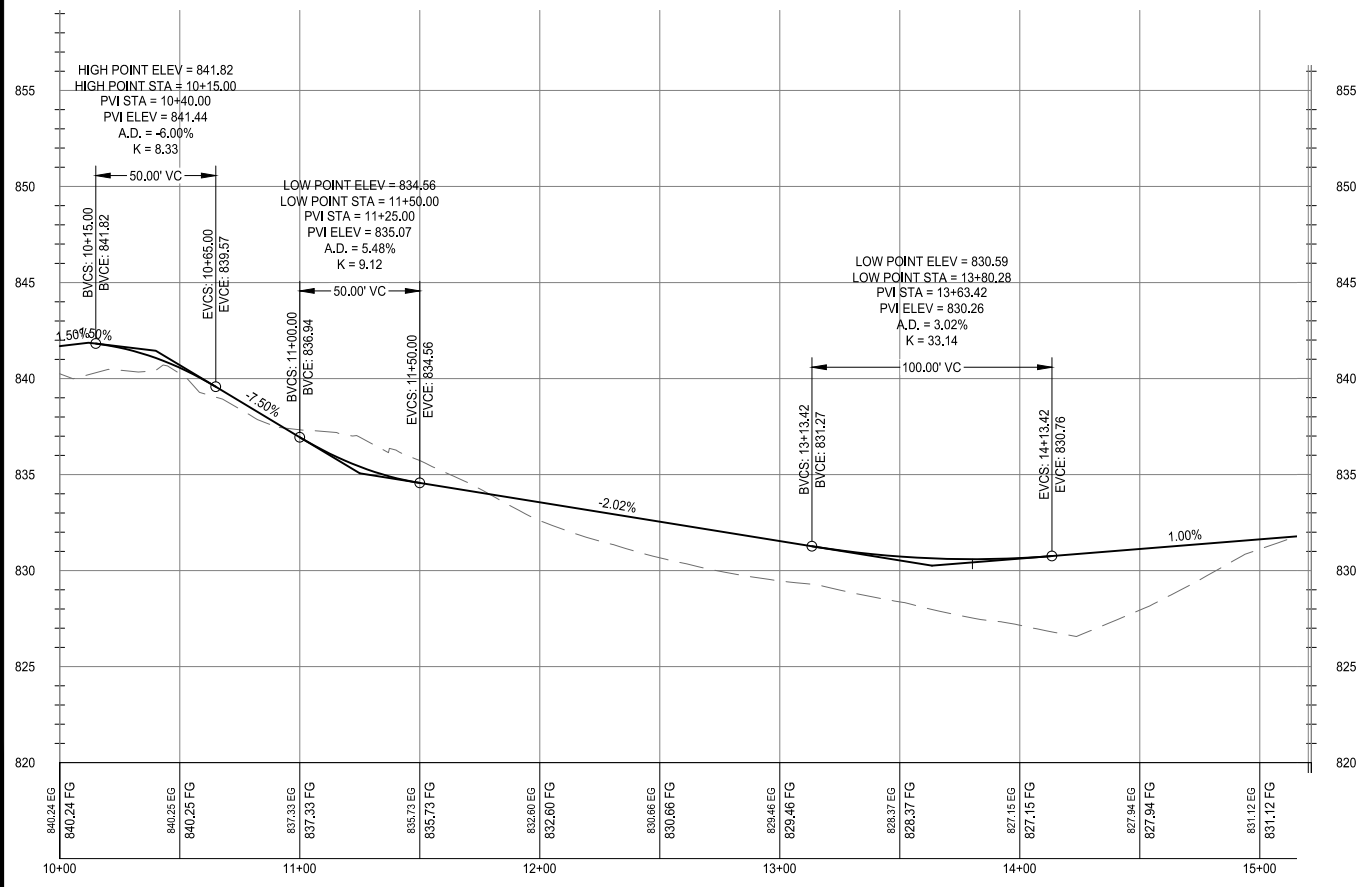
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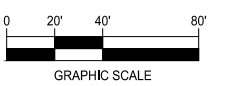
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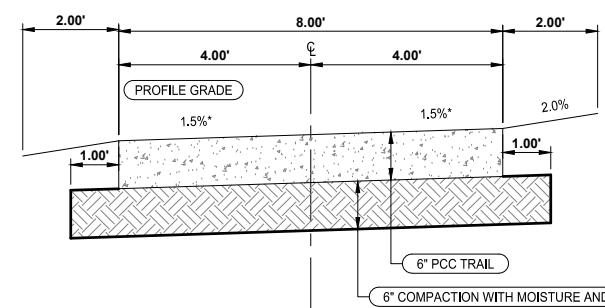
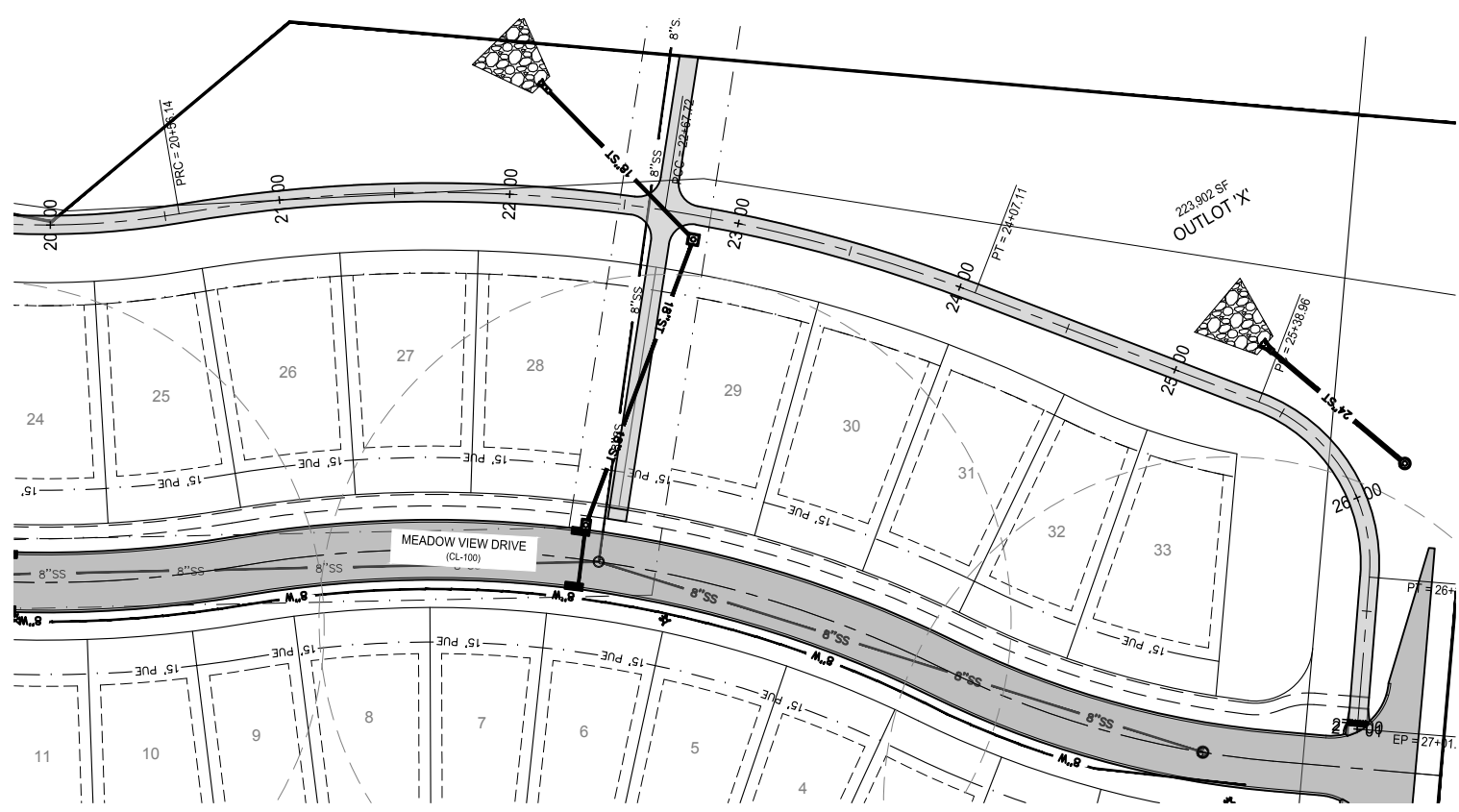
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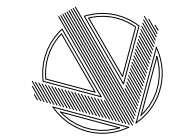
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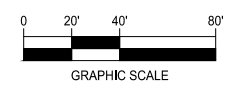
**NOTES**  
1) TYPICAL C JOINTS SPACING IS 10.0'

