

City of Carlisle, Iowa
Planning and Zoning Commission
Regular Meeting
July 19, 2021
7:00 P.M.
City Council Chambers – 100 N. 1st Street

Join Zoom Meeting - <https://us02web.zoom.us/j/9951930479>

Meeting ID: 995 193 0479

One tap mobile – Call 1-929-205-6099, enter 995-193-0479# when prompted

We encourage all videoconferencing or calling in to let staff know who you are for the record and then mute your microphone or phone until you would like to speak to provide a better overall experience.

Call to order

Determine quorum

New Business and Action Items

1. Discussion and Possible Action on Recommendation for Site Plan for School Parking Expansion Project
2. Discussion and Possible Action on Recommendation for Site Plan for 840 School Street
3. Discussion and Possible Action on Recommendation for Rezoning Request at 15797 Carter Street

Administrator/Engineer/Commission Reports

Reminder - Comprehensive Plan Presentation – August 16, 2021 Meeting

Adjournment

**** PLEASE NOTE THAT THIS AGENDA MAY CHANGE UP TO 24 HOURS PRIOR TO THE MEETING ****

July 15, 2021

Erin Ollendike, P.E.

Civil Design Advantage, LLC
3405 SE Crossroads Drive, Suite G
Grimes, IA 50111

Carlisle High School Parking Expansion (North) – Site Plan

City of Carlisle, Iowa
FOX P.N. 8666-18B.241

FOX Engineering & City Staff have completed the second review for the Carlisle High School Parking Expansion Site Plan submittal dated July 20, 2021 and offer the following comments:

General Notes:

1. The Developer has stated that permission has been granted for placement of a 6-ft tall chainlink fence with slats between parking and existing residential lot at the NE corner of the parking lot. The Developer is responsible for working with the adjacent property owner on color of slats if that is an issue. It is assumed that the chainlink fence with slats is sufficient to meet the landscape screening requirement between parking lots and residential uses.

Sheet C3.0 – Dimension Plan:

2. A waiver is required to place the parking lot within 10-ft of the residential property (See 165.06, 5, F, 2). Please submit a formal waiver request letter to the City prior to the meeting on Monday.

Sheet C4.1 – Grading Plan:

3. There is grading shown on the Bradley/Carmel Petersen property beyond the ingress/egress easement shown. Please show a temporary easement and/or clarify that permission is granted for this work.

Sheet C7.0 – Landscape Plan:

4. Per 165.06, 5, F, 9 of the Code, shrubs and earth berms shall be utilized along the front yard. I understand that parking elsewhere on the property doesn't require this, however, a waiver request is required from Council to waive this requirement. Please provide a formal letter to request this waiver.

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN REVIEW SCHEDULE:

PLANNING & ZONING:

July 19, 2021 at 7:00pm at the Carlisle City Hall

COUNCIL MEETING:

July 26, 2021 at 6:30pm at the Carlisle City Hall

If you have any questions or concerns, please contact Mitch Holtz (515) 233-0000. The City reserves the right to modify or add to these comments.

FOX ENGINEERING ASSOCIATES, INC.



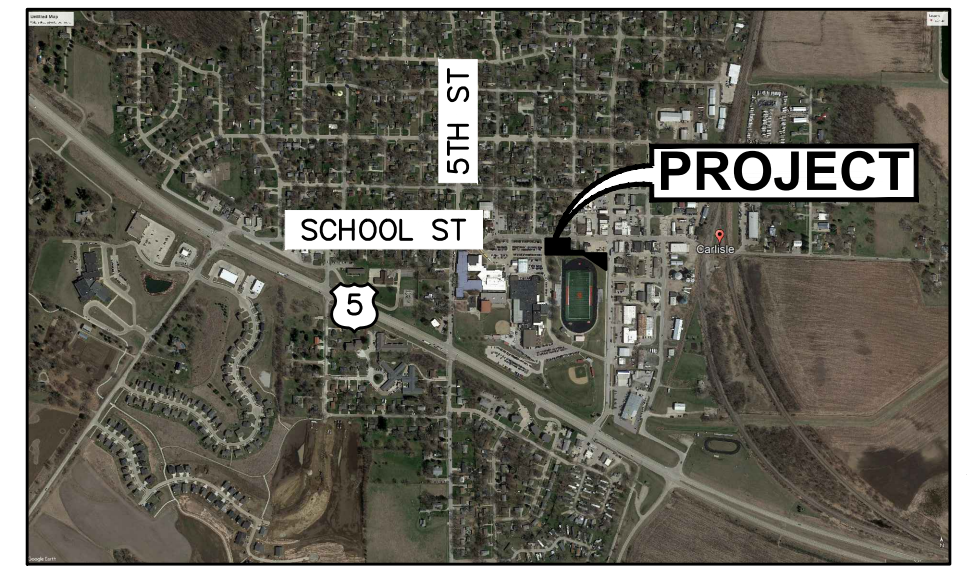
Mitch Holtz, P.E.

Copy to:

Deven Markley, City Administrator

SITE PLAN FOR: CARLISLE HIGH SCHOOL PARKING EXPANSION

VICINITY MAP NOT TO SCALE



OWNER / APPLICANT

CARLISLE COMMUNITY SCHOOLS
430 SCHOOL ST
CARLISLE, IOWA 50047
PH. (515) 989-3589

ARCHITECT

DLR GROUP
CONTACT: ERIC BERON
1430 LOCUST STREET, SUITE 200
DES MOINES, IOWA 50309
PH. (515) 276-8097

ENGINEER

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: ERIN OLLENDIKE
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH. (515) 369-4400
FX. (515) 369-4410

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: MIKE BRONER
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH. (515) 369-4400
FX. (515) 369-4410

SUBMITTAL DATES

-SITE PLAN SUBMITTAL TO CITY #1: 06/18/2021
-SITE PLAN SUBMITTAL TO CITY #1: 07/14/2021

DATE OF SURVEY

MARCH 5, 2021

BENCHMARKS

BURY BOLT ON HYDRANT ALONG EAST RIGHT OF WAY OF WILDCAT STREET 200'± SOUTH OF SCHOOL STREET. ELEVATION = 822.76
BURY BOLT ON HYDRANT AT NORTHEAST QUADRANT OF SCHOOL STREET AND N 3RD STREET. ELEVATION = 824.45

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = AUGUST 2021
ANTICIPATED FINISH DATE = JANUARY 2022

SITE PLAN FOR:

CARLISLE, IOWA

INDEX OF SHEETS

NO.	DESCRIPTION
C1.0	COVER SHEET
C2.0	DEMOLITION PLAN
C3.0	DIMENSION PLAN
C4.0-C4.1	GRADING PLAN
C5.0	EROSION & SEDIMENT CONTROL PLAN
C6.0	UTILITY PLAN
C7.0	LANDSCAPE PLAN
C8.0	JOINTING PLAN
C9.0-C9.1	DETAILS
ES1.1	ELECTRICAL SITE PLAN

CITY OF CARLISLE GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF CARLISLE SUPPLEMENTAL SPECIFICATIONS.
- A PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING WITH THE CITY OF CARLISLE & FOX ENGINEERING.
- THE CITY OF CARLISLE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK. CALL CITY OF CARLISLE (TOMMY THOMPSON 515-505-4299) & FOX ENGINEERING (MITCH HOLTZ 515-233-0000).
- ALL PERMITS (IDNR, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- ALL UTILITY CONTRACTORS AND/OR OWNERS SHALL BE RESPONSIBLE TO PROVIDE THE CITY OF CARLISLE WITH "AS-BUILT" DRAWINGS OF ALL IMPROVEMENTS.
- A SIGNAGE LIST SHOULD BE SUBMITTED BY THE CONTRACTOR TO THE CITY OF CARLISLE. PUBLIC WORKS WILL VERIFY THE LIST AND ORDER THE SIGNS FROM A LIST OF APPROVED VENDORS. THE CONTRACTOR WILL THEN BE RESPONSIBLE FOR PICKING UP THE SIGNS ONCE DELIVERED TO PUBLIC WORKS AND PLACING THEM IN THE LOCATIONS IDENTIFIED ON THE SIGNAGE PLAN. THE COST OF SIGNS AND RELATED HARDWARE WILL BE BILLED TO THE CONTRACTOR.
- ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS.
- WE ENCOURAGE YOU TO CONTACT THE CITY OF CARLISLE WITH INFORMATION ON ANY SIGNIFICANT WORK BEING DONE OR POTENTIAL ISSUES AS THEY GENERALLY GET THE FIRST CALLS FROM NEIGHBORS WITH QUESTIONS OR CONCERNS. KEEPING THE CITY INFORMED OF PROGRESS OR SIGNIFICANT ISSUES CAN HELP YOU AVOID POTENTIAL CONFLICTS OR ISSUES WITH SURROUNDING property owners.

GENERAL LEGEND

PROPOSED	EXISTING
PROJECT BOUNDARY	SANITARY MANHOLE
LOT LINE	WATER VALVE BOX
SECTION LINE	FIRE HYDRANT
CENTER LINE	WATER CURB STOP
RIGHT OF WAY	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-503 STORM INTAKE	FLARED END SECTION
TYPE SW-505 STORM INTAKE	ROOF DRAIN/ DOWNSPOUT
TYPE SW-506 STORM INTAKE	DECIDUOUS TREE
TYPE SW-513 STORM INTAKE	CONIFEROUS TREE
TYPE SW-401 STORM MANHOLE	DECIDUOUS SHRUB
TYPE SW-402 STORM MANHOLE	CONIFEROUS SHRUB
TYPE SW-301 SANITARY MANHOLE	ELECTRIC POWER POLE
STORM/SANITARY CLEANOUT	GUY ANCHOR
WATER VALVE	STREET LIGHT
FIRE HYDRANT ASSEMBLY	POWER POLE W/ TRANSFORMER
SIGN	UTILITY POLE W/ LIGHT
DETECTABLE WARNING PANEL	ELECTRIC BOX
STORM SEWER STRUCTURE NO.	ELECTRIC TRANSFORMER
STORM SEWER PIPE NO.	ELECTRIC MANHOLE OR VAULT
SANITARY SEWER STRUCTURE NO.	TRAFFIC SIGN
SANITARY SEWER PIPE NO.	TELEPHONE JUNCTION BOX
SANITARY SEWER WITH SIZE	TELEPHONE MANHOLE/VAULT
SANITARY SERVICE	TELEPHONE POLE
STORM SEWER	GAS VALVE BOX
STORM SERVICE	CABLE TV JUNCTION BOX
WATERMAIN WITH SIZE	CABLE TV MANHOLE/VAULT
WATER SERVICE	MAIL BOX
SAWCUT (FULL DEPTH)	BENCHMARK
SILT FENCE	SOIL BORING
USE AS CONSTRUCTED	UNDERGROUND TV CABLE
(U.A.C.)	GAS MAIN
	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE



UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF CARLISLE GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

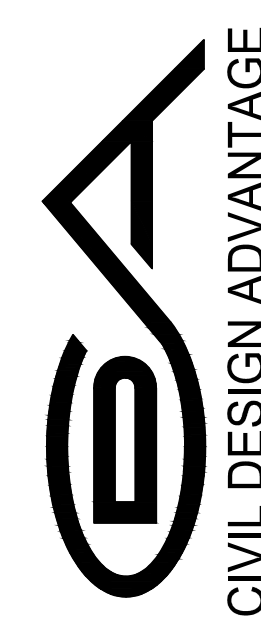
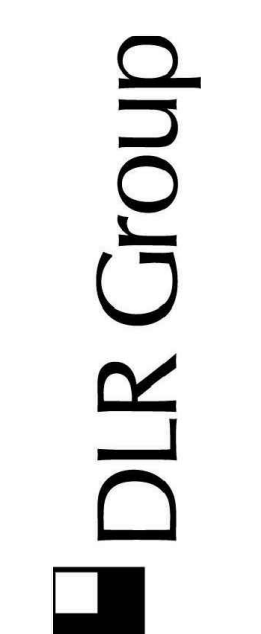
ERIN K. OLLENDIKE
16926
IOWA

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

ERIN K. OLLENDIKE, P.E. _____ DATE _____

LICENSE NUMBER 16926
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2021
PAGES OR SHEETS COVERED BY THIS SEAL:
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PRELIMINARY



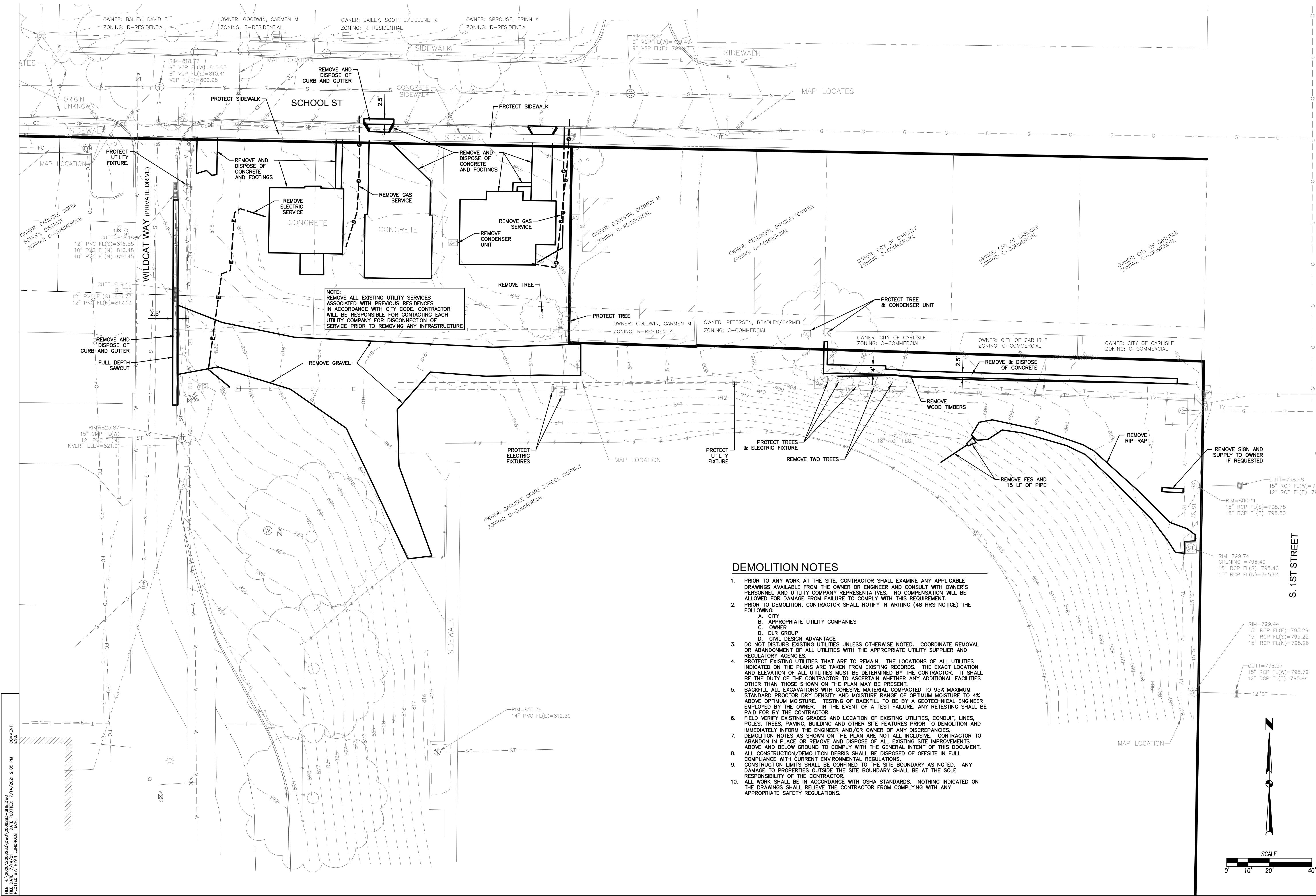
CARLISLE HIGH SCHOOL PARKING EXPANSION
 CARLISLE COMMUNITY SCHOOL DISTRICT
 430 SCHOOL STREET
 CARLISLE, IA 50047

CONSTRUCTION DOCUMENTS
07-20-21
REVISIONS

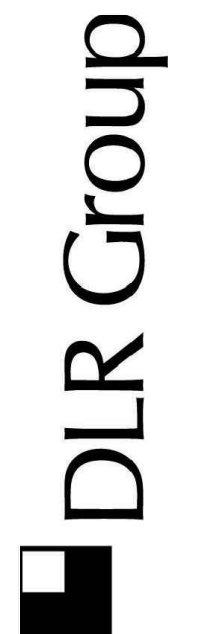

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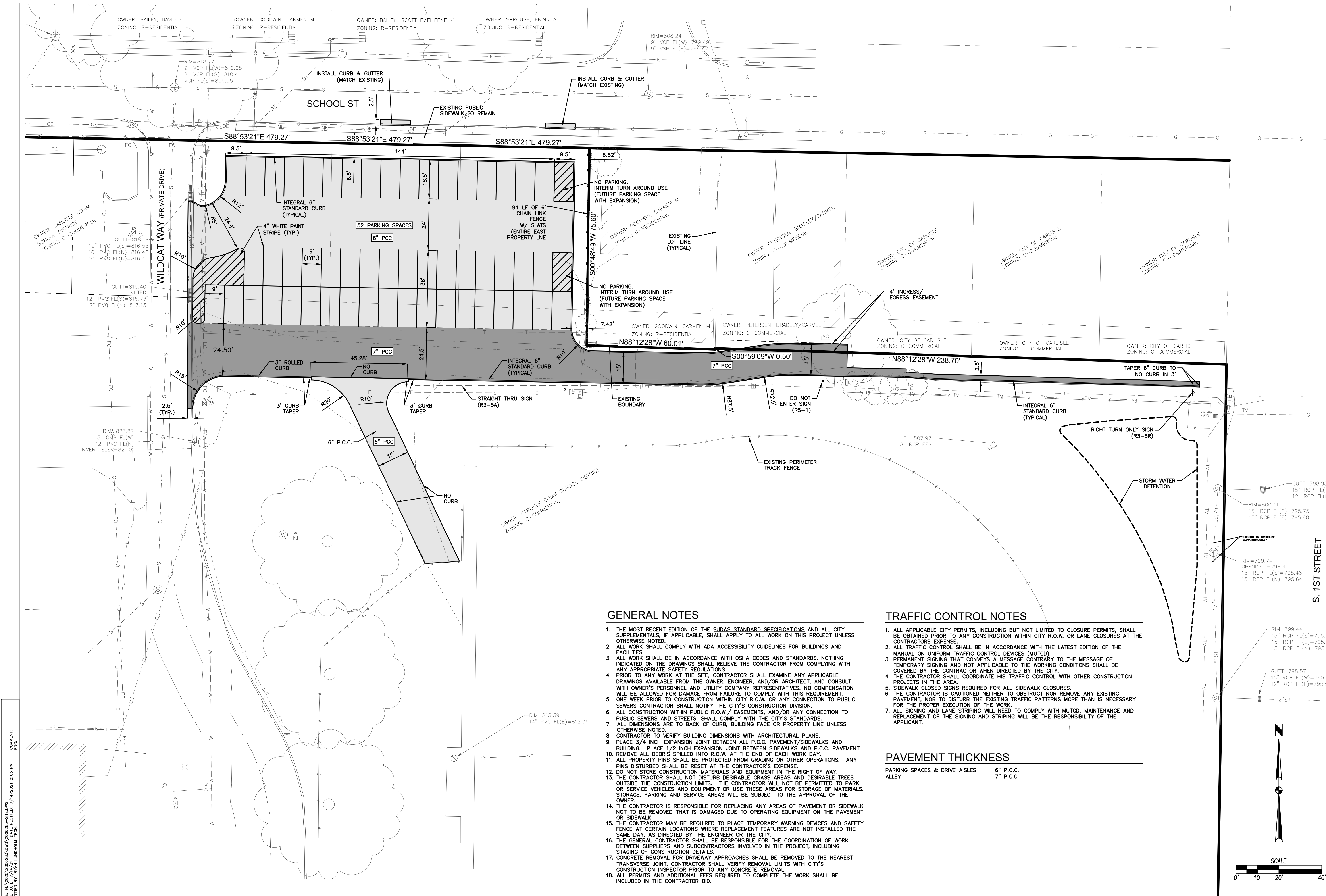
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 CIVIL DESIGN ADVANTAGE
 # 2006.283

**CARLISLE HIGH SCHOOL PARKING
 EXPANSION**
 CARLISLE COMMUNITY SCHOOL DISTRICT
 430 SCHOOL STREET
 CARLISLE, IA 50047

**CONSTRUCTION
 DOCUMENTS**
 07-20-21
 REVISIONS

11-15112-61
**DEMOLITION
 PLAN**
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GENERAL NOTES

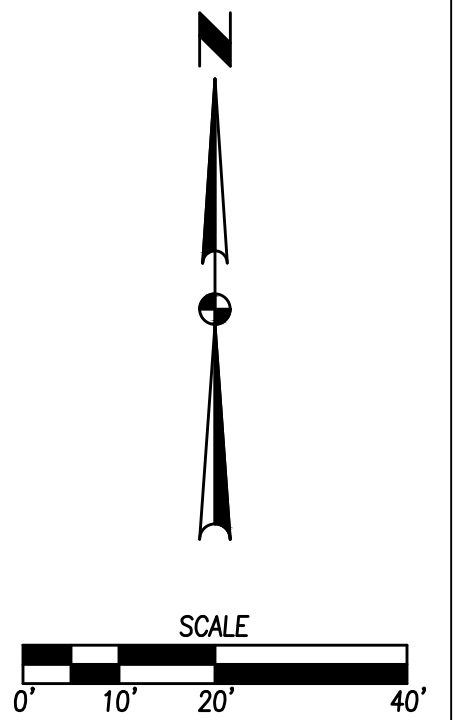
1. THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS, AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.