**PAVING  
PLAN & PROFILE**

**1) TYPICAL SECTION 8' PCC TRAIL**  
NOT TO SCALE



**NORTH**



**DANAMERE FARMS PLAT 10  
CONSTRUCTION DRAWINGS**

CARLISLE, IOWA  
2215013  
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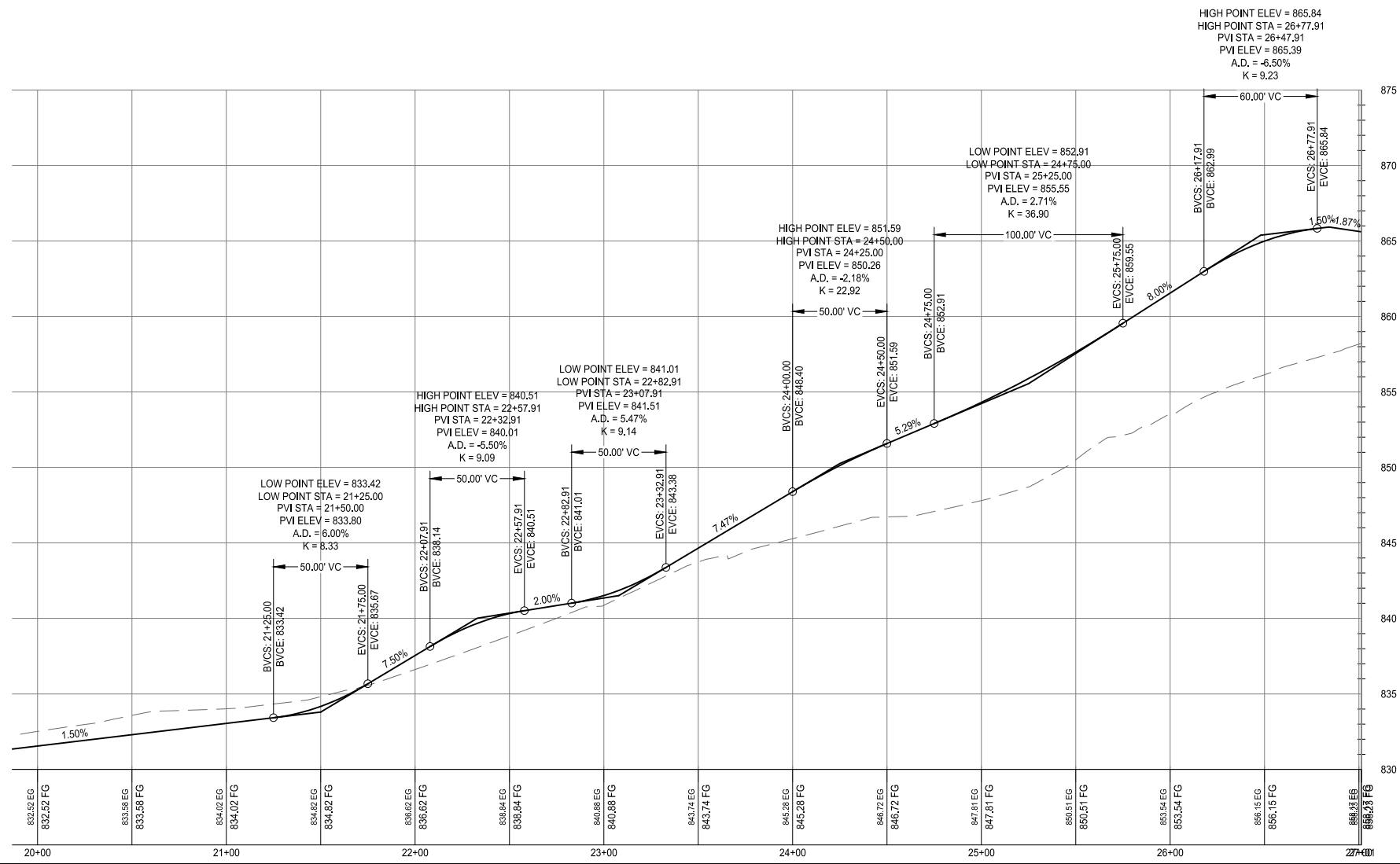
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MARCH 10, 2021

**ENGINEER**  
C. SMITH

**DRAWN BY**  
R. CORONA

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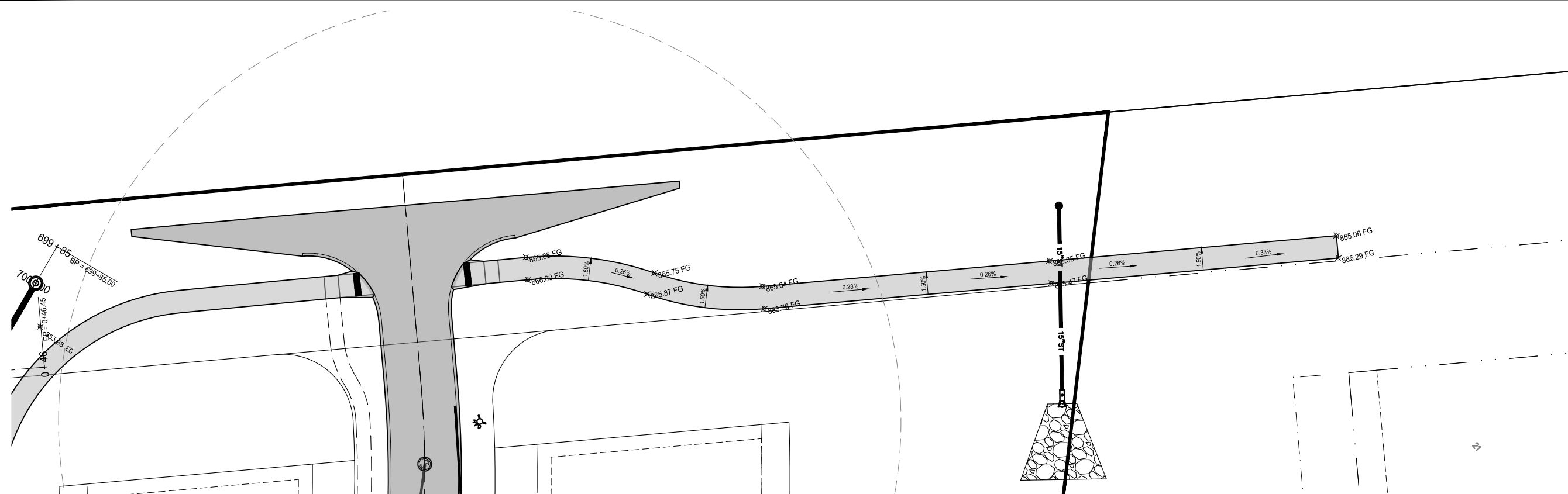
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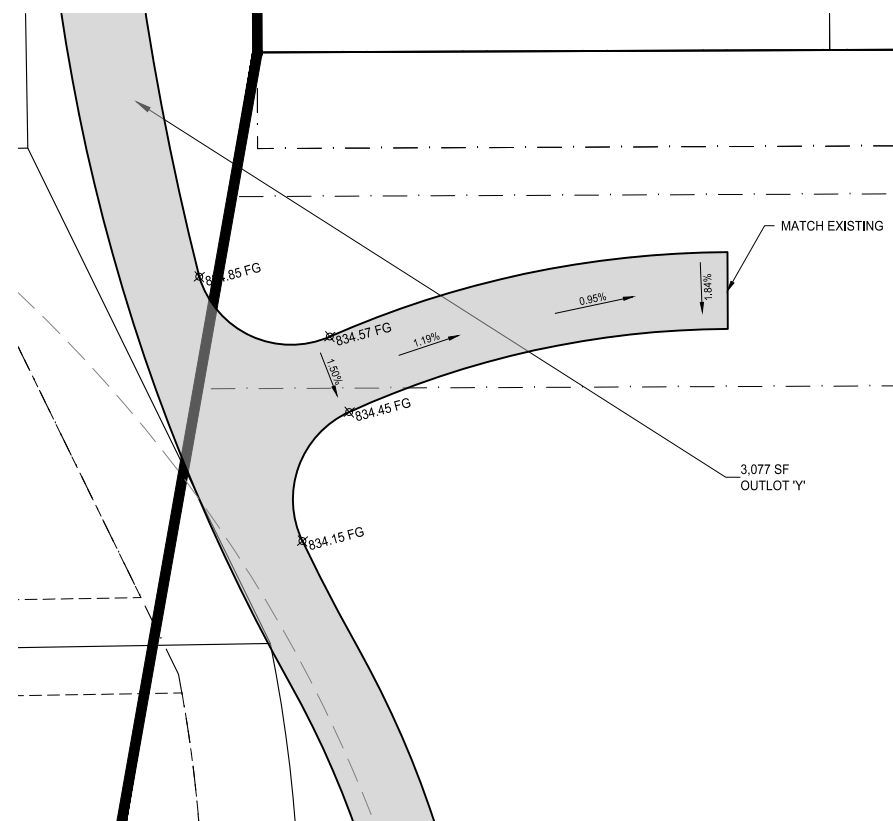
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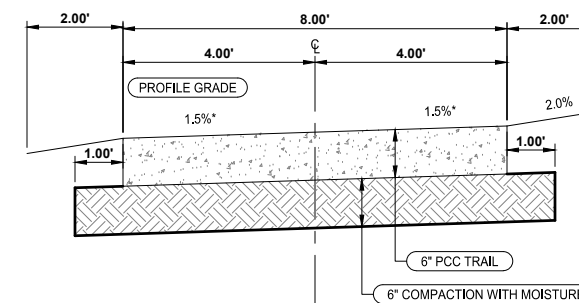
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**1** NW TRAIL DETAIL  
1" = 20'



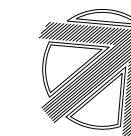
**2** NE TRAIL CONNECTION TO EXISTING DETAIL  
1" = 10'



NOTES  
1) TYPICAL C JOINTS SPACING IS 10.0'

**3** TYPICAL SECTION 8' PCC TRAIL  
NOT TO SCALE

**PAVING  
TRAIL DETAILS**



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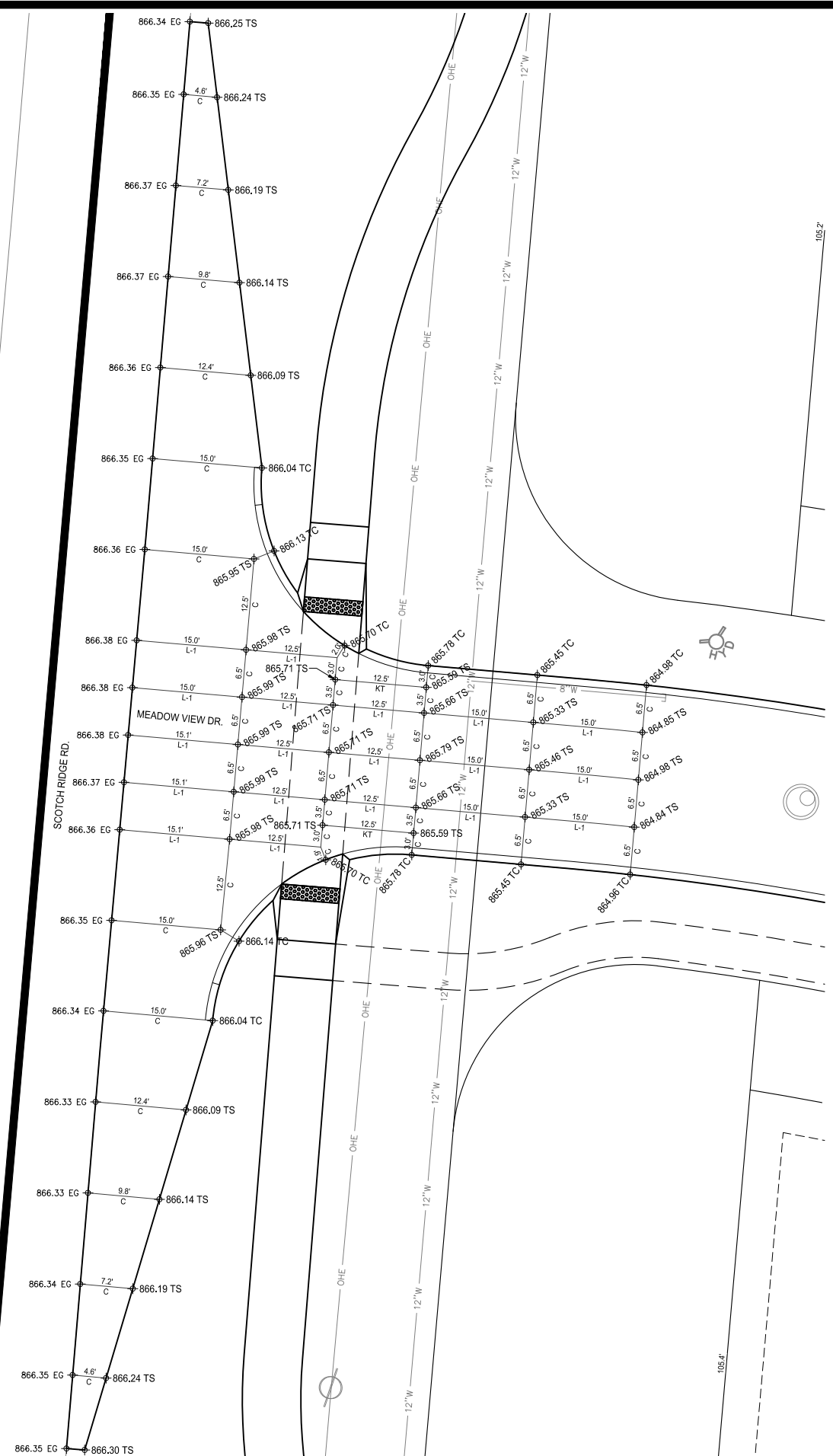
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DRAWN BY: R. CORONA  
CHECKED BY: FIELD BOOK NO.