TRAFFIC CONTROL NOTES

1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES AT THE CONTRACTOR'S EXPENSE.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

PAVEMENT THICKNESS

PARKING SPACES & DRIVE AISLES	6" P.C.C.
ALLEY	7" P.C.C.



DLR Group

ESA
CIVIL DESIGN ADVANTAGE
2006.283

CARLISLE HIGH SCHOOL PARKING EXPANSION

CARLISLE COMMUNITY SCHOOL DISTRICT
430 SCHOOL STREET
CARLISLE, IA 50047

CONSTRUCTION DOCUMENTS
07-20-21
REVISIONS

11-15112-61

DIMENSION PLAN

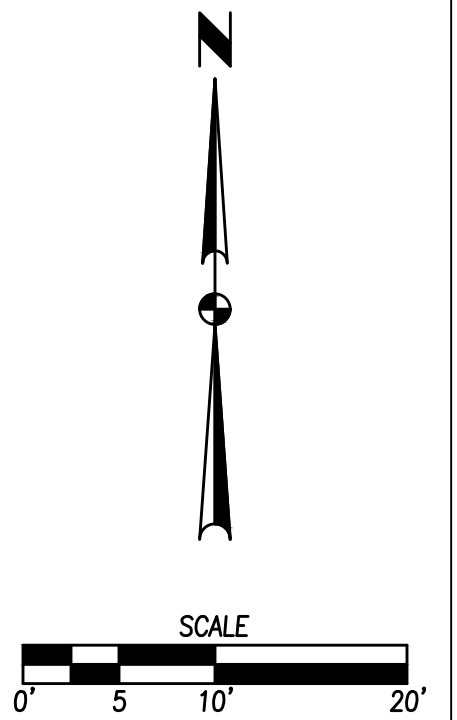
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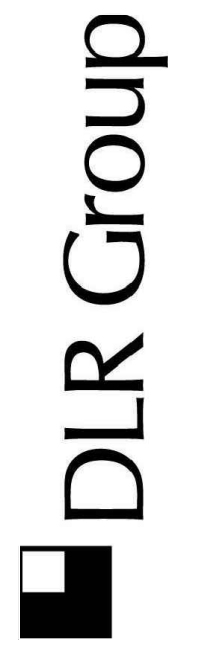



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GRADING NOTES

- CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
- EXCAVATION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS, AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
- MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
- ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
- SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
- SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
- REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
- FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
- SIDEWALKS:
 MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.
- THE GRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM SEWER SYSTEM (IF APPLICABLE), AND THE INSTALLATION OF THE ORIFICE PLATE (IF APPLICABLE) SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/ INSTALLED AS SOON AS PRACTICAL.



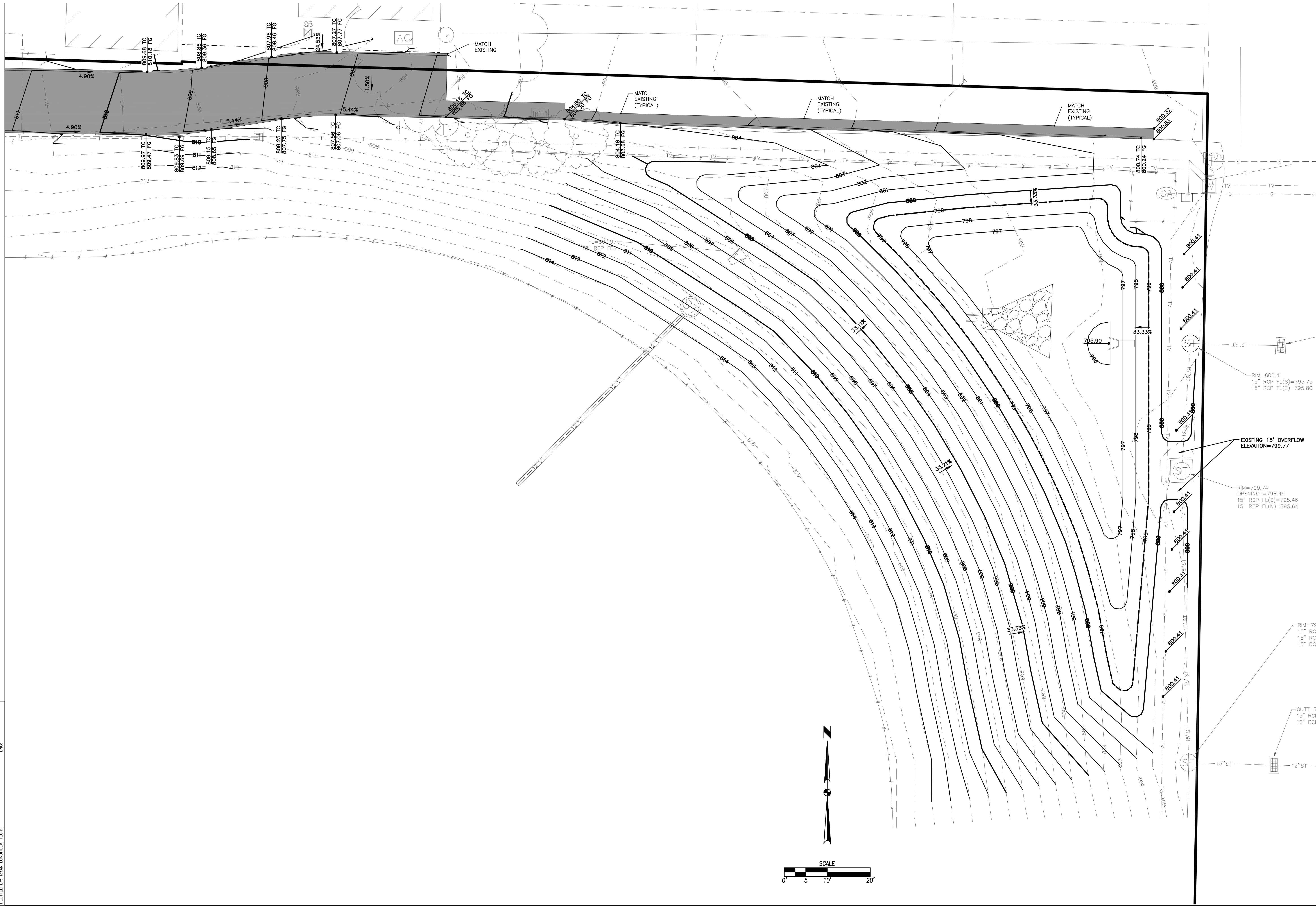


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GRADING PLAN
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DLR Group

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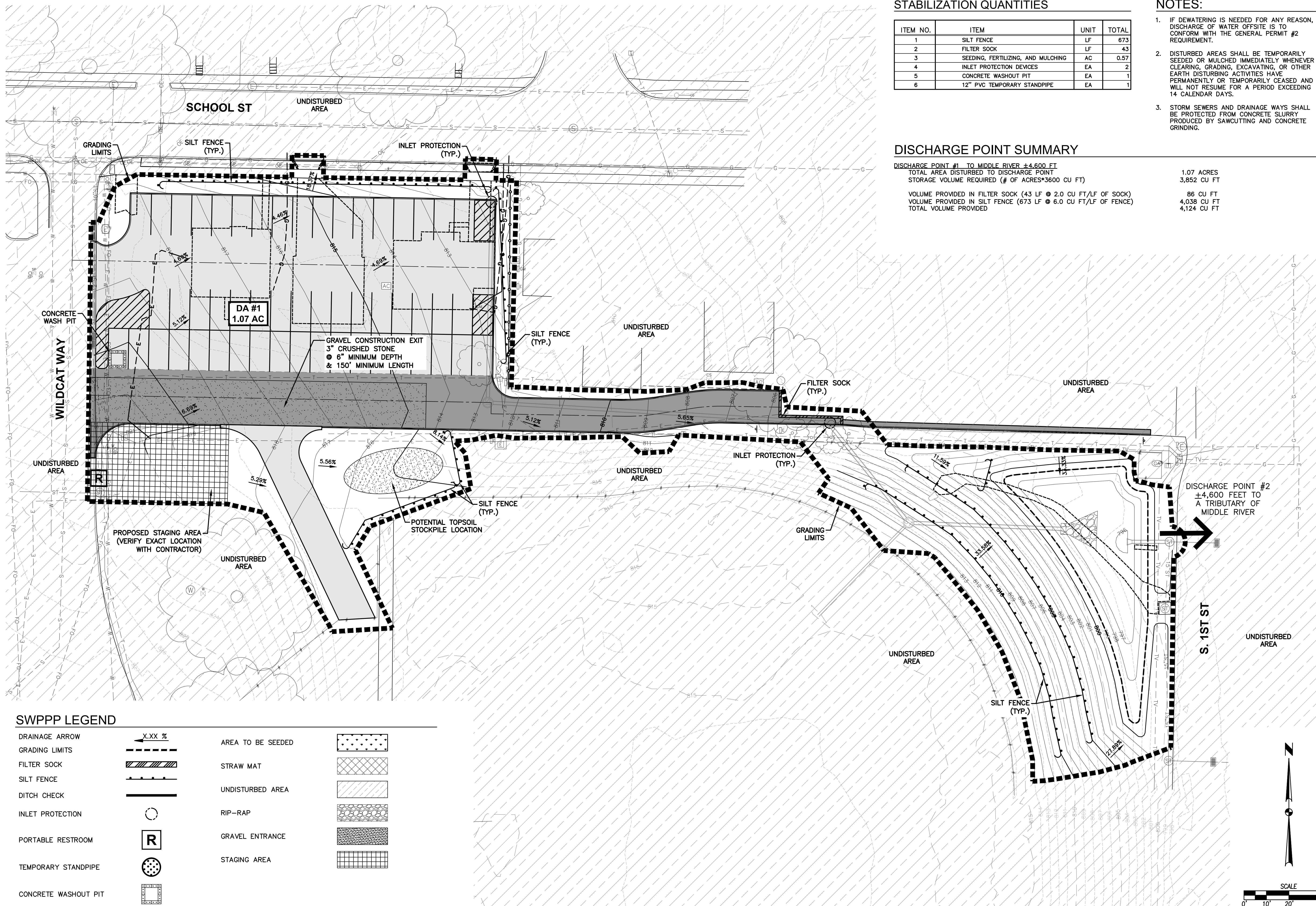
**CONSTRUCTION
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GRADING
PLAN

C4.1



STABILIZATION QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	673
2	FILTER SOCK	LF	43
3	SEEDING, FERTILIZING, AND MULCHING	AC	0.57
4	INLET PROTECTION DEVICES	EA	2
5	CONCRETE WASHOUT PIT	EA	1
6	12" PVC TEMPORARY STANDPIPE	EA	1

NOTES:

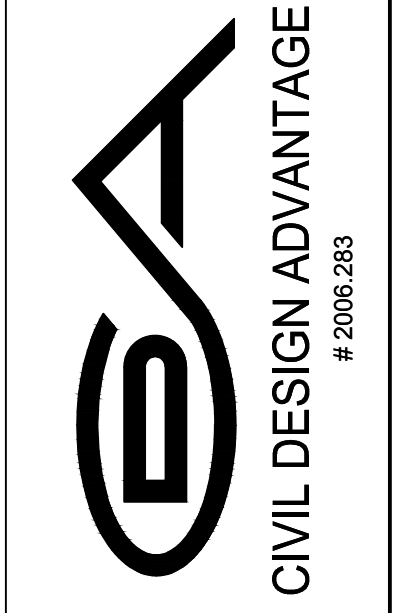
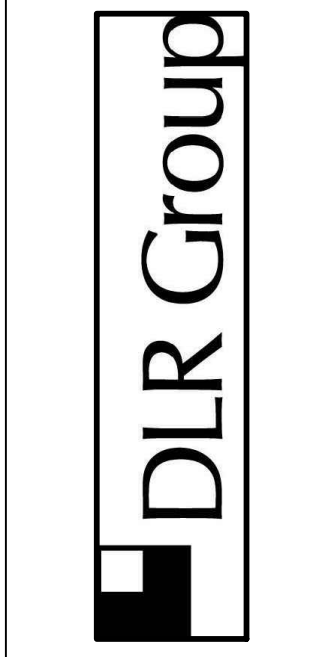
- IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENT.
- DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- STORM SEWERS AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAWCUTTING AND CONCRETE GRINDING.

DISCHARGE POINT SUMMARY

DISCHARGE POINT #1 TO MIDDLE RIVER ±4,600 FT	1.07 ACRES
TOTAL AREA DISTURBED TO DISCHARGE POINT	3,852 CU FT
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	86 CU FT
VOLUME PROVIDED IN FILTER SOCK (43 LF @ 2.0 CU FT/LF OF SOCK)	4,038 CU FT
VOLUME PROVIDED IN SILT FENCE (673 LF @ 6.0 CU FT/LF OF FENCE)	4,124 CU FT
TOTAL VOLUME PROVIDED	

SWPPP LEGEND

DRAINAGE ARROW		X.XX %	AREA TO BE SEEDED	
GRADING LIMITS			STRAW MAT	
FILTER SOCK			UNDISTURBED AREA	
SILT FENCE			RIP-RAP	
DITCH CHECK			GRAVEL ENTRANCE	
INLET PROTECTION			STAGING AREA	
PORTABLE RESTROOM				
TEMPORARY STANDPIPE				
CONCRETE WASHOUT PIT				



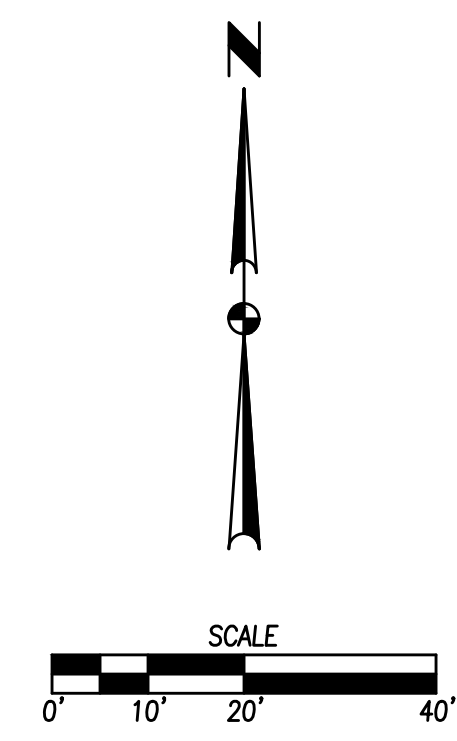
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 430 SCHOOL STREET
 CARLISLE, IA 50047

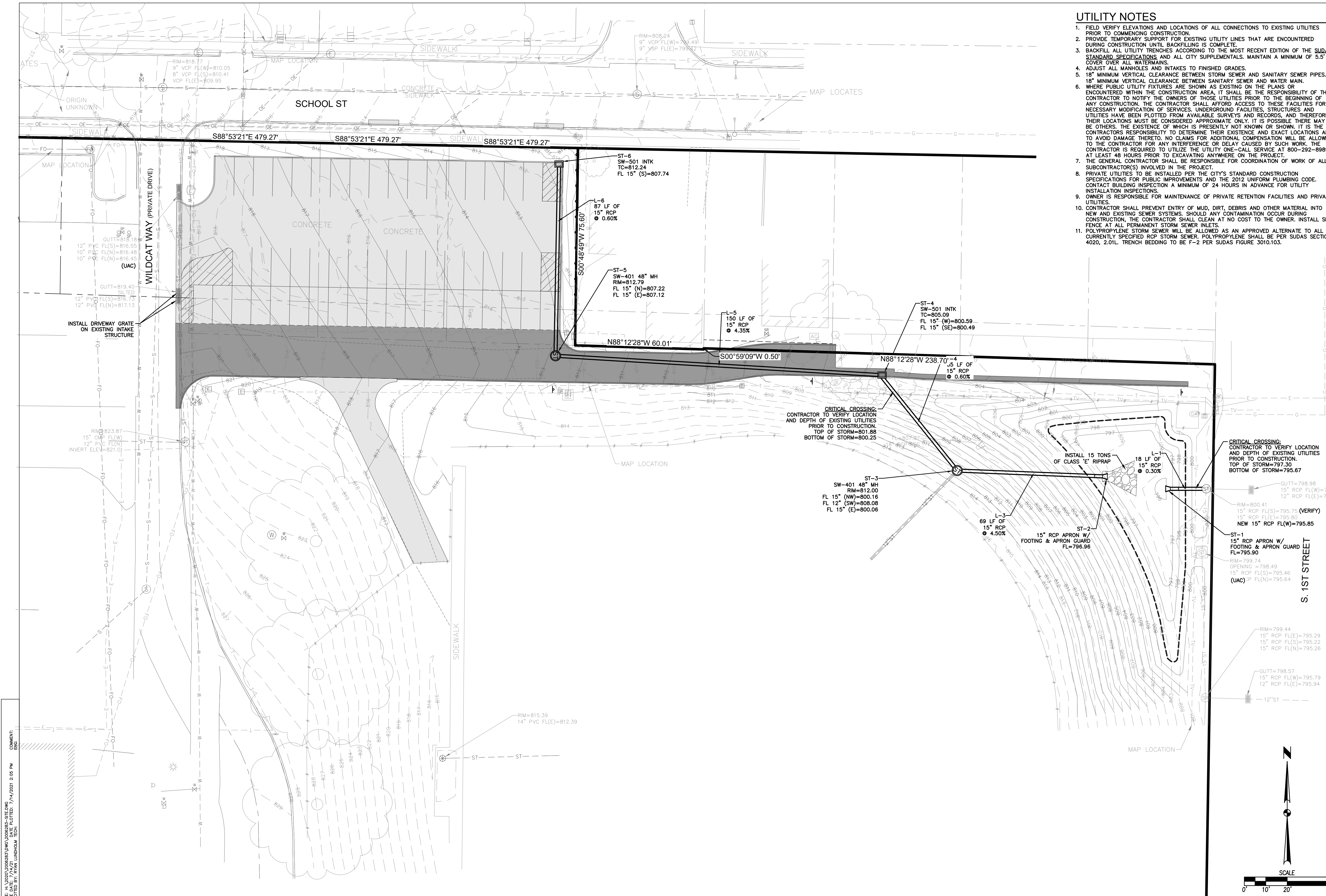
CONSTRUCTION DOCUMENTS
 07-20-21
 REVISIONS

11-15112-61

EROSION & SEDIMENT CONTROL PLAN

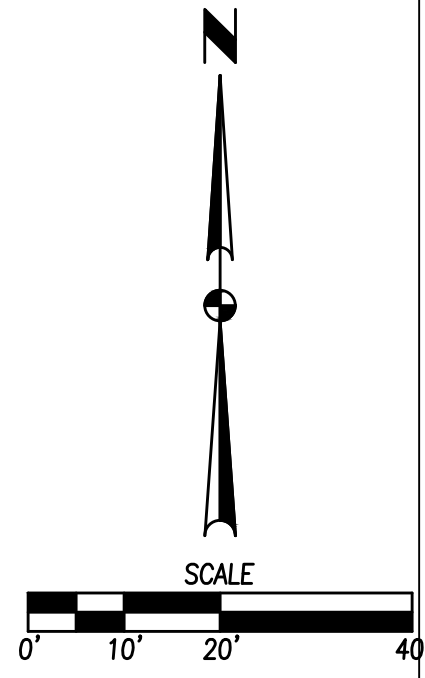
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- ### UTILITY NOTES
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
 - PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
 - BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMANS.
 - ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
 - 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES.
 - 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
 - WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
 - PRIVATE UTILITIES TO BE INSTALLED PER THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
 - OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
 - CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
 - POLYPROPYLENE STORM SEWER WILL BE ALLOWED AS AN APPROVED ALTERNATE TO ALL CURRENTLY SPECIFIED RCP STORM SEWER. POLYPROPYLENE SHALL BE PER SUDAS SECTION 4020, 2.01L. TRENCH BEDDING TO BE F-2 PER SUDAS FIGURE 3010.103.