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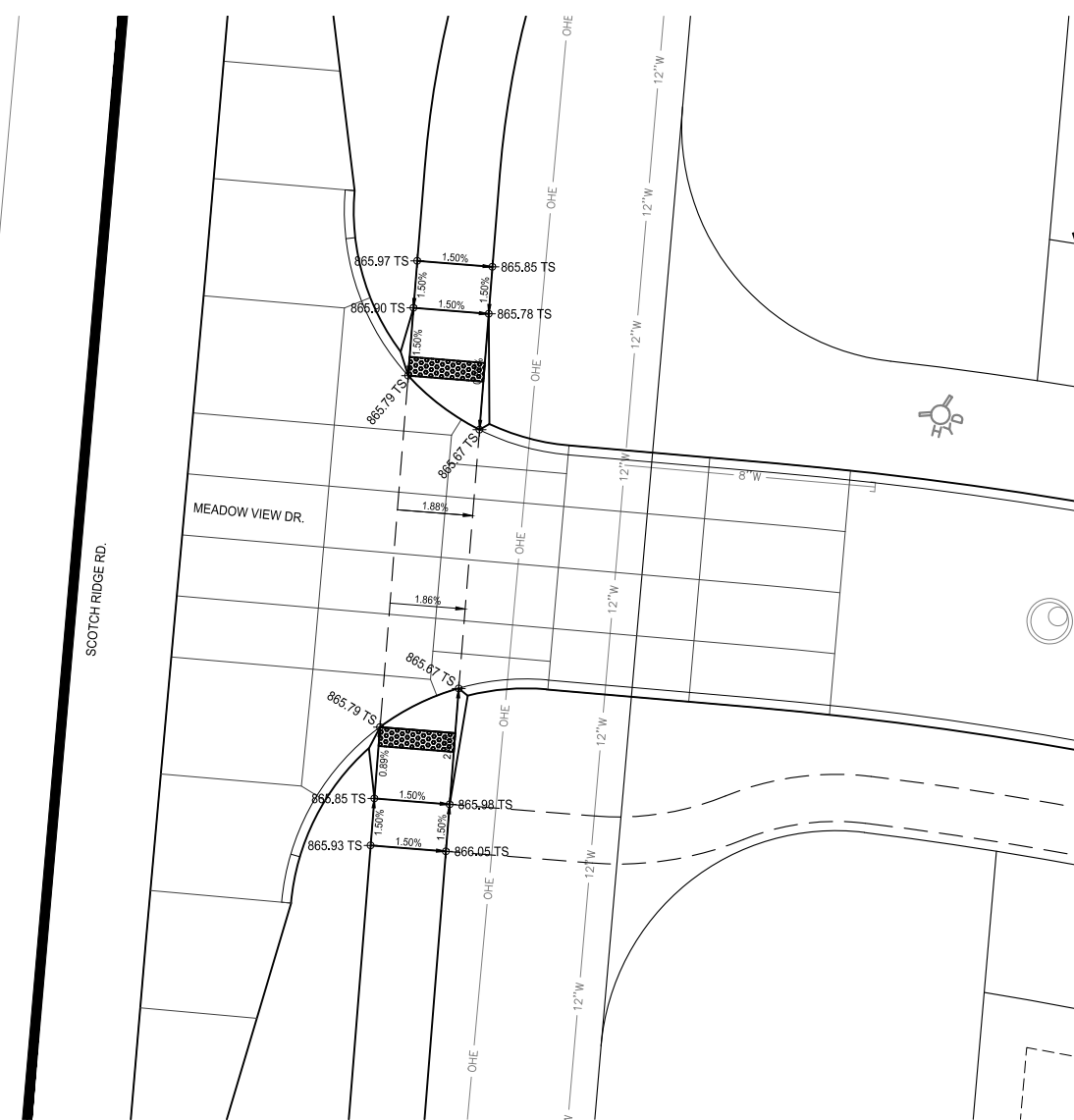
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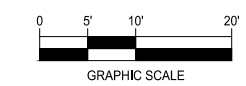


**4** INTERSECTION JOINTING - SCOTCH RIDGE RD. & MEADOW VIEW DR.  
SCALE: 1" = 10'



**5** ADA RAMP DESIGN - SCOTCH RIDGE RD. & MEADOW VIEW DR.  
SCALE: 1" = 10'

**JOINTING PLAN AND  
ADA RAMP DESIGN**



**DANAMERE FARMS PLAT 10  
CONSTRUCTION DRAWINGS**

CARLISE, IOWA  
2215013  
FEBRUARY 12, 2021

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MARCH 10, 2021

ENGINEER: C. SMITH  
DRAWN BY: R. CORONA  
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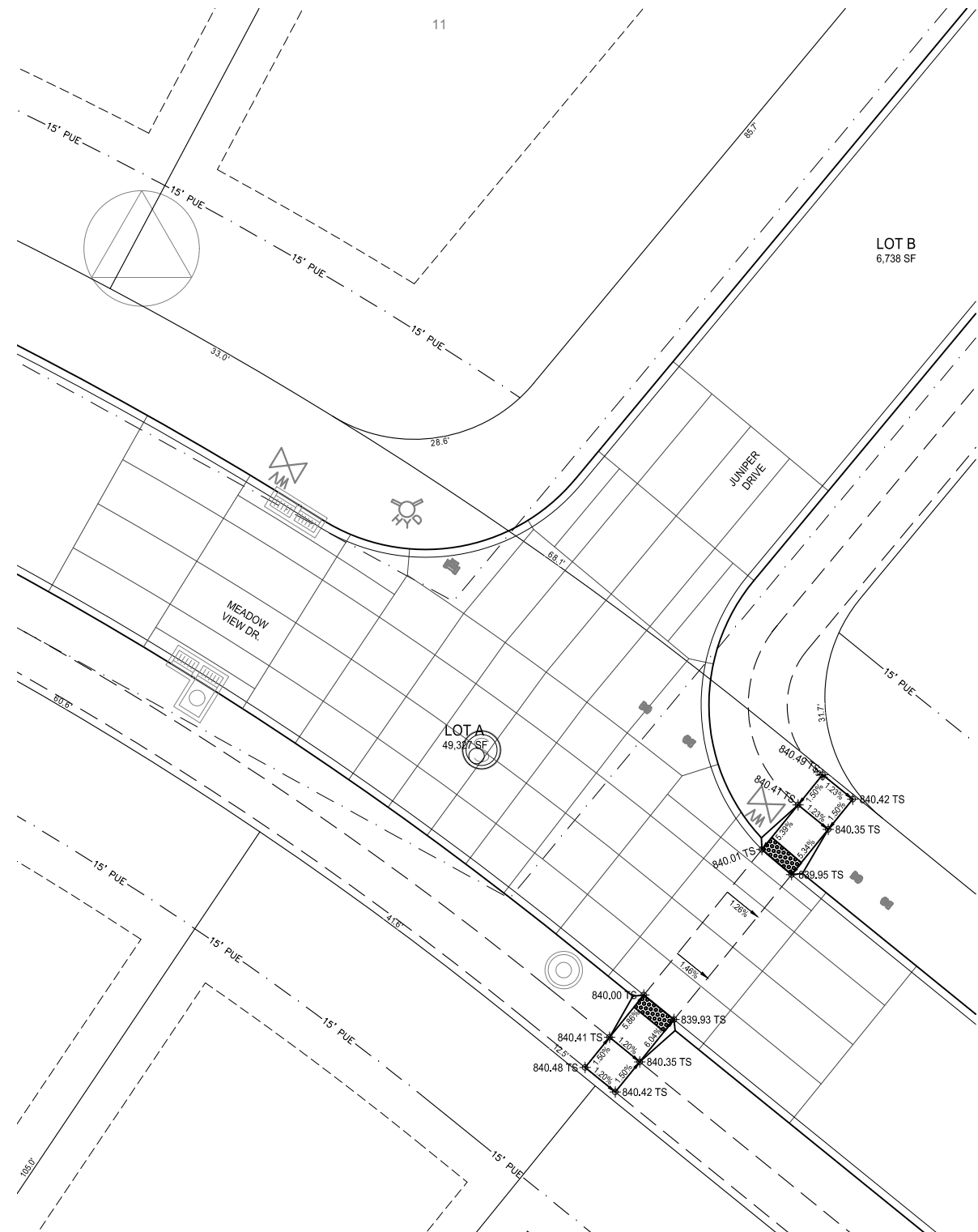
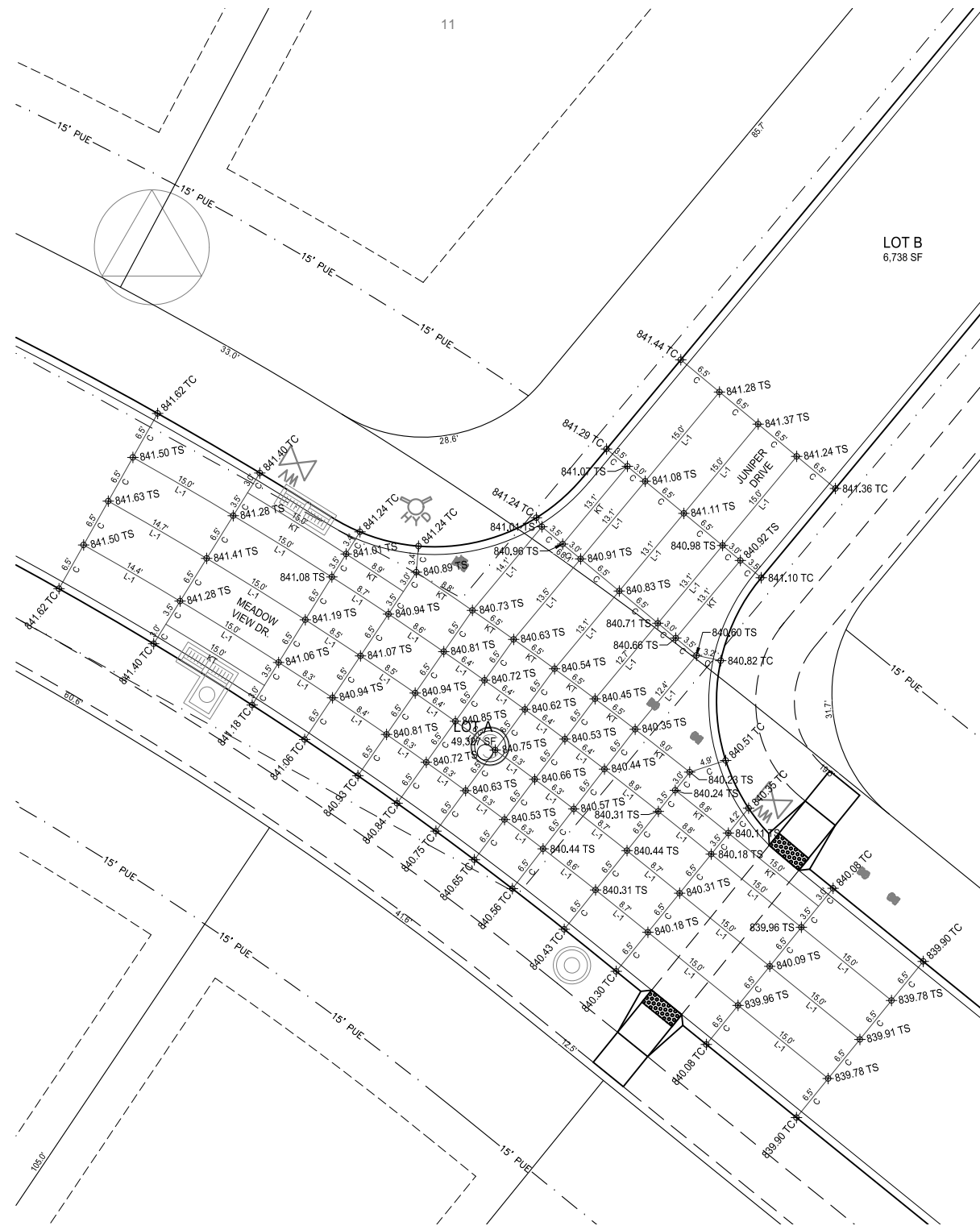
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**PRELIMINARY**



**6 INTERSECTION JOINTING - MEADOW VIEW DR. & JUNIPER DR.**  
SCALE: 1" = 10'

**7 ADA RAMP DESIGN - MEADOW VIEW DR. & JUNIPER DR.**  
SCALE: 1" = 10'

**JOINTING PLAN AND  
ADA RAMP DESIGN**



**NORTH**



GRAPHIC SCALE

**DANAMERE FARMS PLAT 10  
CONSTRUCTION DRAWINGS**

CARLISLE, IOWA  
2215013  
FEBRUARY 12, 2021

REVISIONS  
MARCH 10, 2021

ENGINEER  
**C. SMITH**

DRAWN BY  
**R. CORONA**

CHECKED BY

FIELD BOOK NO.