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 PLOTTED BY: RYAN LUNDQUIST, INC.
 COMMENT:
 RLC



DLR Group

CIVIL DESIGN ADVANTAGE

2006.283

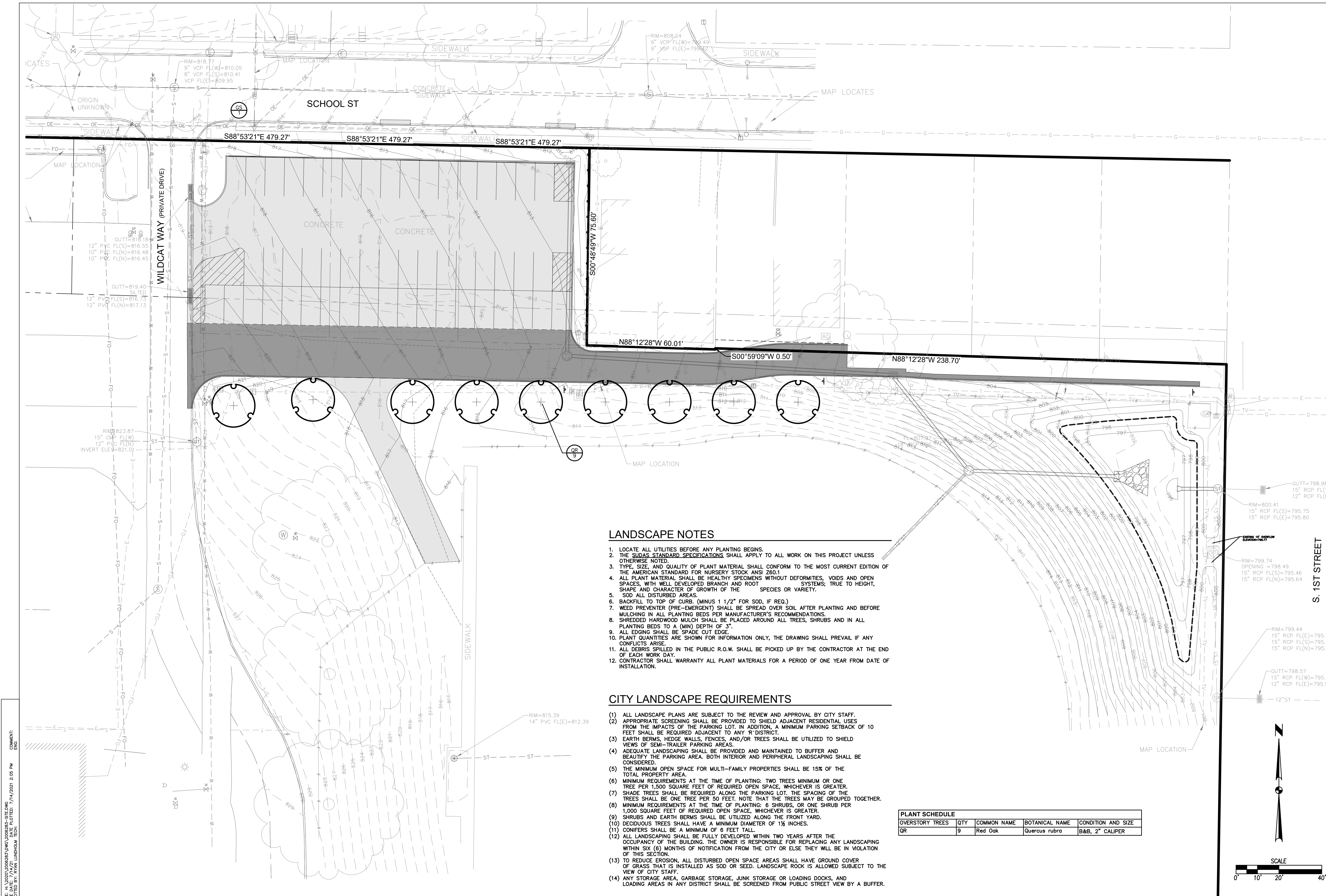
CARLISLE HIGH SCHOOL PARKING
EXPANSION
CARLISLE COMMUNITY SCHOOL DISTRICT
430 SCHOOL STREET
CARLISLE, IA 50047

CONSTRUCTION
DOCUMENTS
07-20-21
REVISIONS

11-15112-61

UTILITY
PLAN

C6.0



LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE SUDAS STANDARD SPECIFICATIONS SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SOD ALL DISTURBED AREAS.
6. BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
7. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
8. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
9. ALL EDGING SHALL BE SPADE CUT EDGE.
10. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
11. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
12. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.

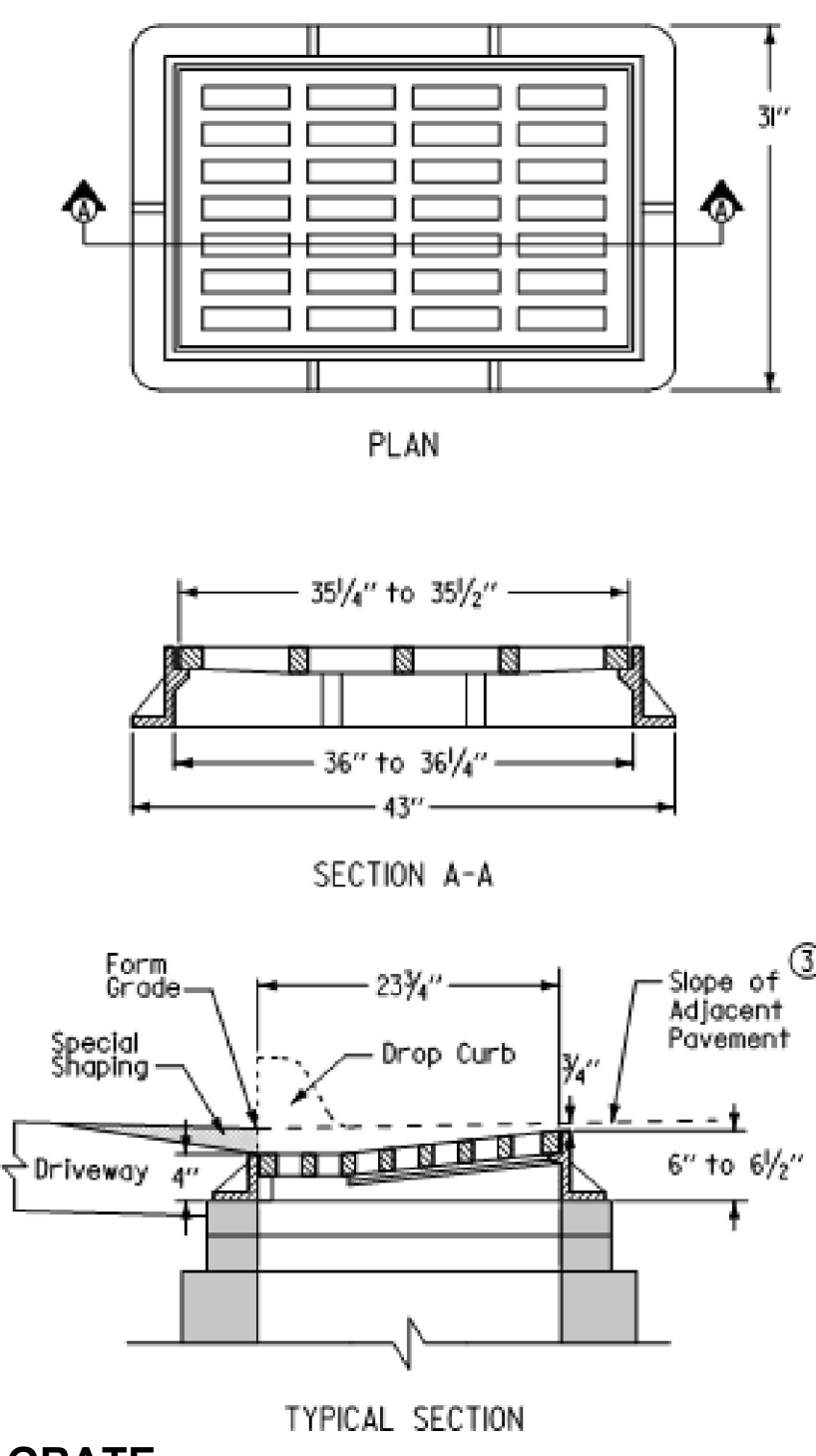
CITY LANDSCAPE REQUIREMENTS

- (1) ALL LANDSCAPE PLANS ARE SUBJECT TO THE REVIEW AND APPROVAL BY CITY STAFF.
- (2) APPROPRIATE SCREENING SHALL BE PROVIDED TO SHIELD ADJACENT RESIDENTIAL USES FROM THE IMPACTS OF THE PARKING LOT. IN ADDITION, A MINIMUM PARKING SETBACK OF 10 FEET SHALL BE REQUIRED ADJACENT TO ANY R'DISTRICT.
- (3) EARTH BERMS, HEDGE WALLS, FENCES, AND/OR TREES SHALL BE UTILIZED TO SHIELD VIEWS OF SEMI-TRAILER PARKING AREAS.
- (4) ADEQUATE LANDSCAPING SHALL BE PROVIDED AND MAINTAINED TO BUFFER AND BEAUTIFY THE PARKING AREA. BOTH INTERIOR AND PERIPHERAL LANDSCAPING SHALL BE CONSIDERED.
- (5) THE MINIMUM OPEN SPACE FOR MULTI-FAMILY PROPERTIES SHALL BE 15% OF THE TOTAL PROPERTY AREA.
- (6) MINIMUM REQUIREMENTS AT THE TIME OF PLANTING: TWO TREES MINIMUM OR ONE TREE PER 1,500 SQUARE FEET OF REQUIRED OPEN SPACE, WHICHEVER IS GREATER.
- (7) SHADE TREES SHALL BE REQUIRED ALONG THE PARKING LOT. THE SPACING OF THE TREES SHALL BE ONE TREE PER 50 FEET. NOTE THAT THE TREES MAY BE GROUPED TOGETHER.
- (8) MINIMUM REQUIREMENTS AT THE TIME OF PLANTING: 6 SHRUBS, OR ONE SHRUB PER 1,000 SQUARE FEET OF REQUIRED OPEN SPACE, WHICHEVER IS GREATER.
- (9) SHRUBS AND EARTH BERMS SHALL BE UTILIZED ALONG THE FRONT YARD.
- (10) DECIDUOUS TREES SHALL HAVE A MINIMUM DIAMETER OF 1 1/2 INCHES.
- (11) CONIFERS SHALL BE A MINIMUM OF 6 FEET TALL.
- (12) ALL LANDSCAPING SHALL BE FULLY DEVELOPED WITHIN TWO YEARS AFTER THE OCCUPANCY OF THE BUILDING. THE OWNER IS RESPONSIBLE FOR REPLACING ANY LANDSCAPING WITHIN SIX (6) MONTHS OF NOTIFICATION FROM THE CITY OR ELSE THEY WILL BE IN VIOLATION OF THIS SECTION.
- (13) TO REDUCE EROSION, ALL DISTURBED OPEN SPACE AREAS SHALL HAVE GROUND COVER OF GRASS THAT IS INSTALLED AS SOD OR SEED. LANDSCAPE ROCK IS ALLOWED SUBJECT TO THE VIEW OF CITY STAFF.
- (14) ANY STORAGE AREA, GARBAGE STORAGE, JUNK STORAGE OR LOADING DOCKS, AND LOADING AREAS IN ANY DISTRICT SHALL BE SCREENED FROM PUBLIC STREET VIEW BY A BUFFER.

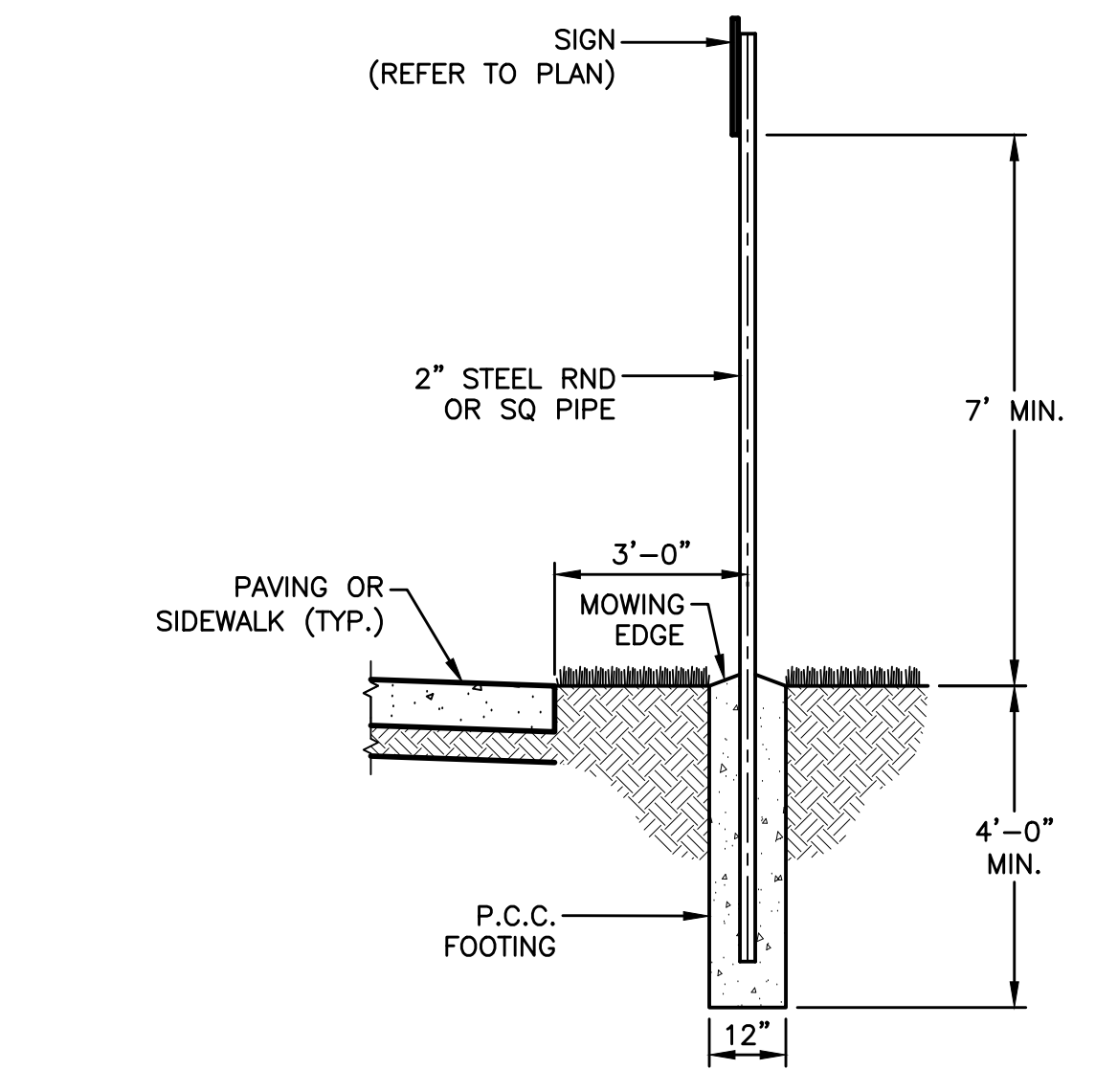
PLANT SCHEDULE

OVERSTORY TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
QR	9	Red Oak	Quercus rubra	B&B, 2" CALIPER