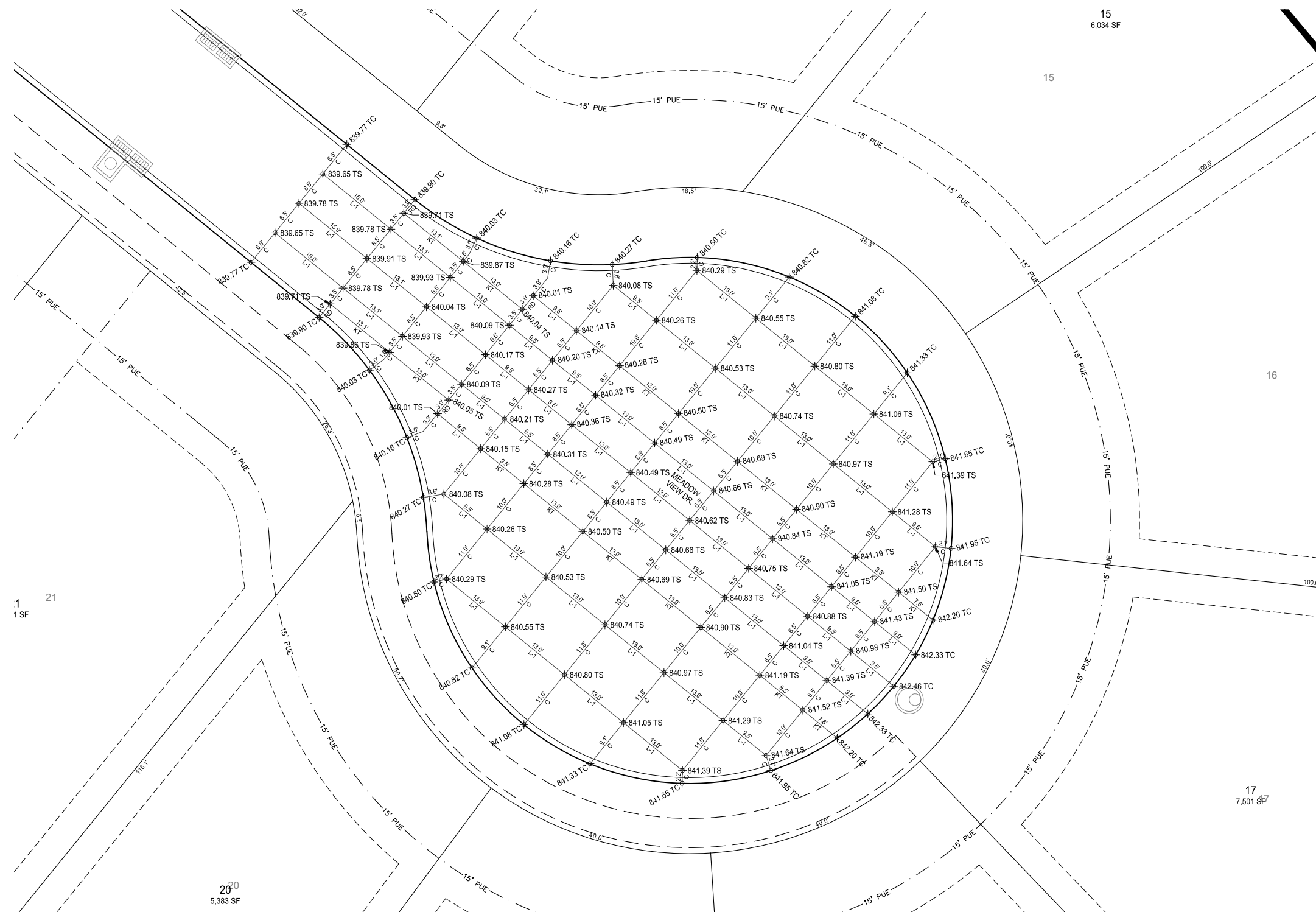
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**JT-02**

SHEET NO.  
**17 / 21**

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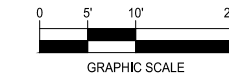
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**PRELIMINARY**



**8 CUL-DE-SAC JOINTING - MEADOW VIEW DR.**  
SCALE: 1" = 10'

**CUL-DE-SAC JOINTING**



**DANAMERE FARMS PLAT 10 CONSTRUCTION DRAWINGS**

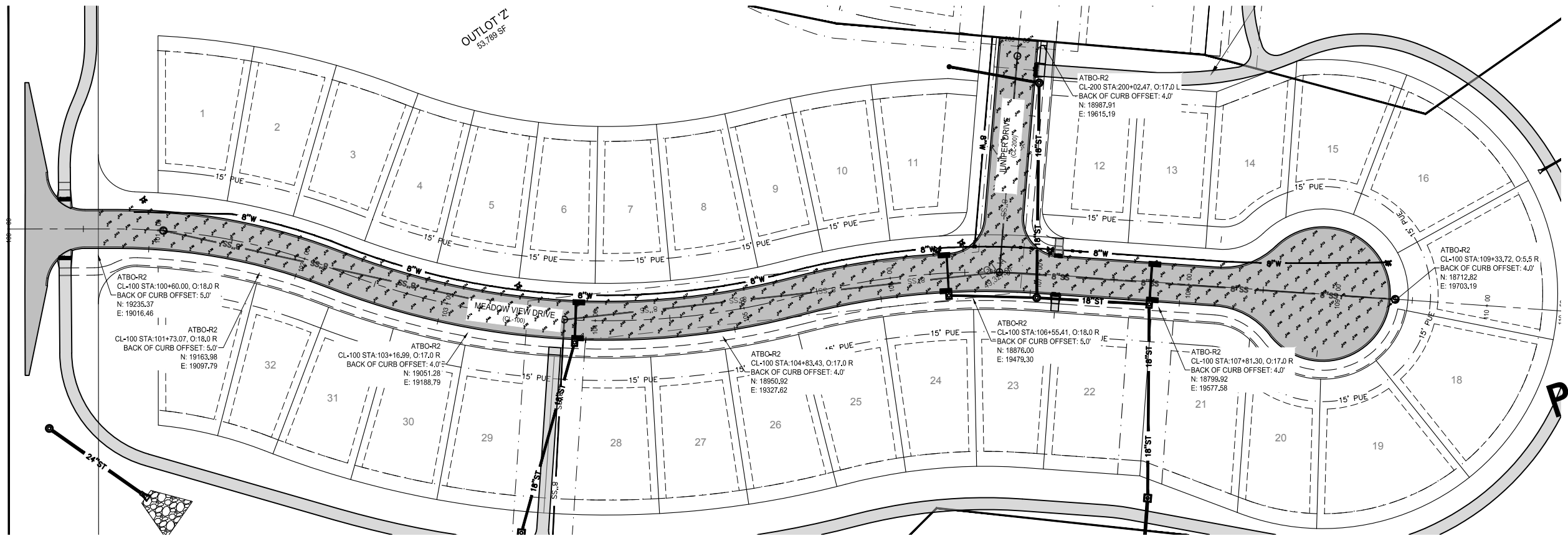
CARLISLE, IOWA  
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MARCH 10, 2021

ENGINEER: C. SMITH  
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CHECKED BY: \_\_\_\_\_  
FIELD BOOK NO.:

DRAWING NO. JT-03  
SHEET NO. 18 / 21





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**PRELIMINARY**

- NOTES:**
- ALL LIGHT POLES SHALL BE AS FOLLOWS:
    - MIDAMERICAN CODE 21-1738 POLE w/6' MAST ARM.
    - 30.0' MOUNTING HEIGHT ABOVE FINISHED GRADE.
    - POLE AND MAST ARM SHALL BE GALVANIZED.
  - ALL LIGHTS SHALL BE LED FIXTURES.
  - TOTAL NUMBER OF LIGHTS PROPOSED = 8 LIGHTS
  - CALCULATION ZONES ARE REPRESENTED BY COLOR
  - LIGHT POLES TYPICALLY PLACED 4.0' - 7.0' FROM BACK OF CURB, NO CLOSER THAN 4.0' TO BACK OF CURB. ADJUST AS NECESSARY TO AVOID CONFLICTS WITH STORM SEWER.