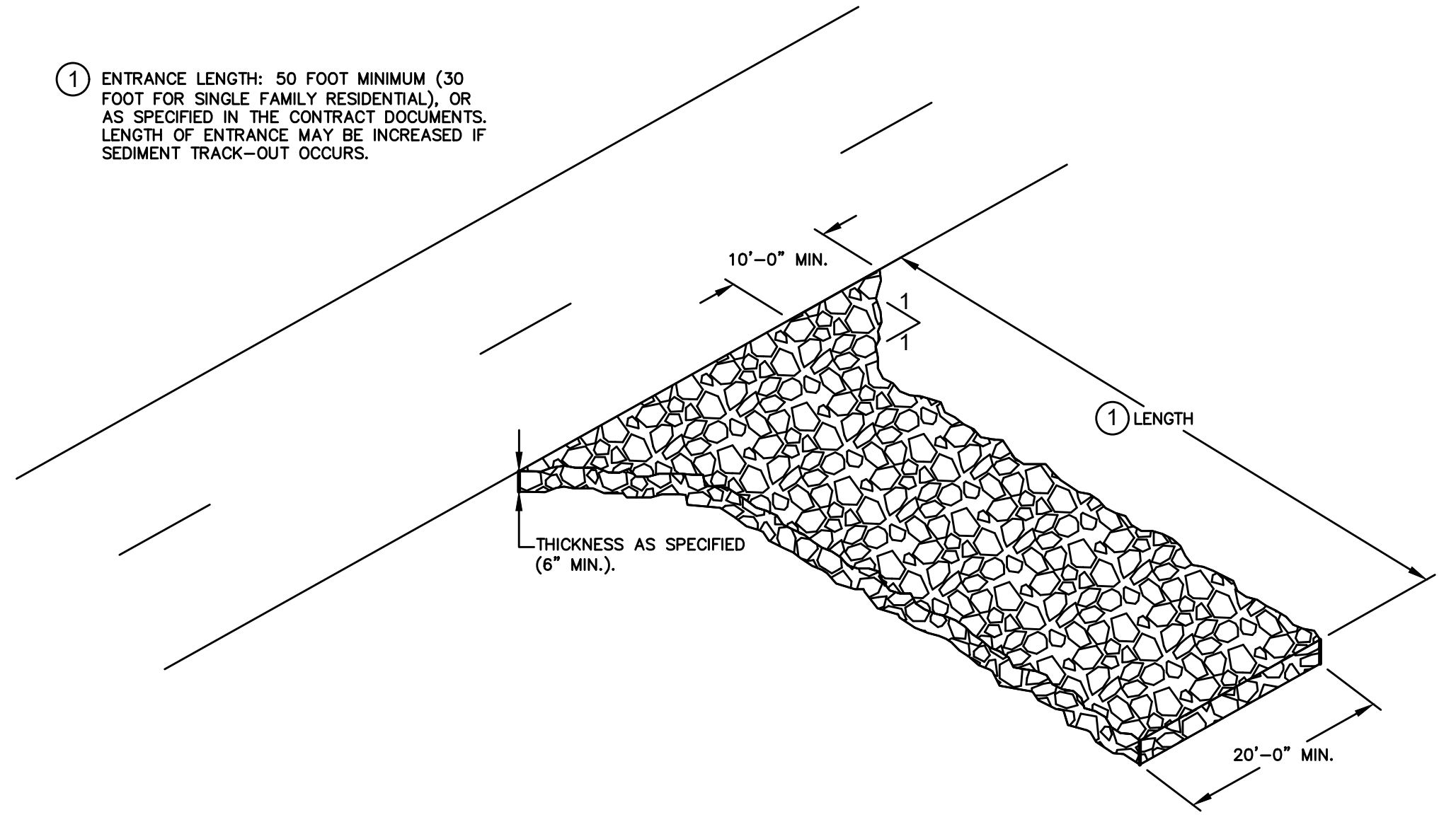
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 COMMENT: ENC.
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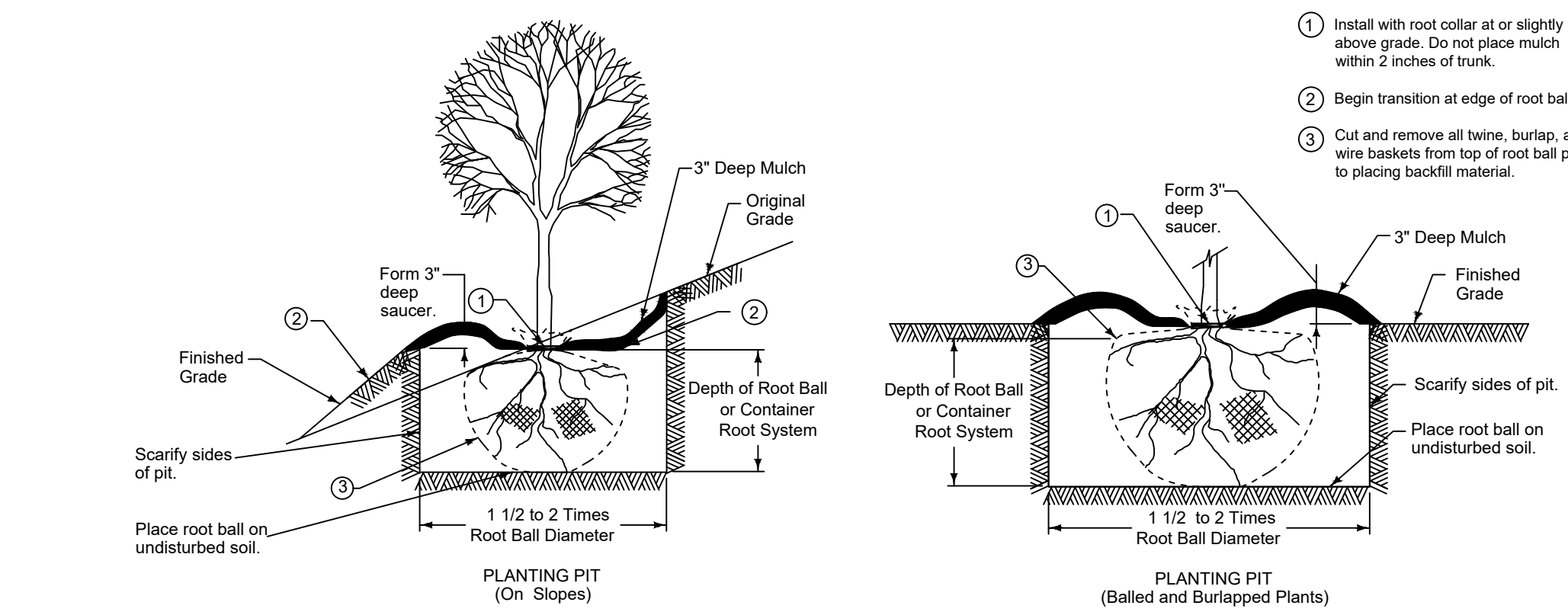
DRIVEWAY GRATE
 NOT TO SCALE



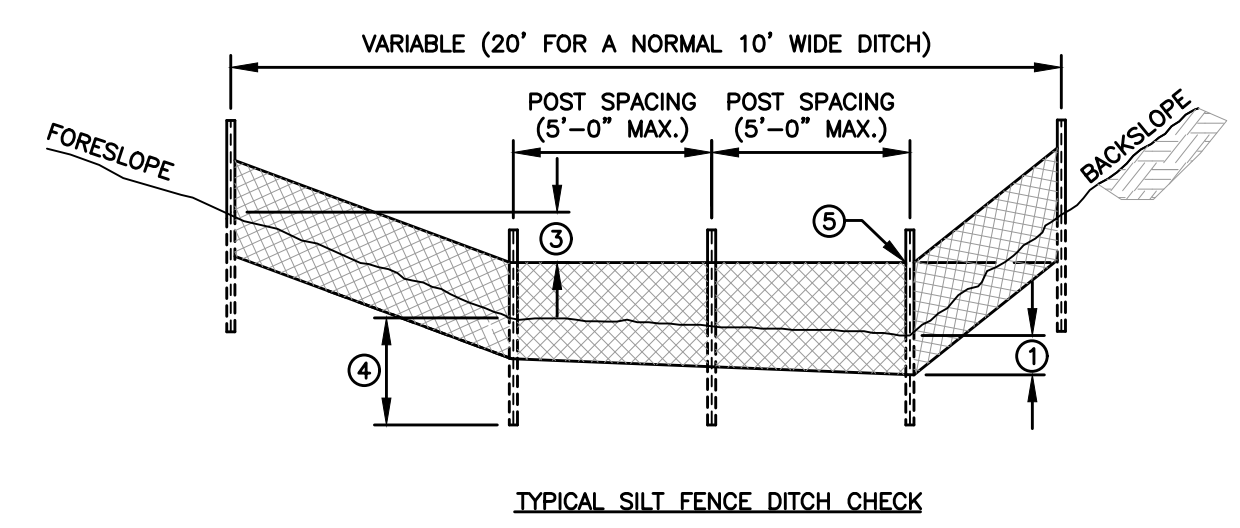
DIRECTIONAL SIGN
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STABILIZED CONSTRUCTION ENTRANCE
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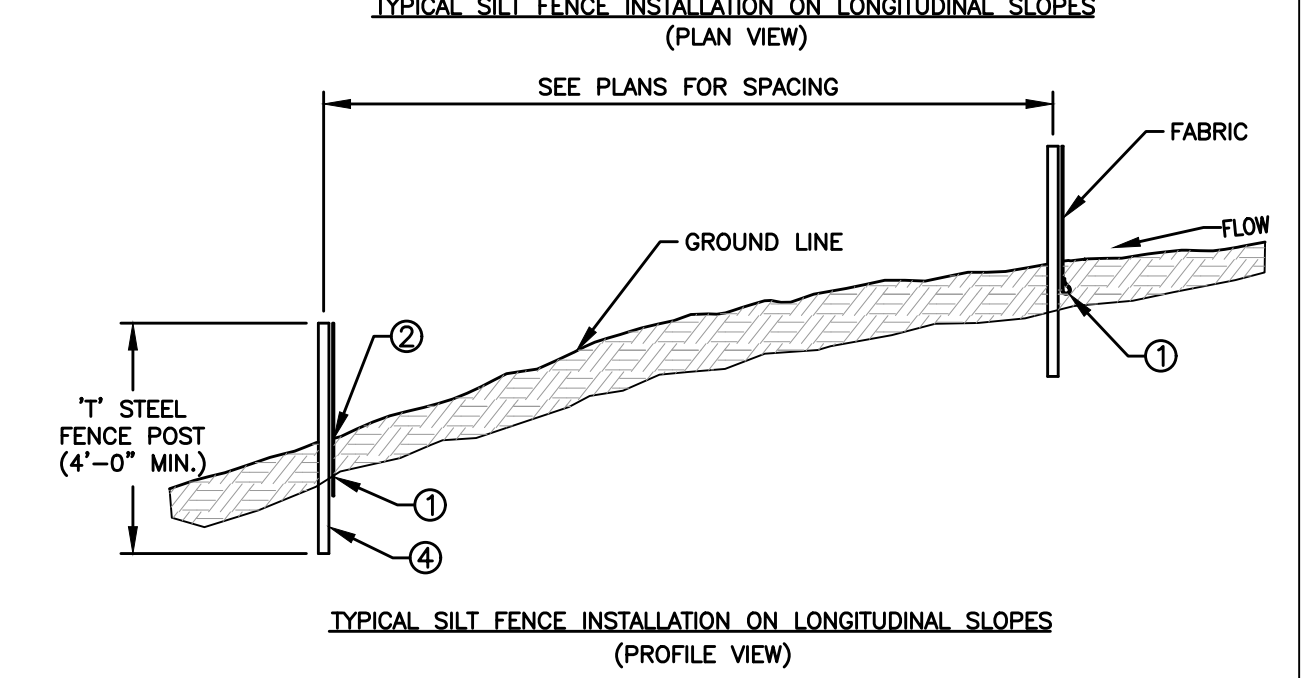
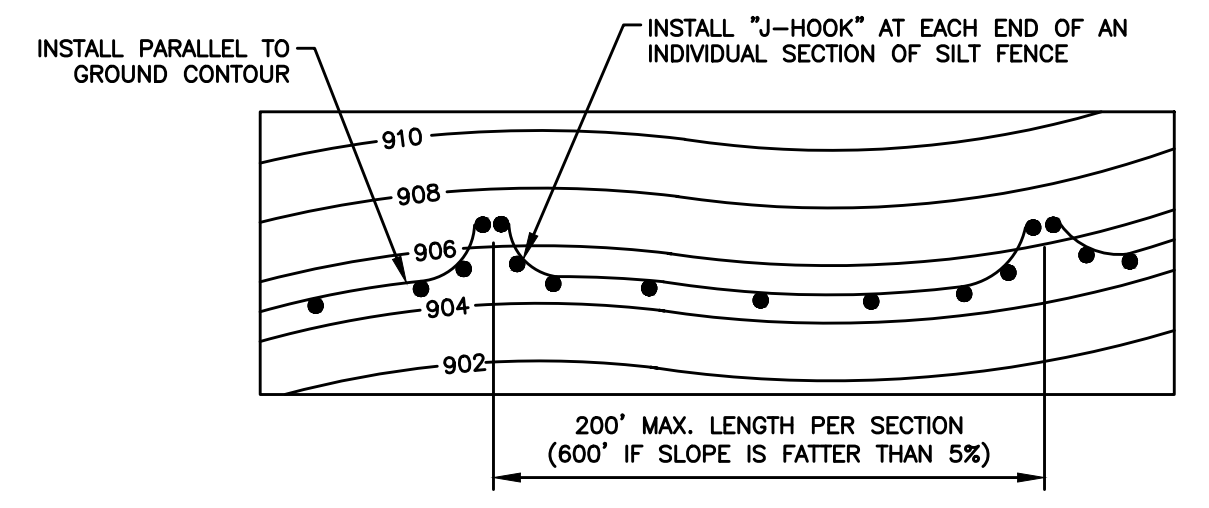
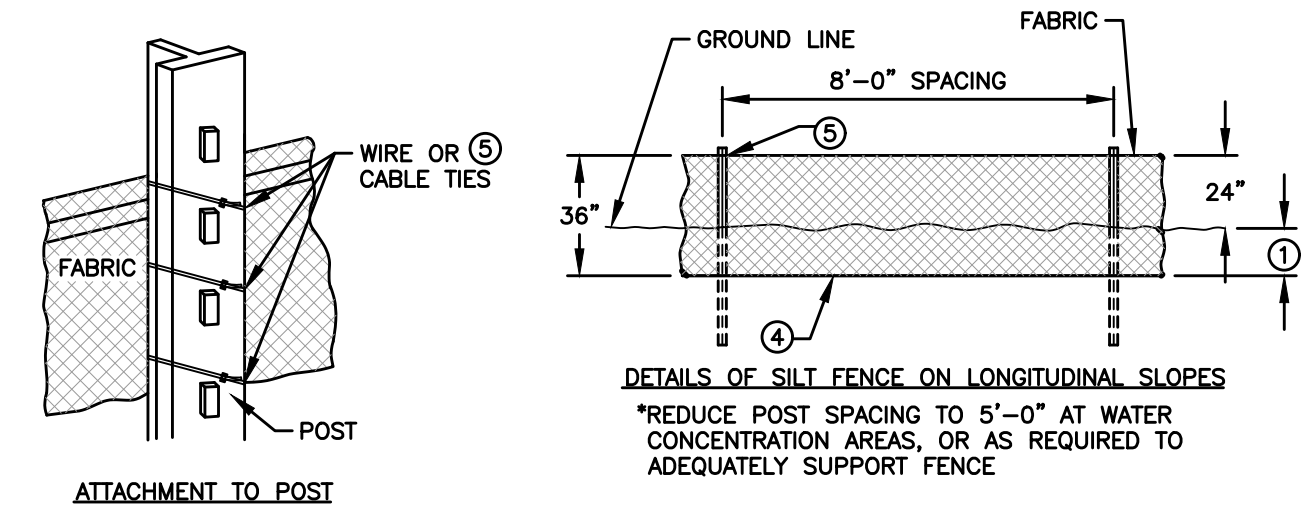


PLANTING PIT DETAIL
 NOT TO SCALE

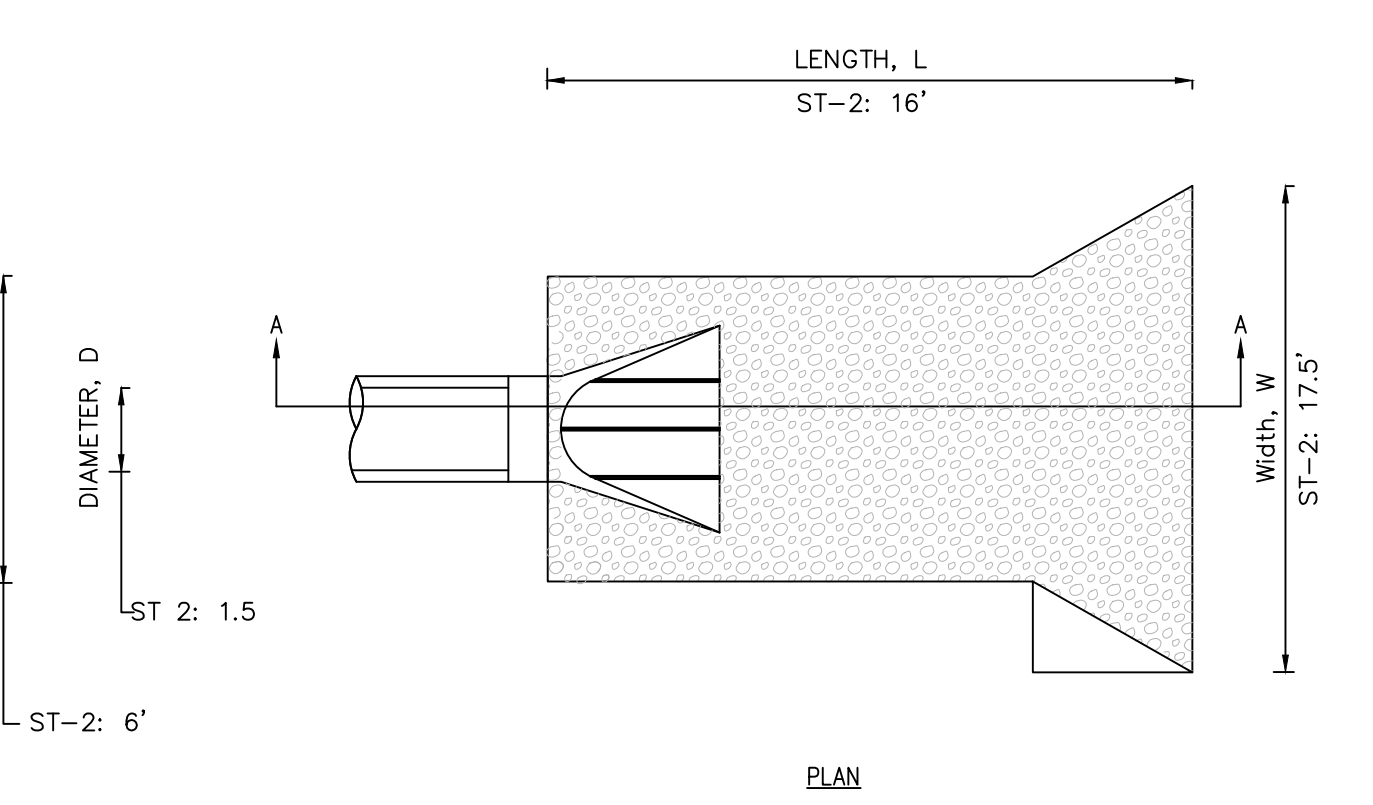
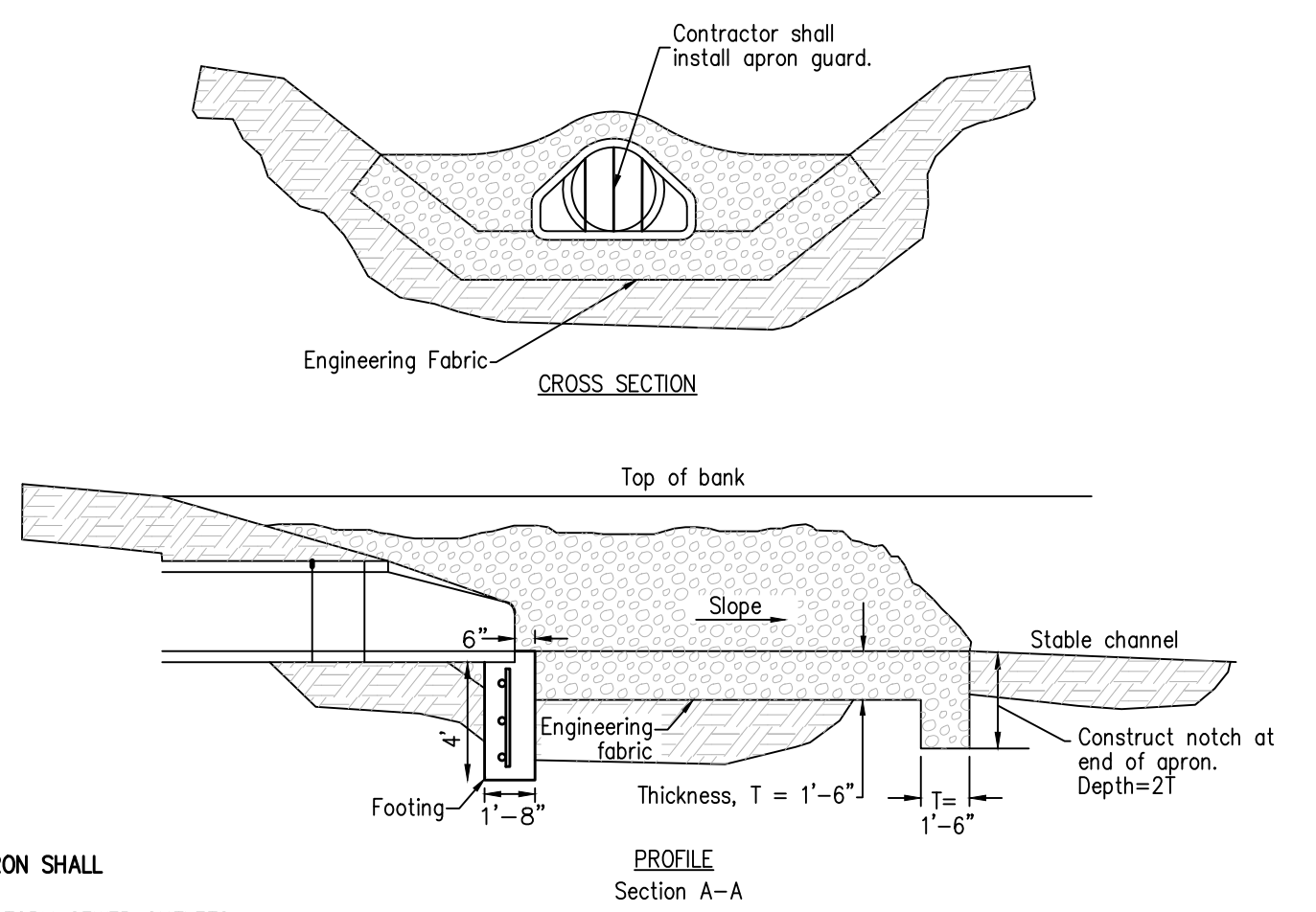


GENERAL NOTES:
 INSTALL SILT FENCE ACCORDING TO THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS AND AT LOCATIONS SHOWN IN THE CONTRACT DOCUMENTS OR AS DIRECTED BY THE JURISDICTIONAL ENGINEER.

- INSERT 12 IN. OF FABRIC A MINIMUM OF 6 IN. DEEP (FABRIC MAY BE FOLDED BELOW THE GROUND LINE)
- COMPACT GROUND BY DRIVING ALONG EACH SIDE OF THE SILT FENCE AS REQUIRED TO SUFFICIENTLY SECURE THE FABRIC IN THE TRENCH TO PREVENT PULLOUT AND FLOW UNDER THE FENCE.
- IN DITCHES, EXTEND SILT FENCE UP SIDE SLOPE SO THE BOTTOM ELEVATION AT THE END OF THE FENCE IS A MINIMUM OF 2 IN. HIGHER THAN THE TOP OF THE FENCE IN THE LOW POINT OF THE DITCH.
- STEEL POSTS TO BE EMBEDDED 20 IN. UNLESS OTHERWISE ALLOWED BY THE JURISDICTIONAL ENGINEER.
- SECURE TOP OF ENGINEERING FABRIC TO STEEL POSTS USING WIRE OR PLASTIC TIES (50 LB. MIN.). SEE DETAILS OF "ATTACHMENT TO POSTS."



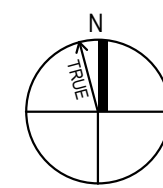
SILT FENCE
 NOT TO SCALE



NOTE:
 1. THE LAST THREE SECTIONS AND THE APRON SHALL BE CONNECTED WITH PIPE CONNECTIONS.
 2. INSTALL A 3" CLAY WATERSTOP AT ALL STORM SEWER OUTLETS.

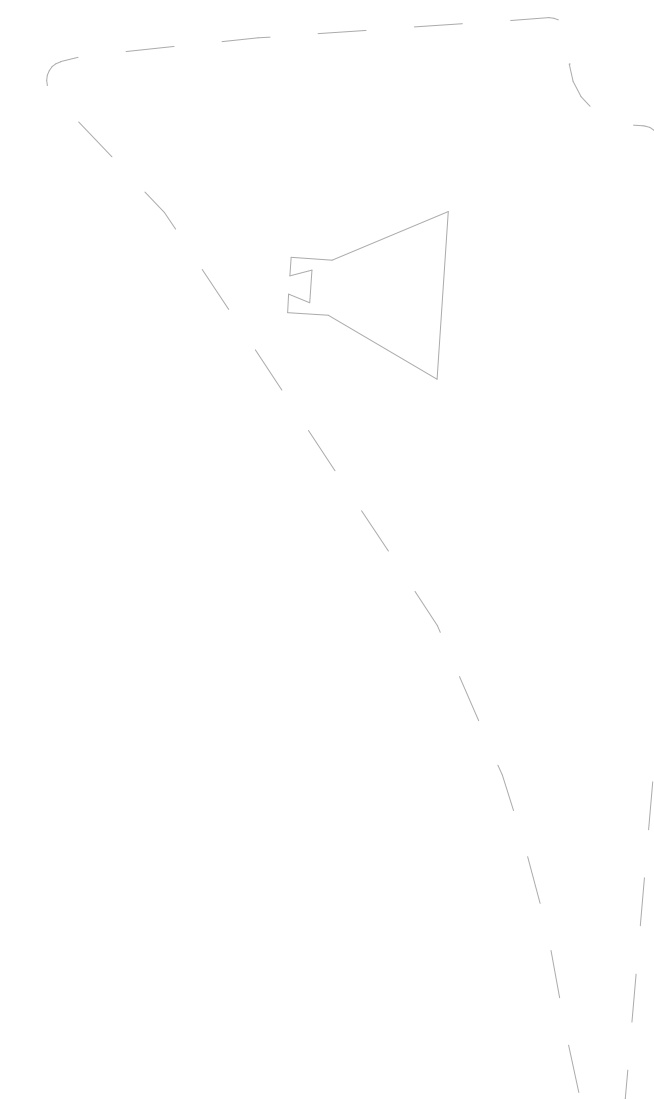
RIP RAP INSTALLATION
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 COMMENT: ENG.
 DATE: 7/14/21
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ELECTRICAL SITE PLAN - LIGHTING CALCULATIONS

SCALE: 1" = 20'-0"



LEGEND NOTES

GENERAL NOTES

- A
- B

SHEET NOTES

Project Status

430 SCHOOL STREET
CARLISLE, IOWA 50047

ELECTRICAL SITE PLAN CARLISLE HIGH SCHOOL PARKING EXPANSION

ES1.1

11-15112-61
Issue Date
REVISIONS

840 SCHOOL STREET SITE PLAN

SHEET INDEX:

- C0.1 COVER SHEET
- C1.1 SITE SURVEY / REMOVALS
- C2.1 LAYOUT & LANDSCAPE PLAN
- C3.1 GRADING & UTILITY PLAN

PROPERTY DESCRIPTION:

(QUIT CLAIM DEED INSTRUMENT # 2018-01528)
 BEGINNING AT THE NW CORNER OF AUDITOR'S OUTLOT 37, IN THE TOWN OF CARLISLE, WARREN COUNTY, IOWA, THENCE EAST 225 FEET, THENCE SOUTH TO THE SOUTH LINE OF SAID OUTLOT 37, THENCE WEST TO THE NORTH LINE OF HIGHWAY #60, THENCE NORTHWESTERLY ALONG THE NORTHERLY LINE OF SAID HIGHWAY #60 TO THE WEST LINE OF SAID OUTLOT 37, THENCE NORTH TO THE POINT OF BEGINNING AND LOCALLY KNOWN AS 840 SCHOOL ST., CARLISLE, IOWA, CONTAINING 22,241 SQ FT, 0.51 ACRES, SUBJECT TO ALL EASEMENTS, RESTRICTIONS AND COVENANTS OF RECORD.

ADDRESS:
840 SCHOOL STREET

OWNER / PREPARED FOR:

LMS PROPERTIES LLC
2375 HWY 69
GARNER, IOWA 50438
LAURA SCHELESNER
PH: (641) 590-2629

ZONING:

C-2 (HIGHWAY COMMERCIAL DISTRICT)

BULK REGULATIONS:

MAXIMUM BUILDING HEIGHT: 35 FEET
 MINIMUM LOT AREA: 7,500 SF
 MINIMUM LOT WIDTH: 30 FEET

SETBACKS:

45' FRONT YARD
 0' SIDE YARD OR 25' ADJ RESIDENTIAL
 0' REAR YARD OR 25' ADJ RESIDENTIAL

IMPERVIOUS AREA:

SITE AREA = 0.51 ACRES (22,241 SF)
 EXISTING IMPERVIOUS = 21,941 SF
 PROPOSED IMPERVIOUS = 20,631 SF (-1,310 SF)

PARKING:

REQUIRED PARKING:
 BUSINESS AND OFFICE SPACE (ASSUME 2,640 S.F.)
 1 SPACE PER 200 S.F. = 13 SPACES
 RESTAURANT (ASSUME 1,320 S.F.)
 PATRON SPACE: 1 SPACE PER 50 S.F. (600 S.F.) = 12 SPACES
 EMPLOYEE: 1 PER 4 REGULARLY EMPLOYED(6) = 2 SPACES
 TOTAL REQUIRED SPACES = 27 SPACES

PROPOSED PARKING (INC. 2 ADA SPACES) = 30 SPACES

ANTICIPATED SCHEDULE:

1. BEGIN SITE CONSTRUCTION	SPRING/SUMMER 2021
2. COMPLETE SITE CONSTRUCTION	SUMMER/FALL 2021



UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH CARLISLE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND SUDAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF CARLISLE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF CARLISLE.
- GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
- THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.
- ANY PROPOSED CHANGES TO THE PLAN SET SHALL BE APPROVED IN WRITING BY THE CITY OF CARLISLE DEVELOPMENT SERVICES DEPARTMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CHANGES MADE DURING CONSTRUCTION THAT HAVE NOT BEEN GRANTED APPROVAL IN WRITING BY THE CITY OF CARLISLE DEVELOPMENT SERVICES DEPARTMENT.
- SURFACED ACCESS TO PAVEMENT WILL BE REQUIRED IF DEVELOPER DOES NOT PROVIDE PAVED ROAD PRIOR TO THIS SITE BEGINNING CONSTRUCTION.

PAVING NOTES:

- THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SODDED IN ACCORDANCE WITH CITY OF CARLISLE STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SUDAS.
- SUBGRADE PREPARATION AND PAVEMENTS WILL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUBASE PRIOR TO ANY PAVEMENT BEING PLACED.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVELED PATH MUST HAVE A D.A. DETECTABLE WARNING PANEL(S) AS PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

UTILITY NOTES:

- QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH AS-BUILT TOPO OF DETENTION POND & DETENTION POND STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING BISHOP ENGINEERING AT 515-276-0467 TO PERFORM SAID AS-BUILT SURVEY. IF DETENTION PONDS HAVE BEEN GRADED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT TOPO SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
- ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
- WATERMANS SHALL BE C-900. SIZE OF WATERMAIN AS SHOWN ON PLANS.
- THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
- PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF CARLISLE.
- TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- THE MINIMUM HYDRANT LEAD SHALL BE 3.5 FEET.

FIELD TILE NOTES:

- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE. CONNECT TO STORM SEWER WITH AN INSERT-A-TEE OR DIRECTLY TO A STORM STRUCTURE.
- IT IS ANTICIPATED THAT THE SITE CONTAINS FIELD TILES, HOWEVER, LIMITED INFORMATION IS AVAILABLE.
- THIS WORK WILL BE ELIGIBLE FOR A CHANGE ORDER IF, AND ONLY IF, PROPOSED SITE STORM SEWER IS NOT WITHIN 50 FEET OF THE FIELD TILE.
- CONTRACTOR SHALL PROVIDE AS-BUILTS OF FIELD TILES TO BISHOP ENGINEERING.

UTILITY CONFLICT NOTES:

- UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION.

CITY OF CARLISLE NOTES:

1. GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF CARLISLE SUPPLEMENTAL SPECIFICATIONS.
- A PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING WITH THE CITY OF CARLISLE & FOX ENGINEERING.
- THE CITY OF CARLISLE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK. CALL CITY OF CARLISLE (TOMMY THOMPSON 515-505-4299) & FOX ENGINEERING (MITCH HOLTZ 515-233-0000).
- ALL PERMITS (IDNR, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- ALL UTILITY CONTRACTORS AND/OR OWNERS SHALL BE RESPONSIBLE TO PROVIDE THE CITY OF CARLISLE WITH "AS-BUILT" DRAWINGS OF ALL IMPROVEMENTS.
- A SIGNAGE LIST SHOULD BE SUBMITTED BY THE CONTRACTOR TO THE CITY OF CARLISLE. PUBLIC WORKS WILL VERIFY THE LIST AND ORDER THE SIGNS FROM A LIST OF APPROVED VENDORS. THE CONTRACTOR WILL THEN BE RESPONSIBLE FOR PICKING UP THE SIGNS ONCE DELIVERED TO PUBLIC WORKS AND PLACING THEM IN THE LOCATIONS IDENTIFIED ON THE SIGNAGE PLAN. THE COST OF SIGNS AND RELATED HARDWARE WILL BE BILLED TO THE CONTRACTOR.
- ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS.
- WE ENCOURAGE YOU TO CONTACT THE CITY OF CARLISLE WITH INFORMATION ON ANY SIGNIFICANT WORK BEING DONE OR POTENTIAL ISSUES AS THEY GENERALLY GET THE FIRST CALLS FROM NEIGHBORS WITH QUESTIONS OR CONCERNS. KEEPING THE CITY INFORMED OF PROGRESS OR SIGNIFICANT ISSUES CAN HELP YOU AVOID POTENTIAL CONFLICTS OR ISSUES WITH SURROUNDING PROPERTY OWNERS.

2. SANITARY SEWER NOTES:

- THE CONTRACTOR IS REQUIRED TO PLACE A TEMPORARY PLUG IN THE EXISTING DOWNSTREAM SANITARY SEWER MANHOLE PRIOR TO THE START OF CONSTRUCTION. THE PLUG SHALL BE REMOVED FOLLOWING APPROVAL OF CONSTRUCTION BY THE CITY OF CARLISLE.
- SANITARY GRAVITY PIPE MATERIAL SHALL BE PVC SDR 26 OR TRUSS (8" TO 15").
- SANITARY GRAVITY SERVICE PIPE MATERIAL SHALL BE PVC SDR 23.5 (4" TO 6").
- ALL SANITARY SEWER MANHOLES CASTINGS SHALL BE SEALED WITH INTERIOR CHIMNEY SEALS.
 - 3-PIECE CASTINGS SHALL HAVE INTERIOR CHIMNEY SEALS.
 - 2-PIECE CASTINGS SHALL HAVE 1&1 BARRIER (AKA TOP HAT) CHIMNEY SEALS, OR EQUAL.
 IN ADDITION, THE MINIMUM SPACER RING SIZE IS 4-INCHES AND THE MAXIMUM NUMBER OF SPACER RINGS SHALL NOT EXCEED 12-INCHES.
- ALL SANITARY SEWER MANHOLES SHALL HAVE STEPS.
- ALL SANITARY SEWER MANHOLE CASTINGS LOCATED WITHIN PAVEMENT SHALL BE BOXED OUT.
- MANDREL AND PRESSURE TESTS ARE REQUIRED FOR ALL SANITARY SEWER LINES (8" AND ABOVE) PRIOR TO PAVING. IN ADDITION, ALL SANITARY SEWER LINES SHALL BE TELEVIEWED. THE SEWER SYSTEM SHALL BE FLUSHED WITH WATER PRIOR TO TELEVIEWING.

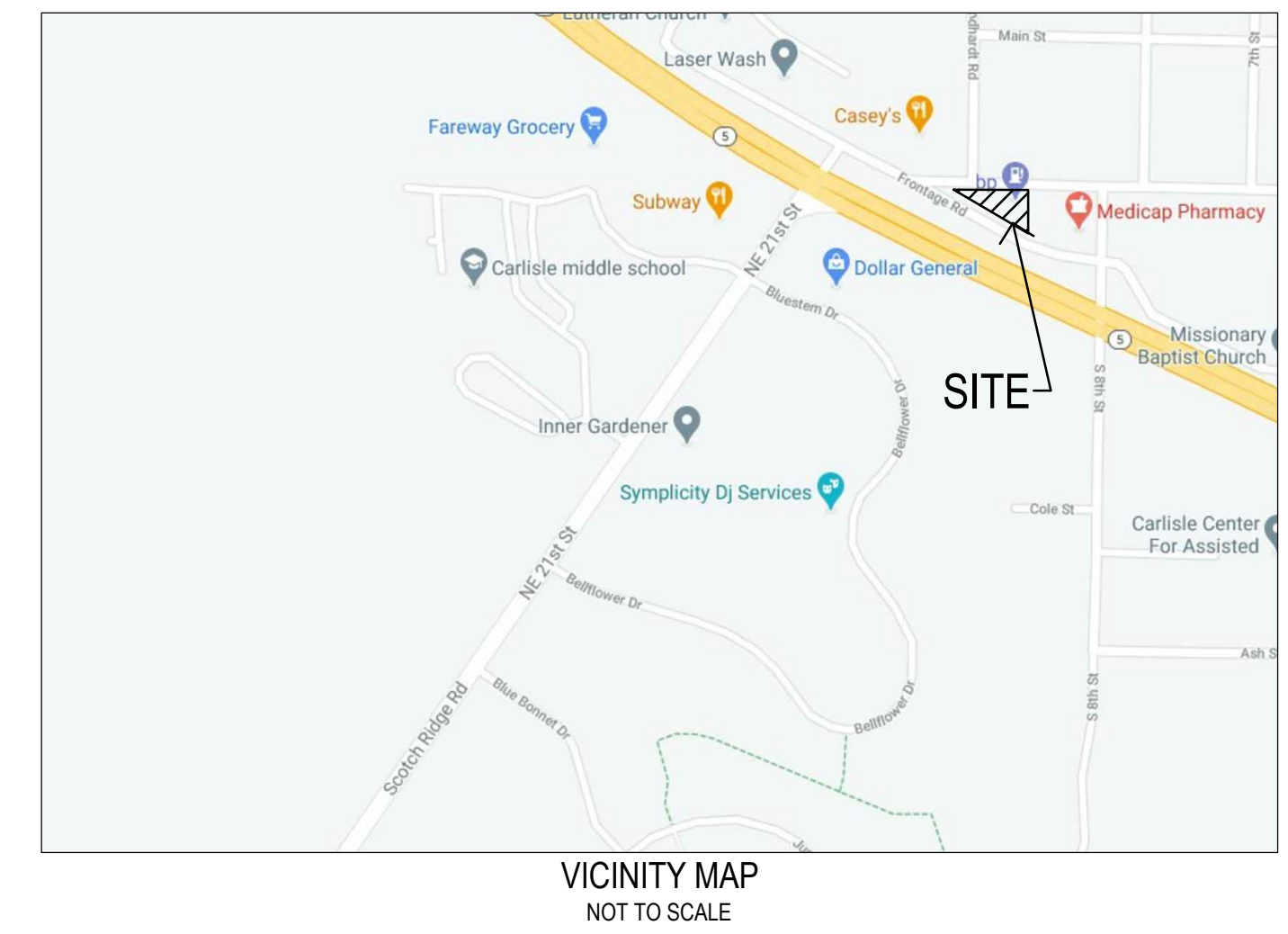
3. WATER MAIN NOTES:

- ALL FIRE HYDRANTS SHALL BE AMERICAN FLOW CONTROL-WATEROUS PACER WB-67-250, MUELLER SUPER CENTURION 250 (3-WAY A-423), OR CLOW MEDALLION F-2545. ALL HYDRANTS SHALL HAVE THE FOLLOWING: 6" MJ SHOE, 2-1/2" HOSE NOZZLE, 4-1/2" STEAMER NOZZLE, NST THREADS, PENTAGON OPERATING NUT, CHAIN ON CAP, OPEN LEFT, 5-1/2" BURY, AND FACTORY PAINTED RED. THE MINIMUM SPOOL PIPE LENGTH FROM AUXILIARY VALVE TO HYDRANT SHOE SHALL BE 2'0".
- ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF CARLISLE WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- A TRACER WIRE RECEPTACLE SHALL BE INSTALLED AT EACH HYDRANT (FLUSH MOUNT VALVCO OR APPROVED EQUAL).
- TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN.
- ALL VALVES SHALL BE RESILIENT WEDGE GATE VALVES.
- WATER SERVICE SHALL BE 1-INCH MINIMUM TYPE K COPPER.
- THE CONTRACTOR IS RESPONSIBLE FOR PRESSURE TESTING, CHLORINATION, AND BACTERIA TEST.