Statistics					
Description	Avg	Max	Min	Max/Min	Avg/Min
Calculation Zone	0.35 fc	0.78 fc	0.06 fc	13.0:1	5.8:1

Schedule											
QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	Lumen Multiplier	LLF	Wattage	Distribution
8	American Electric Lighting	ATB0 20BLEDE53 XXXXX R2	ATB0 SERIES 37W LED 525MA TYPE 2 4000K CCT	LED Array	1	ATB0_20BLEDE53_XXXXX_R2.ies	3807	1	0.85	37	TYPE II, MEDIUM, BUG RATING: B1 - U0 - G2

**Autobahn Series ATB0**  
Roadway Lighting



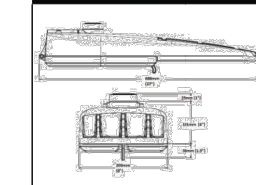
ORDERING INFORMATION

Example: ATB0 20BLEDE53 MVOLT R2

Series	Performance Packages	Voltage	Optics
ATB0 Autobahn LED Roadway, Small	20BLEDE53 20B Chips, 525mA Driver	MVOLT Multi-volt,120-277V	R2 Roadway Type II

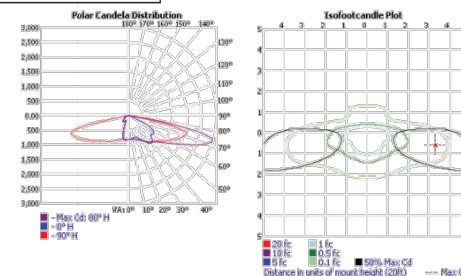
BK / XL	RFD200704	RFD Description
MISC	RFD200704	100W HPS NEMA label, "P" detail mounted below NEMA label and Mark Carton. MEC Item ID 323-332791
BK Black		
XL Not CSA listed		

DIMENSIONS



Performance Package	Drive Current	Input Watts	Optic	4000K CCT	Delivered Lumens	Efficacy (LPW)
10B	1050mA	38	R2	3895	102.5	

Effective Projected Area (EPA): The EPA for the ATB0 is 0.76 sq. ft. Approx. 95" x 14.5"



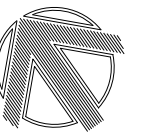
Note: Specifications subject to change without notice. Actual performance may differ as a result of



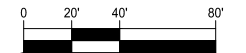
American Electric Lighting  
Acuity Brands Lighting, Inc.  
3825 Columbus Rd. S.W., Granville, OH 43023  
Phone: 800-537-5710 Fax: 740-587-6114  
www.americanelectriclighting.com

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Phone: 800-537-5710 Fax: 740-587-6114  
www.americanelectriclighting.com

LIGHTING PLAN



NORTH



GRAPHIC SCALE

DANAMERE FARMS PLAT 10  
CONSTRUCTION DRAWINGS

CARLISE, IOWA  
2215013  
FEBRUARY 12, 2021

REVISIONS  
MARCH 10, 2021

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DRAWING NO.  
LI-01  
SHEET NO.  
19 / 21








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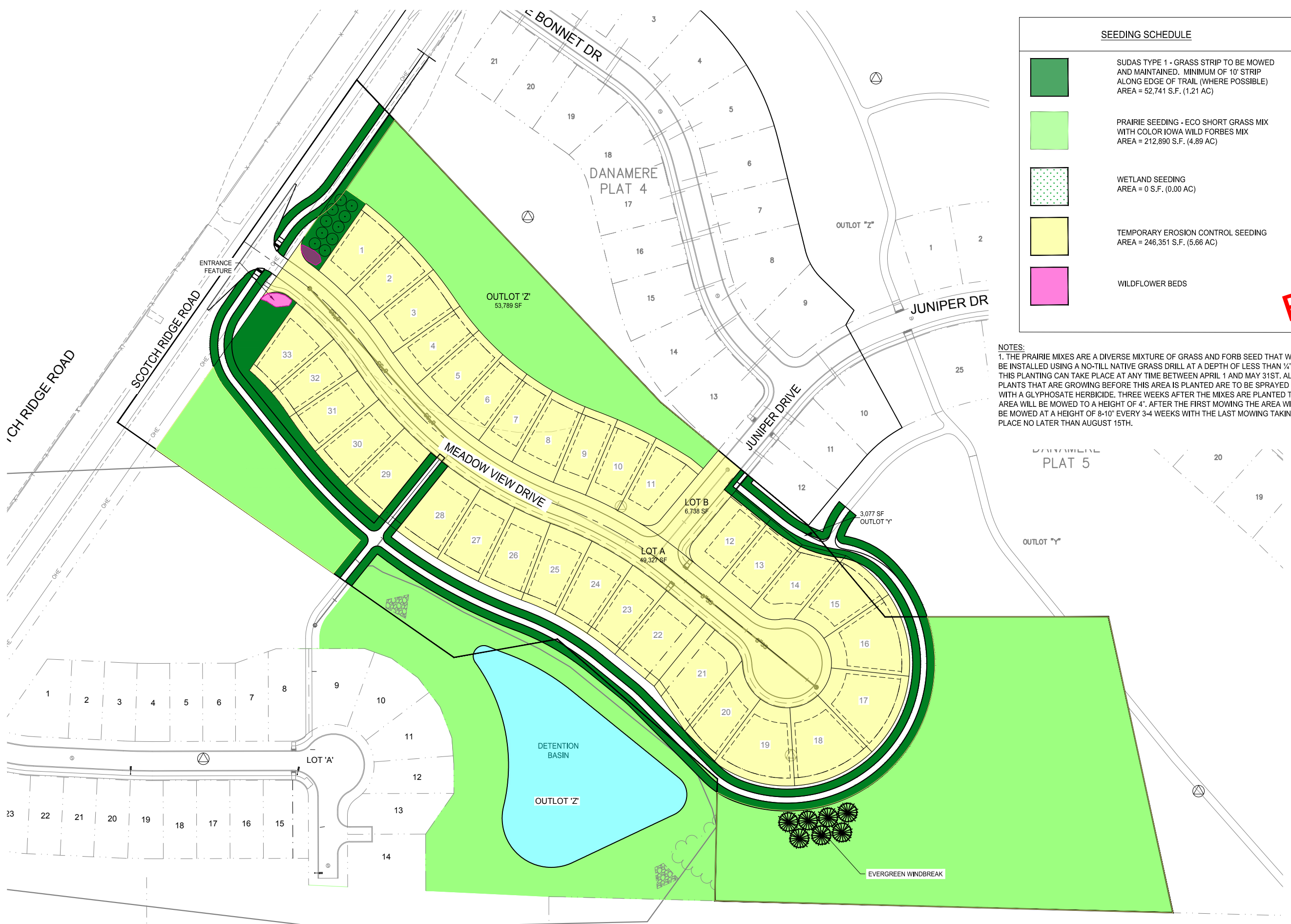
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**PRELIMINARY**

SEEDING SCHEDULE	
	SUDAS TYPE 1 - GRASS STRIP TO BE MOWED AND MAINTAINED. MINIMUM OF 10' STRIP ALONG EDGE OF TRAIL (WHERE POSSIBLE) AREA = 52,741 S.F. (1.21 AC)
	PRAIRIE SEEDING - ECO SHORT GRASS MIX WITH COLOR IOWA WILD FORBES MIX AREA = 212,890 S.F. (4.89 AC)
	WETLAND SEEDING AREA = 0 S.F. (0.00 AC)
	TEMPORARY EROSION CONTROL SEEDING AREA = 246,351 S.F. (5.66 AC)
	WILDFLOWER BEDS

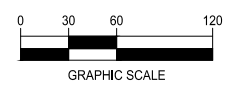
**NOTES:**  
1. THE PRAIRIE MIXES ARE A DIVERSE MIXTURE OF GRASS AND FORB SEED THAT WILL BE INSTALLED USING A NO-TILL NATIVE GRASS DRILL AT A DEPTH OF LESS THAN 1/4". THIS PLANTING CAN TAKE PLACE AT ANY TIME BETWEEN APRIL 1 AND MAY 31ST. ALL PLANTS THAT ARE GROWING BEFORE THIS AREA IS PLANTED ARE TO BE SPRAYED WITH A GLYPHOSATE HERBICIDE. THREE WEEKS AFTER THE MIXES ARE PLANTED THIS AREA WILL BE MOWED TO A HEIGHT OF 4". AFTER THE FIRST MOWING THE AREA WILL BE MOWED AT A HEIGHT OF 8-10" EVERY 3-4 WEEKS WITH THE LAST MOWING TAKING PLACE NO LATER THAN AUGUST 15TH.