4. STORM SEWER NOTES:

- ALL STORM SEWER IN THE ROW SHALL BE RCP, UNLESS OTHERWISE APPROVED BY THE CITY.
- ALL FLARED END SECTIONS SHALL HAVE FOOTINGS AND APRON GRATES. THE LAST 3 PIPE SECTIONS AND THE FLARED END SECTION ON ALL CULVERTS SHALL BE TIED. ALL STORM SEWER JOINTS SHALL BE WRAPPED WITH ENGINEERING FABRIC.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY FIELD TILE DAMAGED DURING CONSTRUCTION. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES.
- ALL SUMP SERVICE LINES SHALL HAVE TRACER WIRE.
- ALL RIP-RAP SHALL BE UNDERLAIN WITH ENGINEERING FABRIC AS SPECIFIED IN THE URBAN SPECIFICATIONS.

UPDATED 5/5/21



ABBREVIATIONS:

AC ACRES
 ASPH ASPHALT
 BK BOOK
 CONC CONCRETE
 D DEEDED DISTANCE
 EX EXISTING
 ENCL ENCLOSURE
 FF FINISHED FLOOR
 FL FLOW LINE
 FRAC FRACTIONAL
 M MEASURED DISTANCE
 MH MANHOLE
 OPC ORANGE PLASTIC CAP
 P PLATTED DISTANCE
 PG PAGE
 POB POINT OF BEGINNING
 POC POINT OF COMMENCEMENT
 PRA PREVIOUSLY RECORDED AS
 PUE PUBLIC UTILITY EASEMENT
 ROW RIGHT OF WAY
 RCP RED PLASTIC CAP
 SF SQUARE FEET
 SAN SANITARY
 TYP TYPICAL
 YPC YELLOW PLASTIC CAP
 N NORTH
 S SOUTH
 E EAST
 W WEST

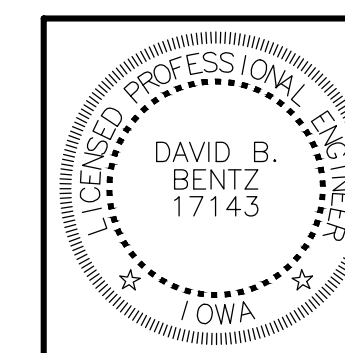
LEGEND:

— SAN — SANITARY SEWER
 — ST — STORM SEWER
 — W — WATER LINE
 — G — GAS LINE
 — UE — UNDERGROUND ELECTRIC
 — OE — OVERHEAD ELECTRIC
 — TELE — TELEPHONE LINE
 — FIB — FIBER OPTIC
 — CATV — CABLE TV

① STORM MANHOLE
 [] CURB INTAKE
 ● SURFACE INTAKE
 ▽ FLARED END SECTION
 ⊙ SANITARY MANHOLE
 ⊕ CLEANOUT
 ⚡ FIRE HYDRANT
 ⚙ SPRINKLER
 ⚙ IRRIGATION CONTROL VALVE
 ⊙ WATER MANHOLE
 ⊙ WELL
 ⚡ WATER VALVE
 ⚡ WATER SHUT OFF
 ⚡ YARD HYDRANT
 ⊙ ELECTRIC MANHOLE
 [] ELECTRIC METER
 [] ELECTRIC RISER
 [] ELECTRIC VAULT
 ⚡ POWER POLE
 ⚡ TRANSFORMER POLE
 ☆ LIGHT POLE
 [] ELECTRIC JUNCTION BOX
 [] ELECTRIC PANEL
 [] TRANSFORMER
 △ GROUND LIGHT
 ● GUY WIRE
 [] ELECTRIC HANDHOLE
 ⚡ GAS METER
 ⚡ GAS VALVE
 [] AIR CONDITIONING UNIT
 [] TELEPHONE RISER
 [] TELEPHONE VAULT
 ⊙ TELEPHONE MANHOLE
 ⊙ TRAFFIC SIGNAL MANHOLE
 [] FIBER OPTIC RISER
 [] FIBER OPTIC FAULT
 [] CABLE TV RISER
 — SIGN
 ● BOLLARD
 ⑦ DENOTES NUMBER OF PARKING STALLS
 ● PROPERTY CORNER - FOUND AS NOTED
 ○ PROPERTY CORNER- PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID #14775
 ⊕ SECTION CORNER - FOUND AS NOTED

SURVEY NOTES:

- SURVEY WORK WAS COMPLETED BY BISHOP ENGINEERING ON 5/25/2021. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: PRELIMINARY DATE: _____
 DAVID B. BENTZ, PE. 17143

LICENSE RENEWAL DATE: DEC. 31, 2021
 PAGES OR SHEETS COVERED BY THIS SEAL: ALL SHEETS

Bishop Engineering
 "Planning Your Successful Development"
 3501 104th Street
 Des Moines, Iowa 50322-3825
 Phone: (515)276-0467 Fax: (515)276-0217
 Civil Engineering & Land Surveying
 Established 1959

840 SCHOOL STREET
 CARLISLE, IOWA

COVER SHEET

REFERENCE NUMBER:

DRAWN BY:
BK

CHECKED BY:
DB

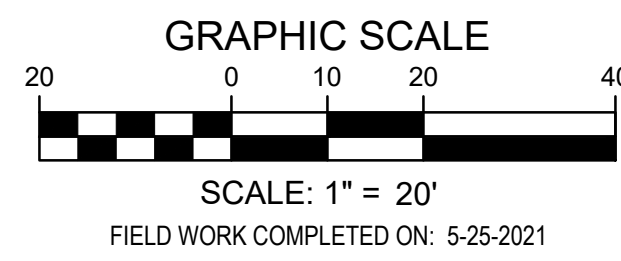
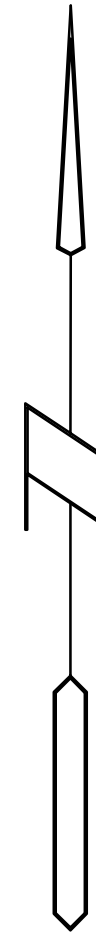
REVISION DATE:
06/15/2021 CHECK
06/24/2021 CITY#1
07/13/2021 CITY#2

PROJECT NUMBER:
210290

SHEET NUMBER:
C0.1

PRELIMINARY - NOT FOR CONSTRUCTION

840 SCHOOL STREET SITE SURVEY/REMOVALS



NOTES:
1. ADJACENT PROPERTY OWNER INFORMATION OBTAINED FROM WARREN COUNTY ASSESSORS WEB PAGE
2. PARENTHESIS () DENOTES PREVIOUSLY RECORDED BEARINGS AND DISTANCES

ABBREVIATIONS:

- AC ACRES
- ASPH ASPHALT
- BK BOOK
- CONC CONCRETE
- D DEEDED DISTANCE
- EX EXISTING
- ENCL ENCLOSURE
- FF FINISHED FLOOR
- FL FLOW LINE
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- M MEASURED DISTANCE
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- OPC ORANGE PLASTIC CAP
- P PLATTED DISTANCE
- PG PAGE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRA PREVIOUSLY RECORDED AS
- PUE PUBLIC UTILITY EASEMENT
- ROW RIGHT OF WAY
- RPC RED PLASTIC CAP
- SF SQUARE FEET
- SAN SANITARY
- TYP TYPICAL
- YPC YELLOW PLASTIC CAP
- N NORTH
- S SOUTH
- E EAST
- W WEST

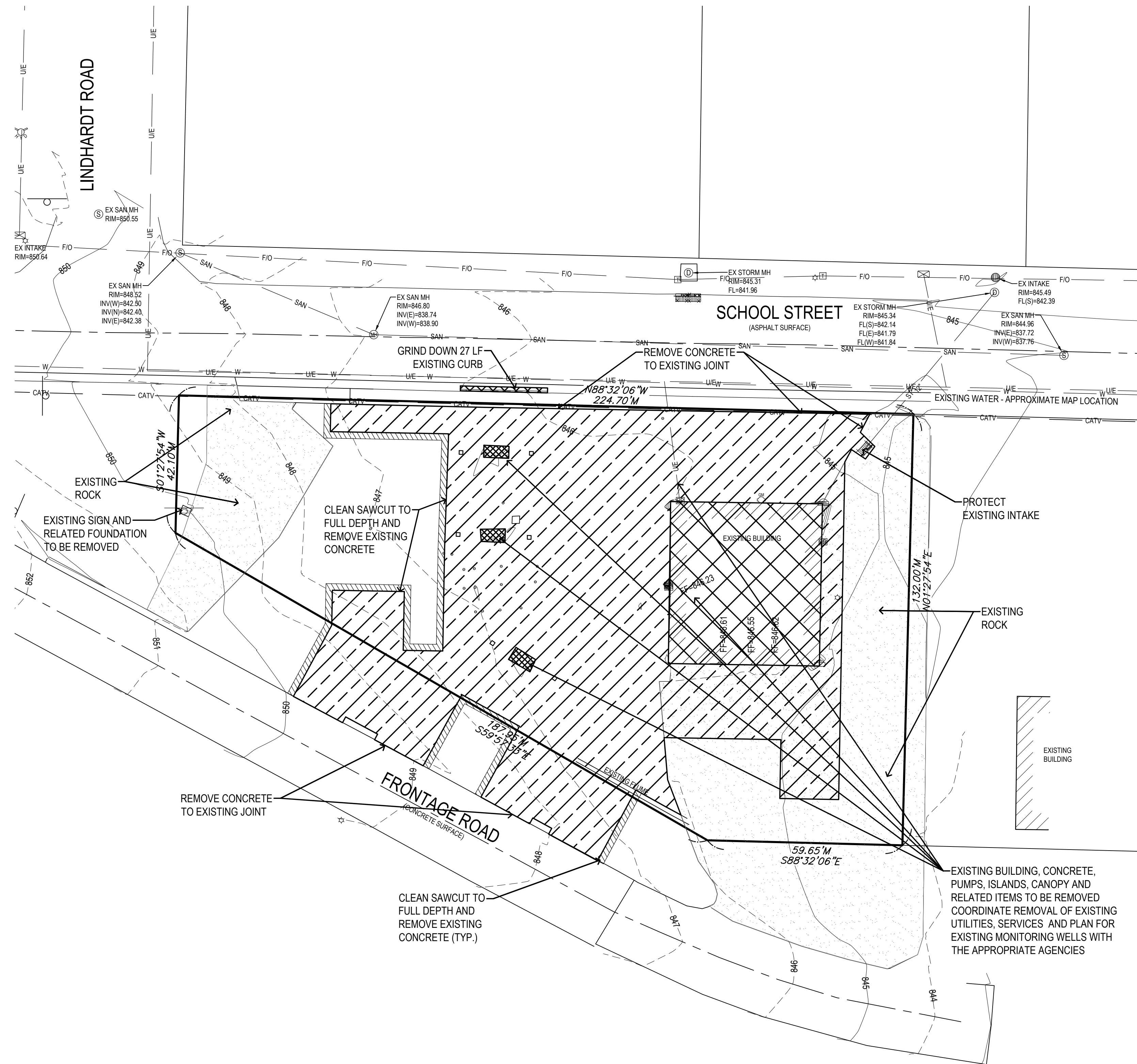
UTILITY CONTACTS:

1. SANITARY AND STORM SEWER (CITY OF CARLISLE /515-989-4102)
2. WATER MAIN (CITY OF CARLISLE /515-989-4102)
3. ELECTRIC (CARLISLE MUNICIPAL ELECTRIC/515-989-0849)
4. FIBER OPTIC (MEDIACOM /515-246-2252)
5. CABLE (CENTURYLINK /720-578-8090)
6. GAS (MIDAMERICAN /515-252-6632)
7. FIBER (IOWA COMMUNICATIONS NETWORK /515-725-4402)
8. FIBER (UNITE OR UPN)



UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.



PROPERTY DESCRIPTION:
(QUIT CLAIM DEED INSTRUMENT # 2018-01528)
BEGINNING AT THE NW CORNER OF AUDITOR'S OUTLOT 37, IN THE TOWN OF CARLISLE, WARREN COUNTY, IOWA, THENCE EAST 225 FEET, THENCE SOUTH TO THE SOUTH LINE OF SAID OUTLOT 37; THENCE WEST TO THE NORTH LINE OF HIGHWAY #60, THENCE NORTHWESTERLY ALONG THE NORTHERLY LINE OF SAID HIGHWAY #60 TO THE WEST LINE OF SAID OUTLOT 37, THENCE NORTH TO THE POINT OF BEGINNING AND LOCALLY KNOWN AS 840 SCHOOL ST., CARLISLE, IOWA.
CONTAINING 22,241 SQ FT, 0.51 ACRES.
SUBJECT TO ALL EASEMENTS, RESTRICTIONS AND COVENANTS OF RECORD.

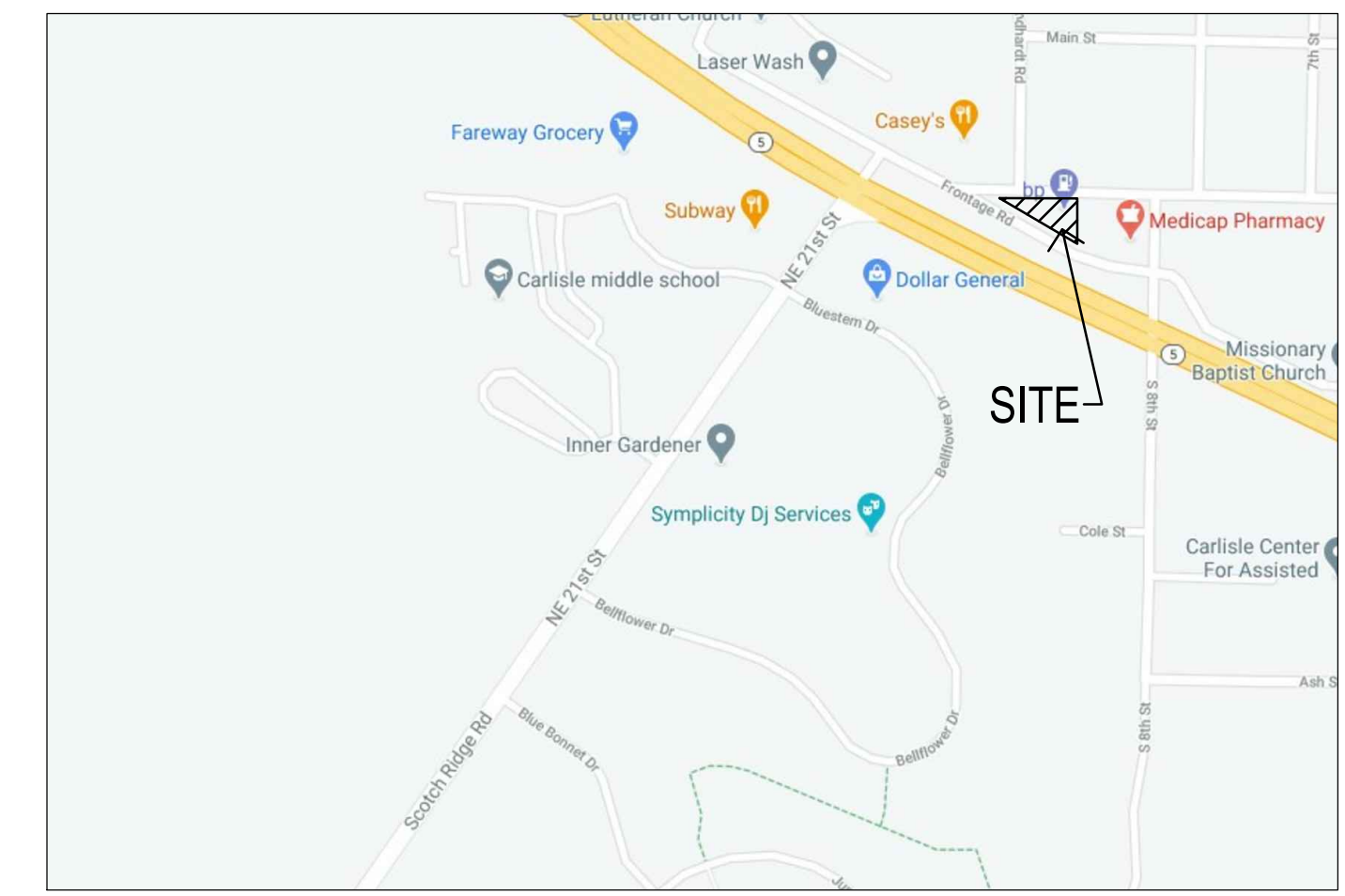
ADDRESS:
840 SCHOOL STREET

OWNER / PREPARED FOR:
LMS PROPERTIES LLC
2375 HWY 69
GARNER, IOWA 50438
LAURA SCHLEUSNER
PH: (641) 590-2629

ZONING:
C-2 (HIGHWAY COMMERCIAL DISTRICT)

REMOVAL NOTES:

1. SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.
2. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE



VICINITY MAP
NOT TO SCALE

LEGEND:

- SAN — SANITARY SEWER
- ST — STORM SEWER
- W — WATER LINE
- G — GAS LINE
- U-E — UNDERGROUND ELECTRIC
- O-E — OVERHEAD ELECTRIC
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- ⊕ ELECTRIC HANDHOLE
- ⊕ GAS METER
- ⊕ GAS VALVE
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- ⊕ FIBER OPTIC FAULT
- ⊕ CABLE TV RISER
- SIGN
- BOLLARDS
- ⊕ DENOTES NUMBER OF PARKING STALLS
- PROPERTY CORNER - FOUND AS NOTED
- PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID # 14775 OR AS NOTED
- ⊕ SECTION CORNER - FOUND AS NOTED
- ▲ SITE CONTROL POINT - MONUMENT AS NOTED

840 SCHOOL STREET
CARLISLE, IOWA

Bishop Engineering
"Planning Your Successful Development"

3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515)276-0467 Fax: (515)276-0217
Civil Engineering & Land Surveying
Established 1959

REFERENCE NUMBER:

DRAWN BY:
BK

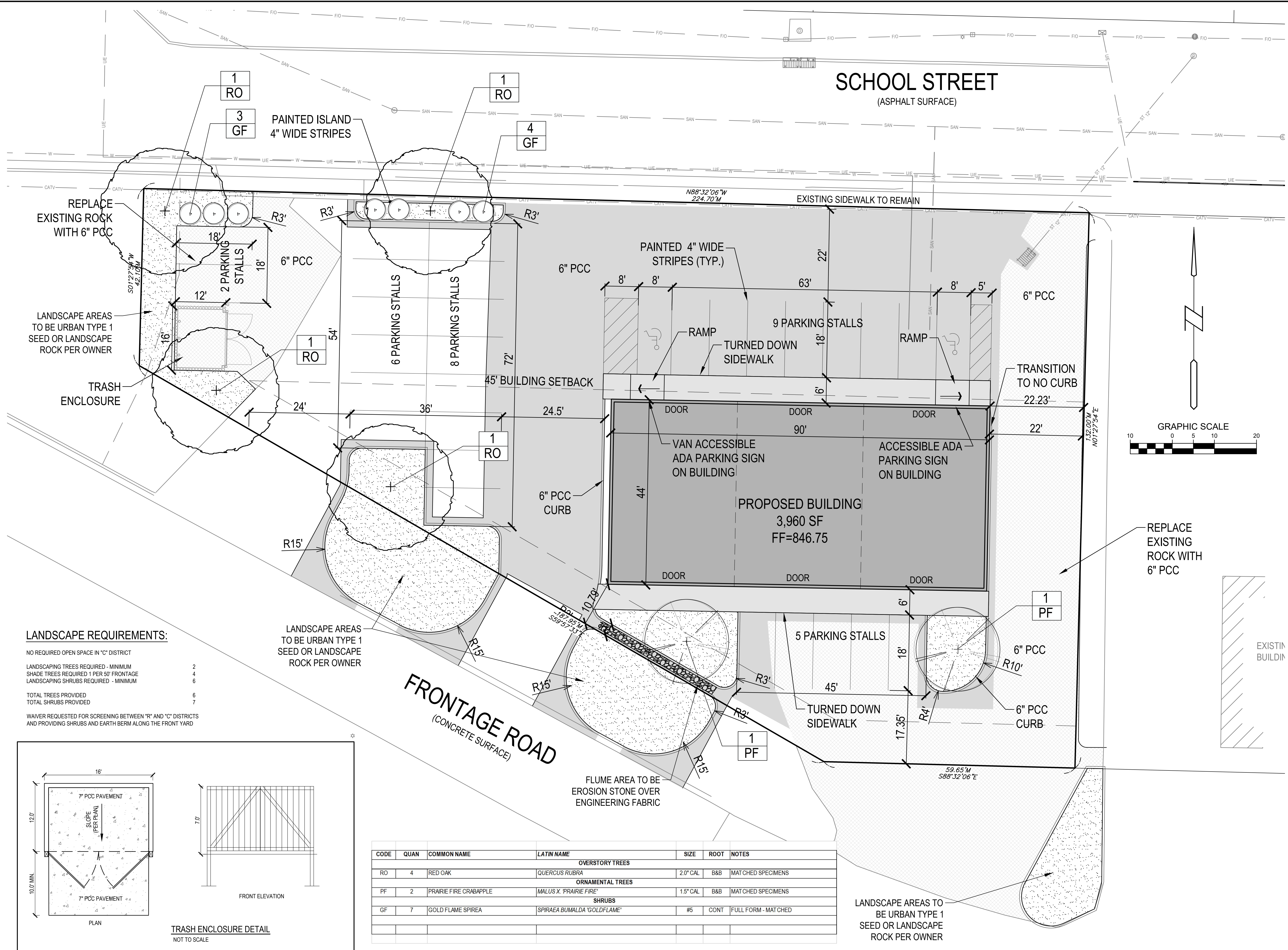
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REVISION DATE:
06/15/2021 CHECK
06/24/2021 CITY#1
07/13/2021 CITY#2

PROJECT NUMBER:
210290

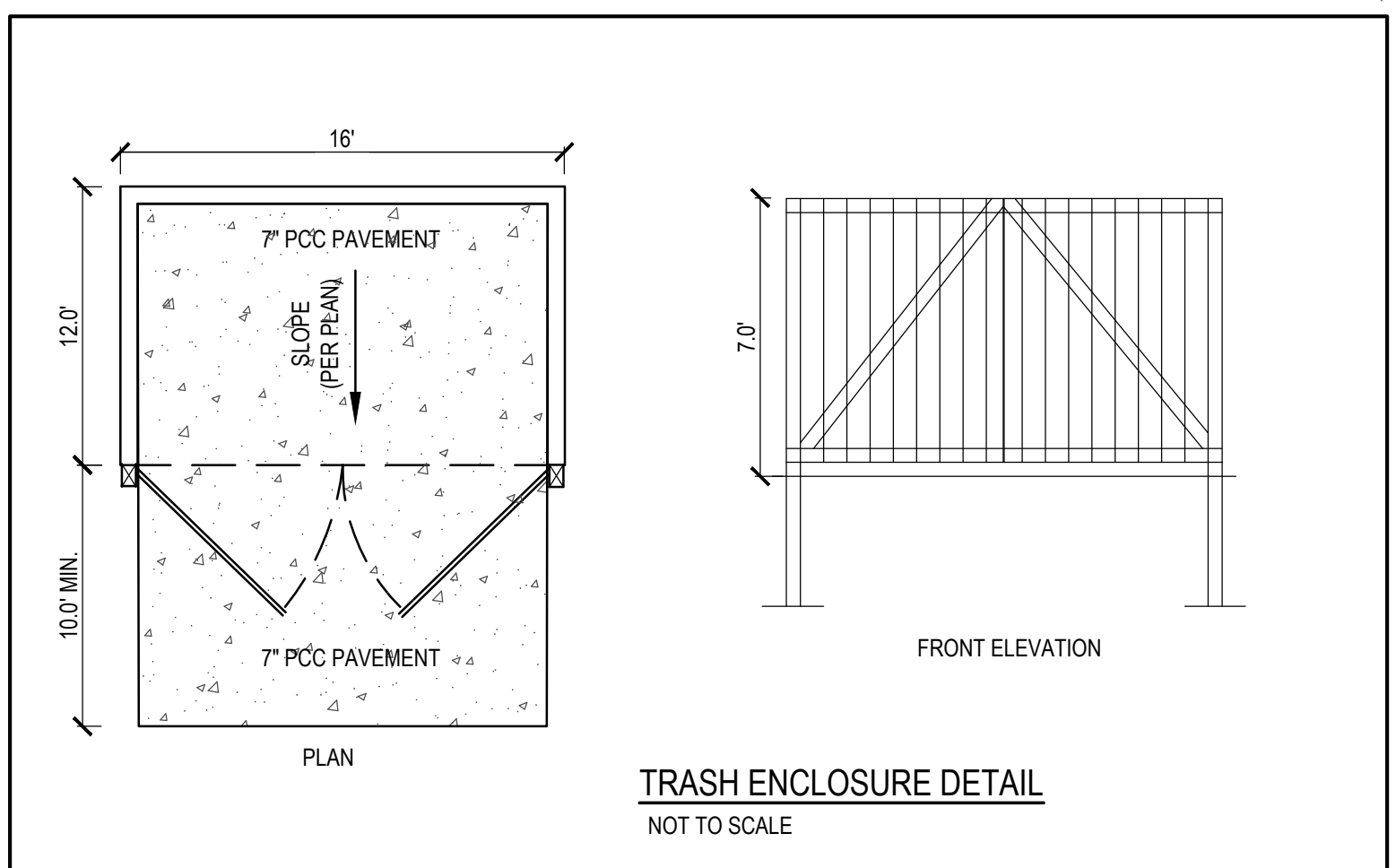
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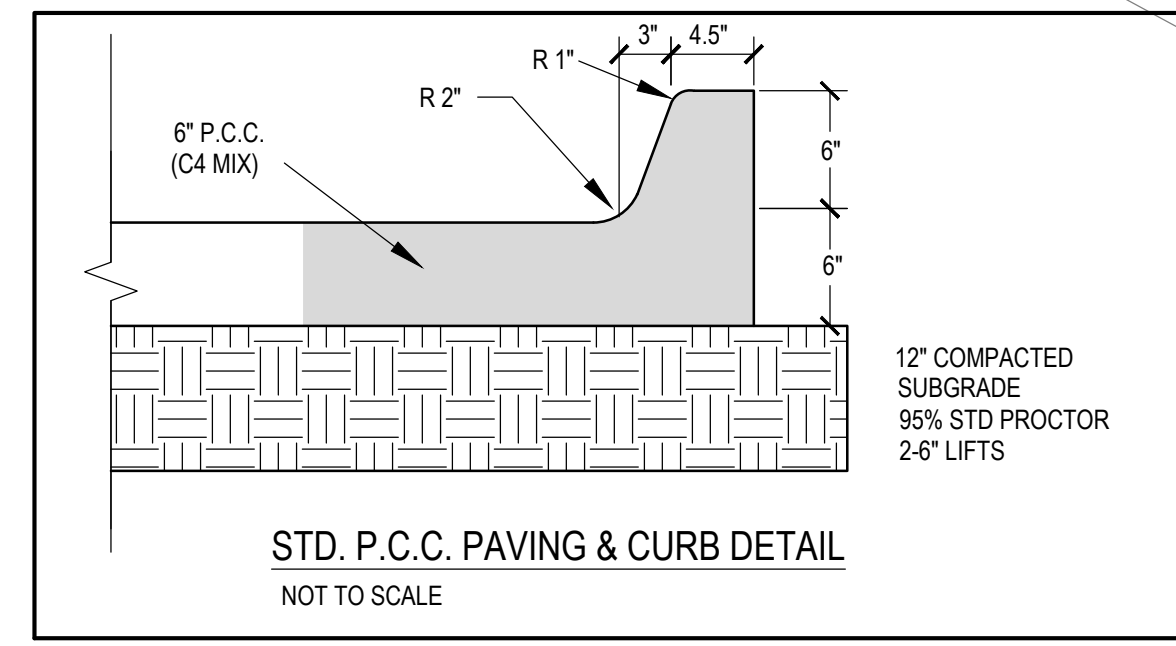
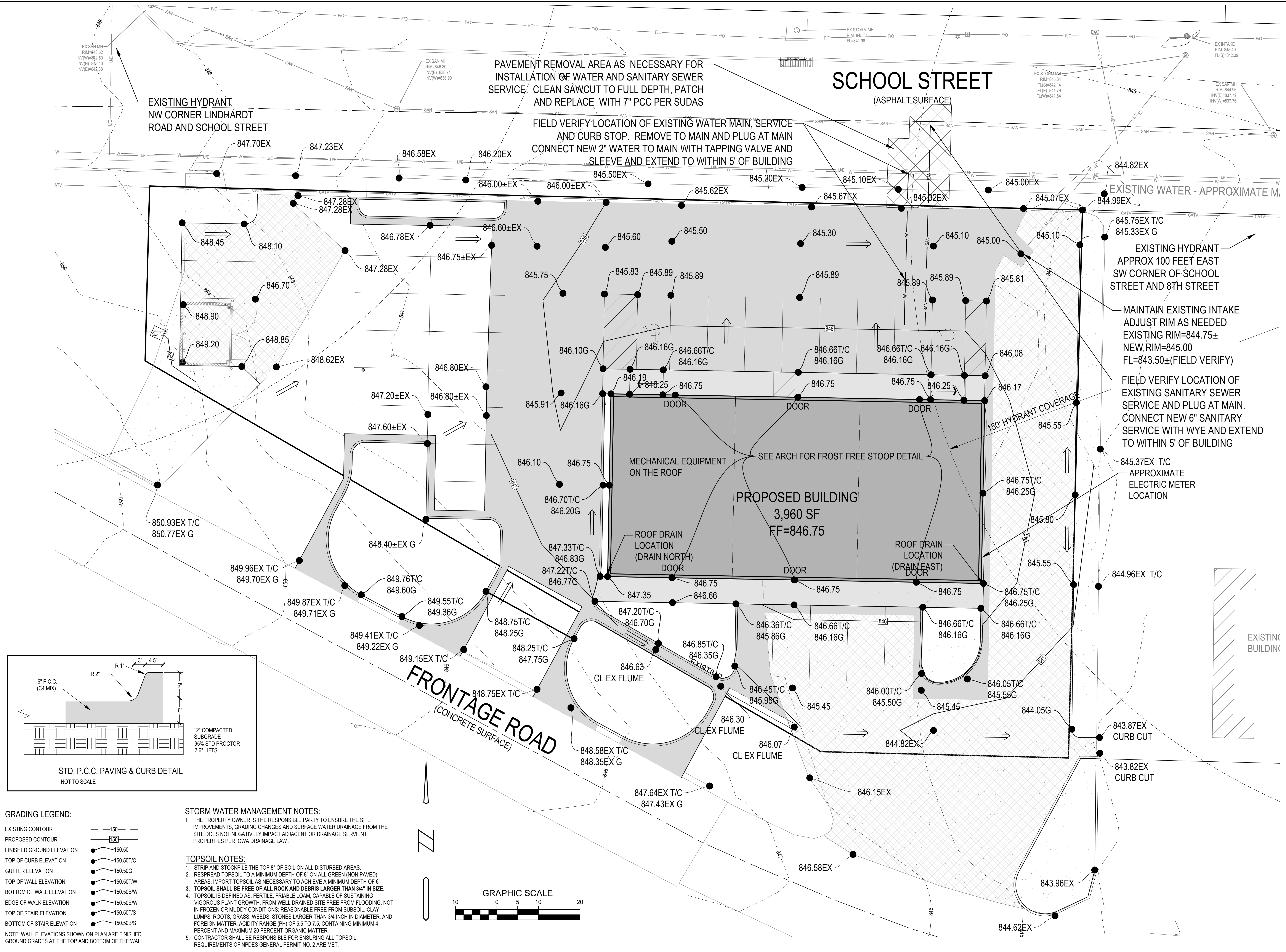
LANDSCAPE REQUIREMENTS:

- NO REQUIRED OPEN SPACE IN "C" DISTRICT
- LANDSCAPING TREES REQUIRED - MINIMUM 2
- SHADE TREES REQUIRED 1 PER 50' FRONTAGE 4
- LANDSCAPING SHRUBS REQUIRED - MINIMUM 6
- TOTAL TREES PROVIDED 6
- TOTAL SHRUBS PROVIDED 7
- WAIVER REQUESTED FOR SCREENING BETWEEN "R" AND "C" DISTRICTS AND PROVIDING SHRUBS AND EARTH BERM ALONG THE FRONT YARD



CODE	QUAN	COMMON NAME	LATIN NAME	SIZE	ROOT	NOTES
OVERSTORY TREES						
RO	4	RED OAK	QUERCUS RUBRA	2.0\"/>		

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GRADING LEGEND:

EXISTING CONTOUR	---	150
PROPOSED CONTOUR	---	150
FINISHED GROUND ELEVATION	●	150.50
TOP OF CURB ELEVATION	●	150.50T/C
GUTTER ELEVATION	●	150.50G
TOP OF WALL ELEVATION	●	150.50T/W
BOTTOM OF WALL ELEVATION	●	150.50B/W
EDGE OF WALK ELEVATION	●	150.50E/W
TOP OF STAIR ELEVATION	●	150.50T/S
BOTTOM OF STAIR ELEVATION	●	150.50B/S

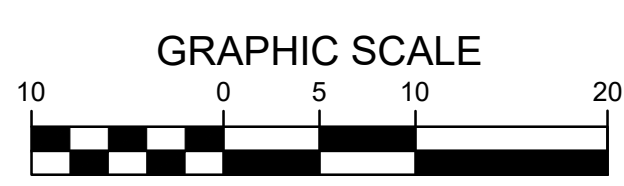
NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.

STORM WATER MANAGEMENT NOTES:

1. THE PROPERTY OWNER IS THE RESPONSIBLE PARTY TO ENSURE THE SITE IMPROVEMENTS, GRADING CHANGES AND SURFACE WATER DRAINAGE FROM THE SITE DOES NOT NEGATIVELY IMPACT ADJACENT OR DRAINAGE SERVIENT PROPERTIES PER IOWA DRAINAGE LAW.

TOPSOIL NOTES:

1. STRIP AND STOCKPILE THE TOP 8" OF SOIL ON ALL DISTURBED AREAS.
2. RESPREAD TOPSOIL TO A MINIMUM DEPTH OF 8" ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 6".
3. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
4. TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.



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**840 SCHOOL STREET
 CARLISLE, IOWA
 GRADING AND UTILITY PLAN**

REFERENCE NUMBER:	
DRAWN BY:	BK
CHECKED BY:	DB
REVISION DATE:	06/15/2021 CHECK 06/24/2021 CITY#1 07/13/2021 CITY#2
PROJECT NUMBER:	210290
SHEET NUMBER:	C3.1

July 15, 2021

Brad Kuehl

Bishop Engineering Company, Inc.
3501 104th Street
Des Moines, IA 50322

RE: **840 School Street – Site Plan Review**
Carlisle, Iowa
FOX Ref No: 8666-21C.240

Thank you for submitting your project for review. The City is committed to assisting you with the completion of this project. FOX Engineering and the City Staff have completed the second review for the 840 School Street Site Plan dated July 13, 2021:

General Notes (for P&Z/Council)

1. It is our understanding that the Developer is requesting the following Code waivers to be Considered by P&Z and Council:
 - a. **No Landscaping/Berming in front yard.** As per 165.06, 5, F:
 - i. *Appropriate screening shall be provided to shield adjacent residential uses from the impacts of the parking lot. In addition, a minimum parking setback of 10 feet shall be required adjacent to any “R” District. Note that the properties to the north are residential.*
 - ii. *Shrubs and earth berms shall be utilized along the front yard.*
 - b. **EIFS allowed as Substantial building material.** As per 165.12, 3, C, 2: – *In C-1 Limited Commercial, C-1a Transitional Commercial/Residential and C-2 Highway Commercial, C-3 Central Business, and C-4 Planned Office/Commercial Park districts, all construction materials shall be dominated by permanence and strength in proportion to the aesthetic characteristics of the building’s bulk and shape. At a minimum, in C-1, C-1a and C-2 districts, 60 percent of such materials shall be incorporated into all exterior surfaces, exclusive of glazed surfaces, and in C-3 and C-4 districts, 100 percent of such materials shall be incorporated into all exterior surfaces, exclusive of glazed surfaces. Acceptable materials shall include brick, stone, or other similar substantial material. Pre-cast, tilt-up concrete panels are acceptable, provided additional architectural detailing is provided along the public faces of the building.*
 - c. **Siding along south elevation.** As per 165.12, 3, B, 3: *Commercial buildings shall incorporate architectural design elements, materials, and colors into the side and rear building elevations similar to those used in the front building elevation.*

Discussion is necessary as to whether the requested waivers shall be granted.

2. Landscaping Rock is being provided in landscape islands in lieu of grass as per 165.06, 5, F, 13.
3. It should be noted that the stone/EIFS faces of the structure are visible from the north, west and east. The view from Highway 5 will see Fiber Cement Lap Siding. The “Front Yard” for this lot is considered the north side of the lot.
4. No stormwater detention is being provided on this site as impervious surfaces and subsequent runoff is reduced by the improvements being made to the site.

General Comments

5. City Building/Fire Officials have the following comments:
 - a. Please provide a fire hydrant within the site to provide a minimum 150-foot radius coverage of the building as per 165.06, 5, L, 2. This will require a 6-inch water service be brought into the site in lieu of the 2-inch service that is shown.
 - b. Please clarify where on the site plan that it shows that each door/unit should be metered or have the ability to be separated/metered at a later date.

Sheet C2.1 – Layout Plan:

6. Please provide additional labels/information on the dumpster enclosure detail to verify that trash screening is of similar building material as the primary building.
7. Per 165.12, 3, B, 5: Roof-mounted mechanical, communications, or other similar equipment shall be screened from public view by the use of parapet walls or other roof structures. If a parapet wall or other roof structure cannot feasibly screen the roof mounted equipment, point-in-place or other appropriate screening with similar design features to the building, including material, shape, and color shall be required. It is difficult to understand whether the A/C units will be visible from Highway 5. Please clarify and/or provide assurance that the mechanical units will not be seen from public right of way to the south of the site.
8. The electric transformer shall be screened (it is unknown where the transformer would be located).

Building Elevations

9. Please label the building materials on the elevation plan.
10. It is highly recommended that you bring detailed building materials and color schemes with you to P & Z and Council for discussion.

Please provide a letter addressing all comments on this comment letter and/or state what was modified on the site plan to address said comments.

SITE PLAN REVIEW SCHEDULE:

PLANNING & ZONING: July 19, 2021 at 7:00pm at the Carlisle City Hall

COUNCIL MEETING: July 26, 2021 at 6:30pm at the Carlisle City Hall

If you have any questions or concerns, please contact Mitch Holtz (515) 233-0000. The City reserves the right to modify or add to these comments.

FOX ENGINEERING ASSOCIATES, INC.