**LANDSCAPE PLAN**



**NORTH**



**DANAMERE FARMS PLAT 10  
CONSTRUCTION DRAWINGS**

CARLISLE, IOWA  
2215013  
FEBRUARY 12, 2021

REVISIONS  
MARCH 10, 2021

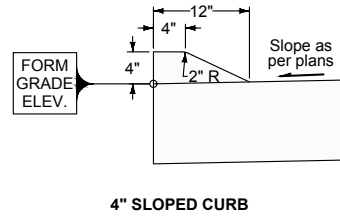
ENGINEER  
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DRAWN BY  
**R. CORONA**  
CHECKED BY  
FIELD BOOK NO.

DRAWING NO.  
**LA-01**  
SHEET NO.  
**20 / 21**

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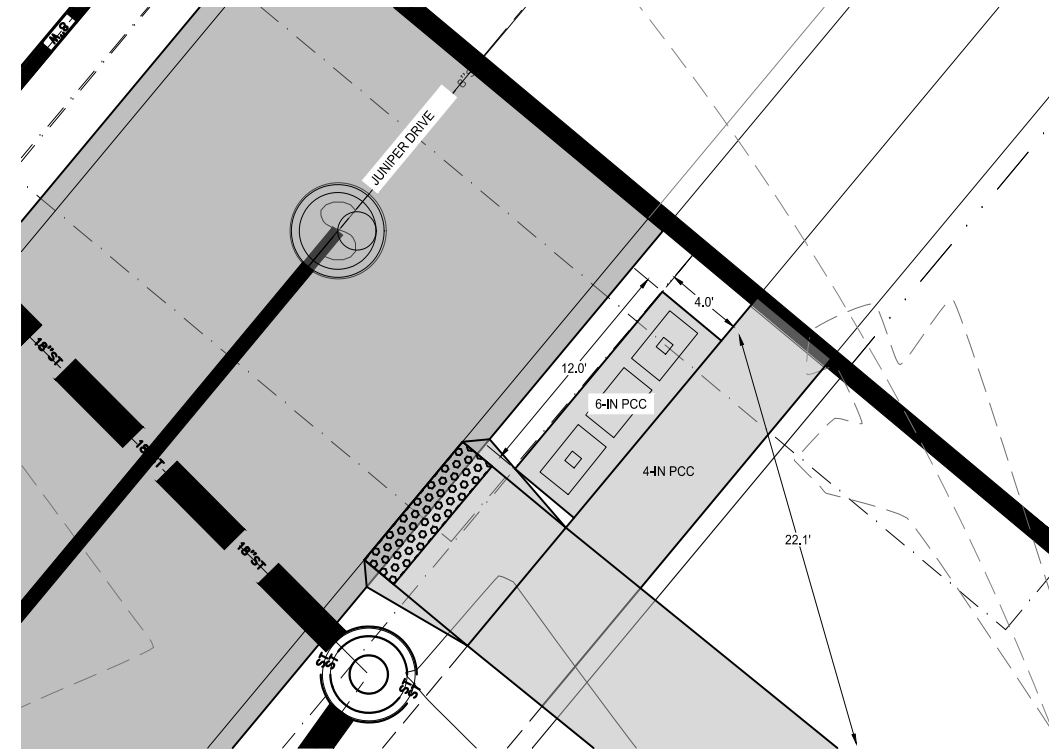
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4" SLOPED CURB

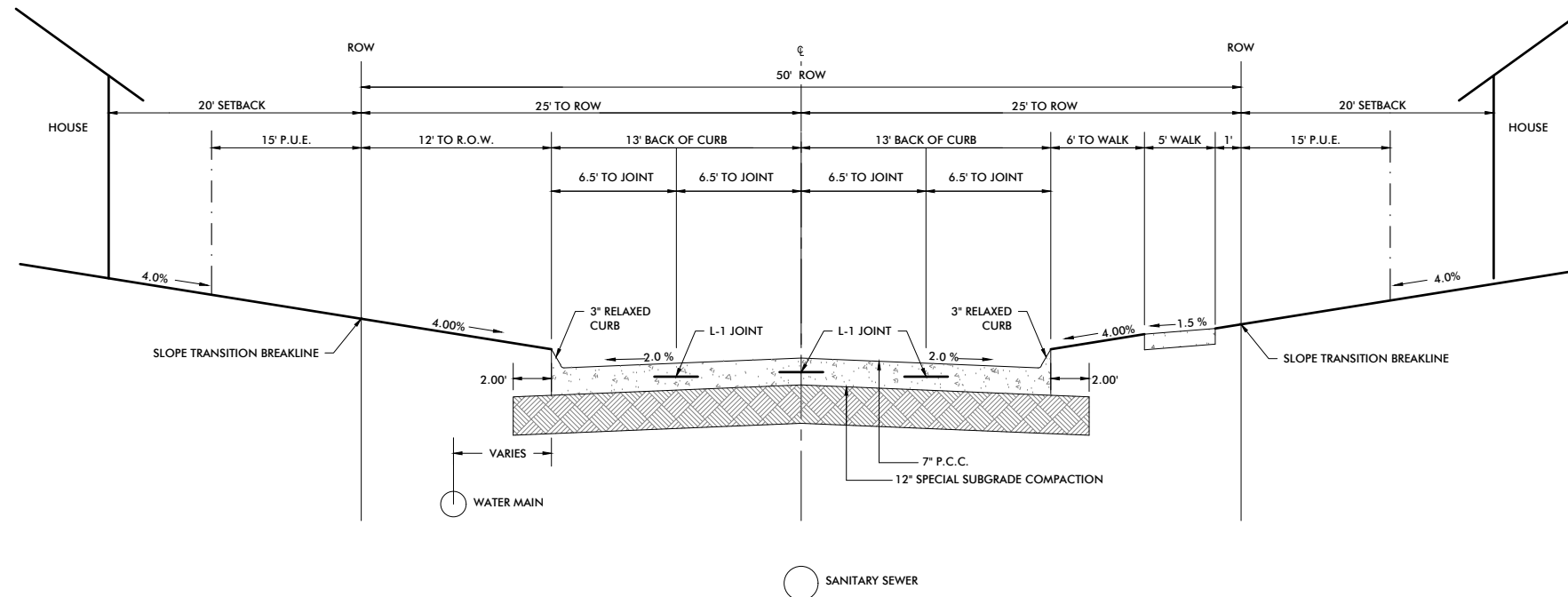
9 4" SLOPED CURB DETAIL  
NOT TO SCALE



10 MAILBOX SLAB DETAIL  
NOT TO SCALE

**PRELIMINARY**

DETAILS



TYPICAL PAVEMENT SECTION

11 26' BACK TO BACK PORTLAND CEMENT CONCRETE PAVEMENT  
NOT TO SCALE

DANAMERE FARMS PLAT 10  
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