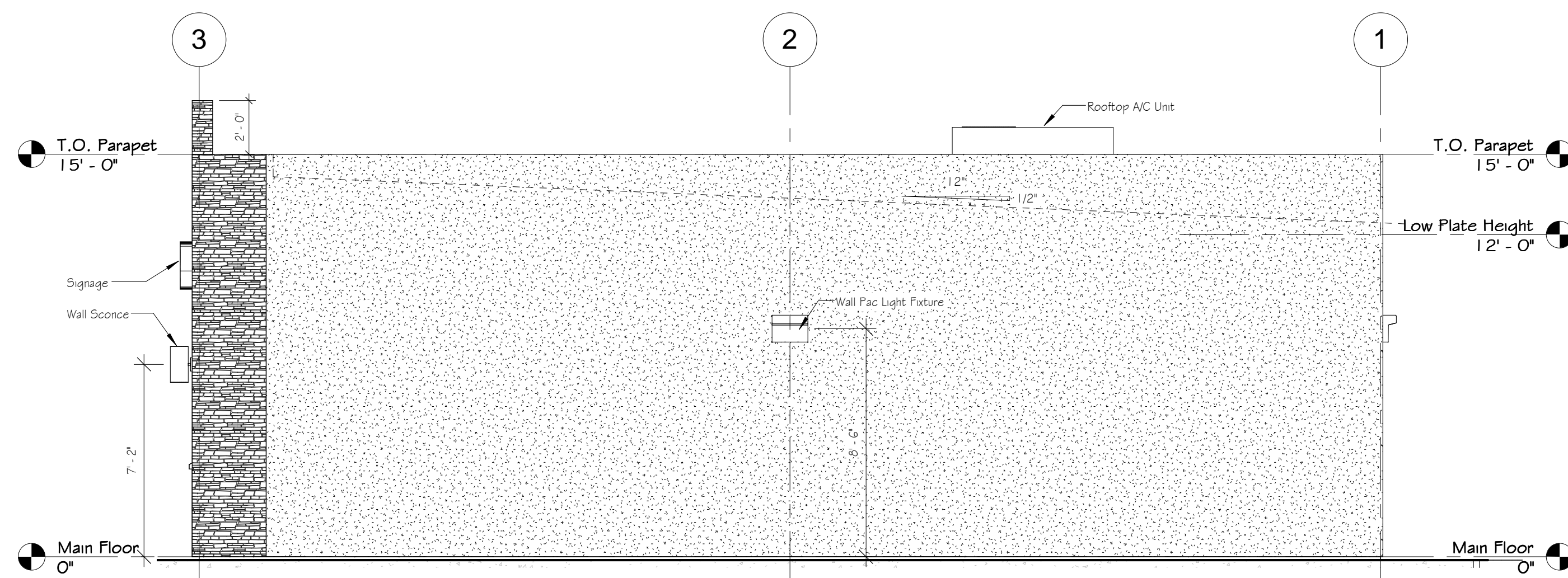


Mitch Holtz, P.E.

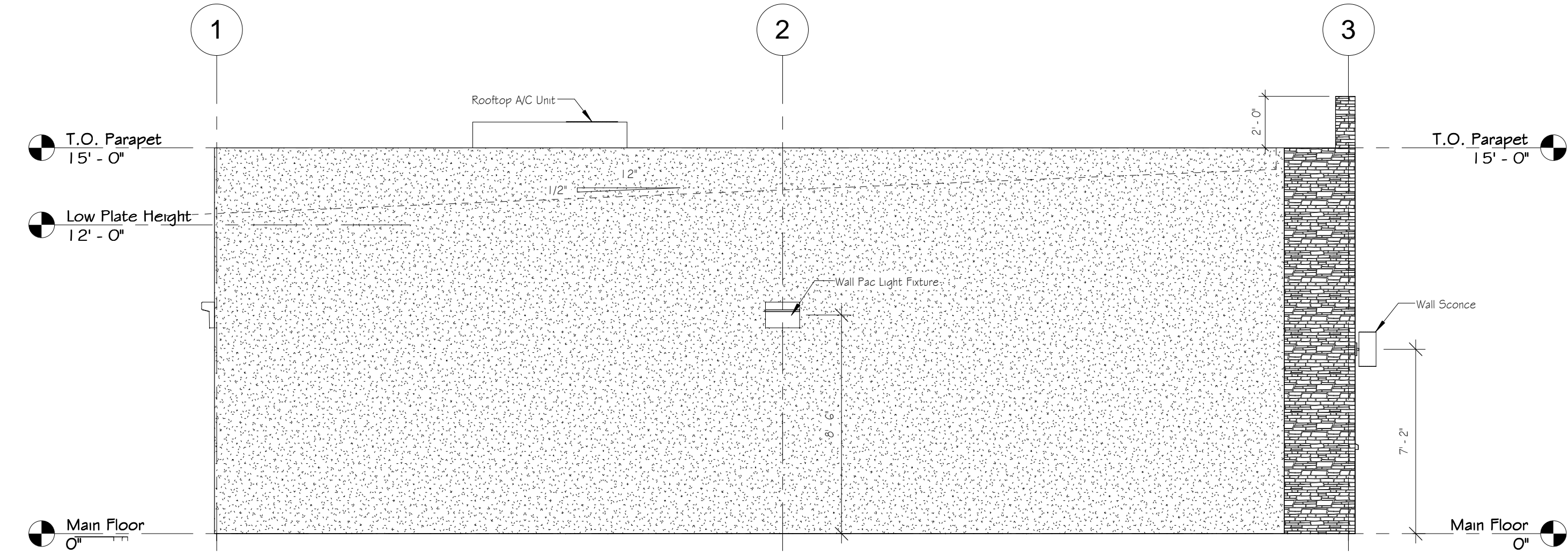
Copy to: Deven Markley, City Administrator



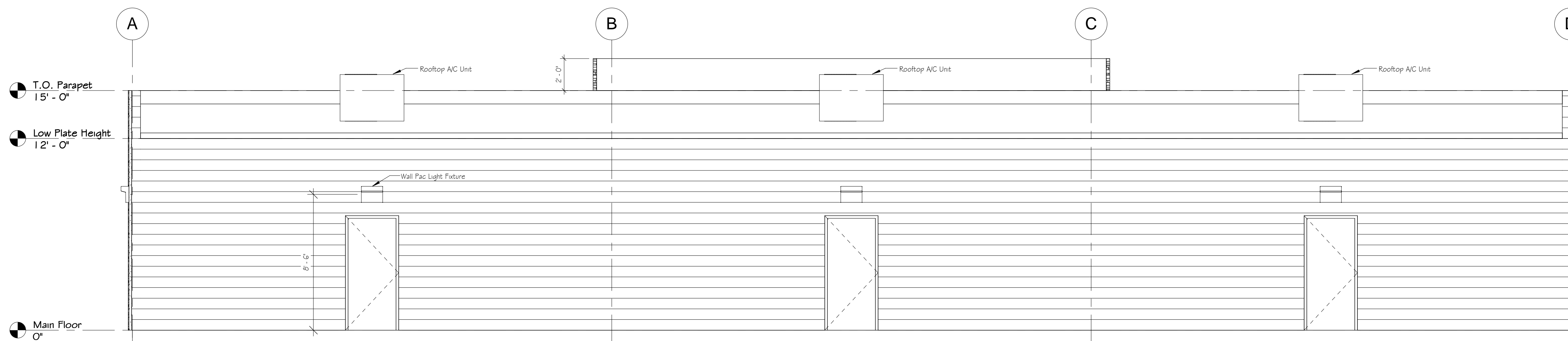
1 Athletico - North Elevation
1/4" = 1'-0"



2 Athletico - West Elevation
1/4" = 1'-0"



3 Athletico - East Elevation
1/4" = 1'-0"



4 Athletico - South Elevation
1/4" = 1'-0"

Building Materials	
EFIS, Brick and Metal:	
Front:	Total Surface Area 1422.48 sf
	Windows & Doors -263.45 sf
	EFIS 759.42 sf
	Brick 399.41 sf
2-Sides:	Total Surface Area 1330.32 sf
	EFIS 1254.06 sf
	Brick 76.26 sf
Rear:	Total Surface Area 1112.11 sf
	Doors -116.03 sf
Total Brick	= 475.67 sf
Total EFIS	= 2013.48 sf
Total Metal	= 996.03 sf
Total Windows & Doors	= 379.68 sf
Total Building Surface:	3864.91 sf
60% Coverage	= 2318.95 sf
Actual Brick & EFIS Total	= 2487.15 sf

Proposed New Building
840 School Street Carlisle, Iowa



July 13, 2021

Honorable Mayor, City Council and Plan and Zoning Commission
195 N. 1st Street
Carlisle, Iowa 50047
ATTN: Deven Markley

Re: Waiver Request
840 School Street Redevelopment (BE #210290)

Dear Honorable Mayor, City Council and Plan and Zoning Commission Members:

On behalf of LMS Properties, LLC, we respectfully request a permanent waiver of landscaping requirements 5a and 5f as noted per Fox Engineering's review comment letter dated 7/08/2021.

The site is limited in area and is mostly paved per the previous Use as a Gas Station, so there is very limited space for providing screening including earth berming on the perimeter per Code Section 165.06,5,F. The site has been designed such that no cars are facing adjacent residential properties. A waiver may be appropriate given that the line between the "C" and "R" district is the centerline of the street and not immediately adjacent.

In addition, we would like to respectfully request that the City waive Architectural Requirements per Code Section 165.12 stating that 60 percent of all exterior surfaces shall be brick, stone or similar material and Section 165.12,3,B,3 requiring similar architectural design elements on the side and rear elevations as done for the front elevations. We would also like to request that EFIS be allowed/considered as a substantial building material and that the elevations be approved as submitted. Included are a couple of photographs from projects using similar building materials for reference.

We appreciate your time and consideration of this waiver request and look forward to any further discussion at your regular meetings. Please do not hesitate to contact me if you have any questions or concerns.

Respectfully Submitted,

A handwritten signature in blue ink, appearing to read "Brad Kuehl".

Brad Kuehl, Project Manager
Bishop Engineering

Enc: Photographs (Adel and Garner, Iowa)

Cc: Laura Swingen, LMS Properties, LLC





CITY OF CARLISLE, IOWA
REZONING APPLICATION

(Please print. Any Non-Legible Application Can Be Rejected.)

- 1. \$50.00 Fee Receipt No.
2. Applicant: Mark & Ruth Randleman
3. Contact Name: Ruth Randleman
4. Phone number: 515.249.4974 E-Mail: ruthrandleman@aol.com
5. Property Address: 15797 Carter St., Carlisle IA. 50047
6. Legal Description: 16-77-23 CARLISLE CAL W660'S 792.2' NE NE
7. Present Zoning: R-1 C- M- A- Other:
8. Proposed Zoning: R- C- M- A-1 Other:
9. Present Use: 9 acres Ag 3 acres Residential
10. Proposed Use: 9 acres Ag 3 acres Residential
11. At Least 50 Percent of Property Owners in Area to be Rezoned Must Sign Petition (Use Extra Sheet if Needed)

Printed Name Address Signature
Mark & Ruth Randleman 15797 Carter St. Mark & Ruth Randleman

- 12. At Least 50 Percent of Property Owners within 300 Feet of Area to be Rezoned Must Sign Petition (Use Extra Sheet if Needed)

Printed Name Address Signature
Larry Schabel 3035 Scotch Ridge Rd Carlisle IA 50047
Sue A Subbert 405 Lindhardt Rd.
Sue A. Subbert Carlisle IA 50047

Legal Description	16-77-23 CARLISLE CAL W 660' S 792.2' NE NE
--------------------------	--

13. Attach a statement of reasons why the present zoning classification is no longer valid.

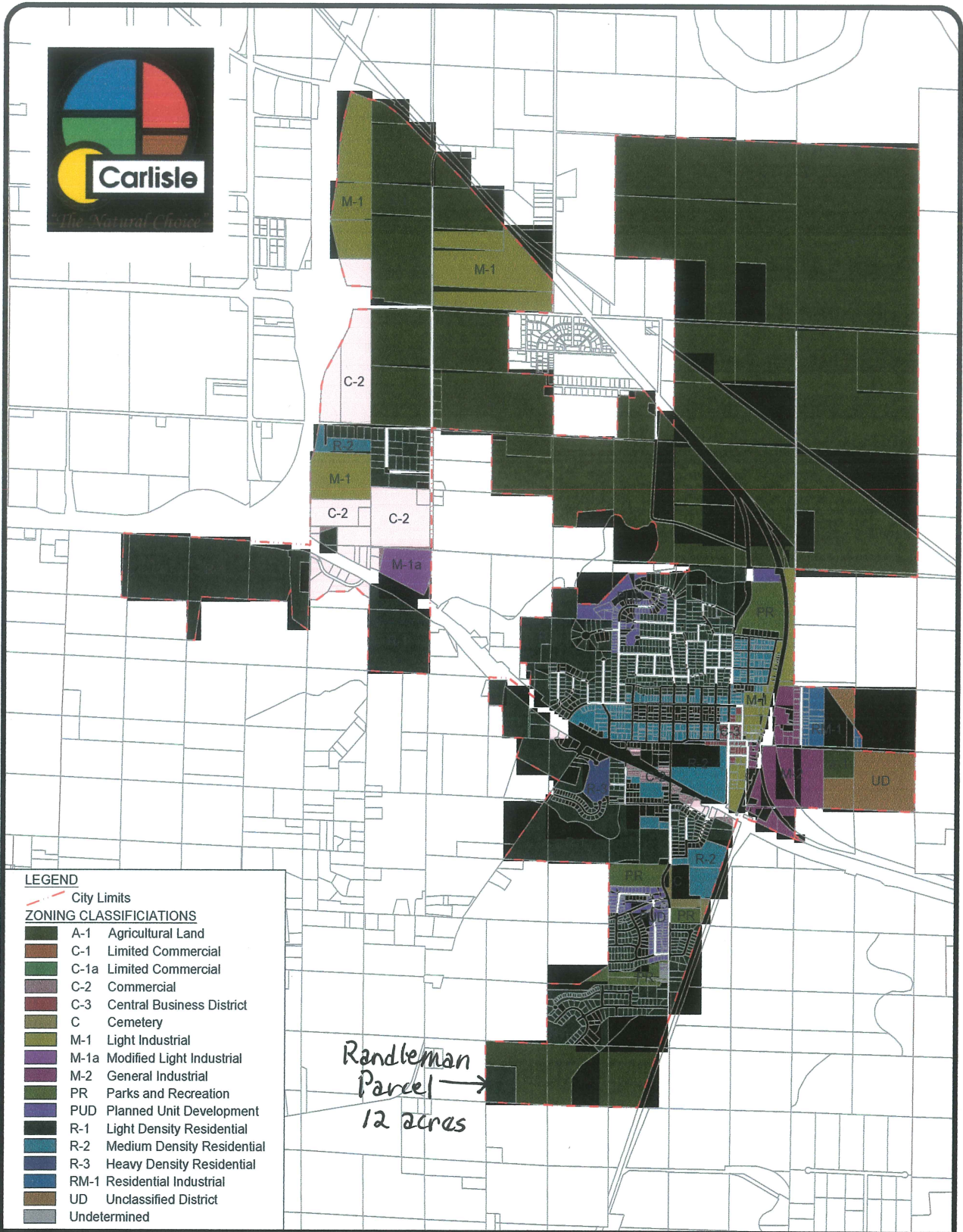
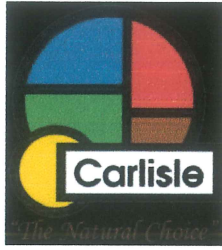
Originally when platting and building the residential structure, the 12 acres did not utilize any of those acres for agriculture purposes. Over the past several years, 3/4 of the parcel began being utilized for agricultural row crops.

The County classification for the 12 acres is Ag. (per Warren Co Assessors site)

The surrounding land zoning on all sides is Ag (see Carlisle City Zoning Map)

Future use plans include increased agriculture type equipment needs.

CITY ZONING



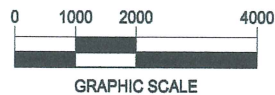
LEGEND

--- City Limits

ZONING CLASSIFICATIONS

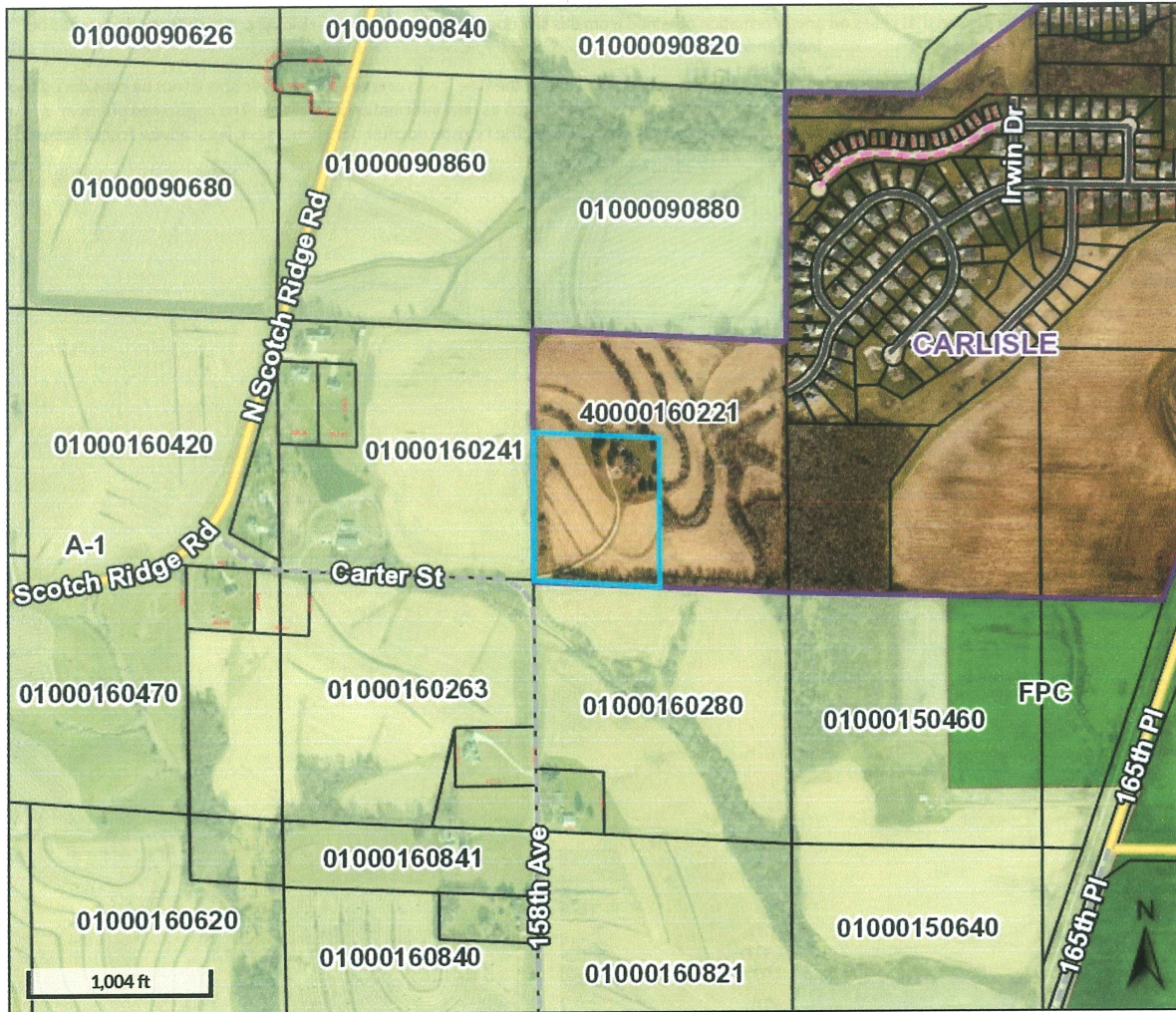
- A-1 Agricultural Land
- C-1 Limited Commercial
- C-1a Limited Commercial
- C-2 Commercial
- C-3 Central Business District
- C Cemetery
- M-1 Light Industrial
- M-1a Modified Light Industrial
- M-2 General Industrial
- PR Parks and Recreation
- PUD Planned Unit Development
- R-1 Light Density Residential
- R-2 Medium Density Residential
- R-3 Heavy Density Residential
- RM-1 Residential Industrial
- UD Unclassified District
- Undetermined

Randleman Parcel →
12 acres

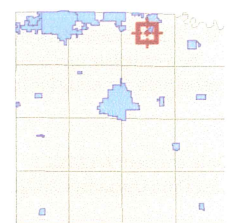


COUNTY ZONING

BeaconTM Warren County, IA



Overview



Legend

- Roads**
- <all other values>
 - Interstate
 - Highway
 - Ramp
 - County Gravel
 - County Level B
 - County Level C
 - City Gravel
 - City Street
 - Private Street
 - Corporate Limits
 - Parcels
 - Political Township
- Major Roads**
- County Hwy
 - State Hwy
 - US Hwy
 - Interstate
- Zoning**
- A-1
 - C-1
 - C-2
 - C-2R
 - FPC
 - M-1
 - M-1R
 - M-2
 - R-1
 - R-2
 - R-5
 - RR-1
 - Water

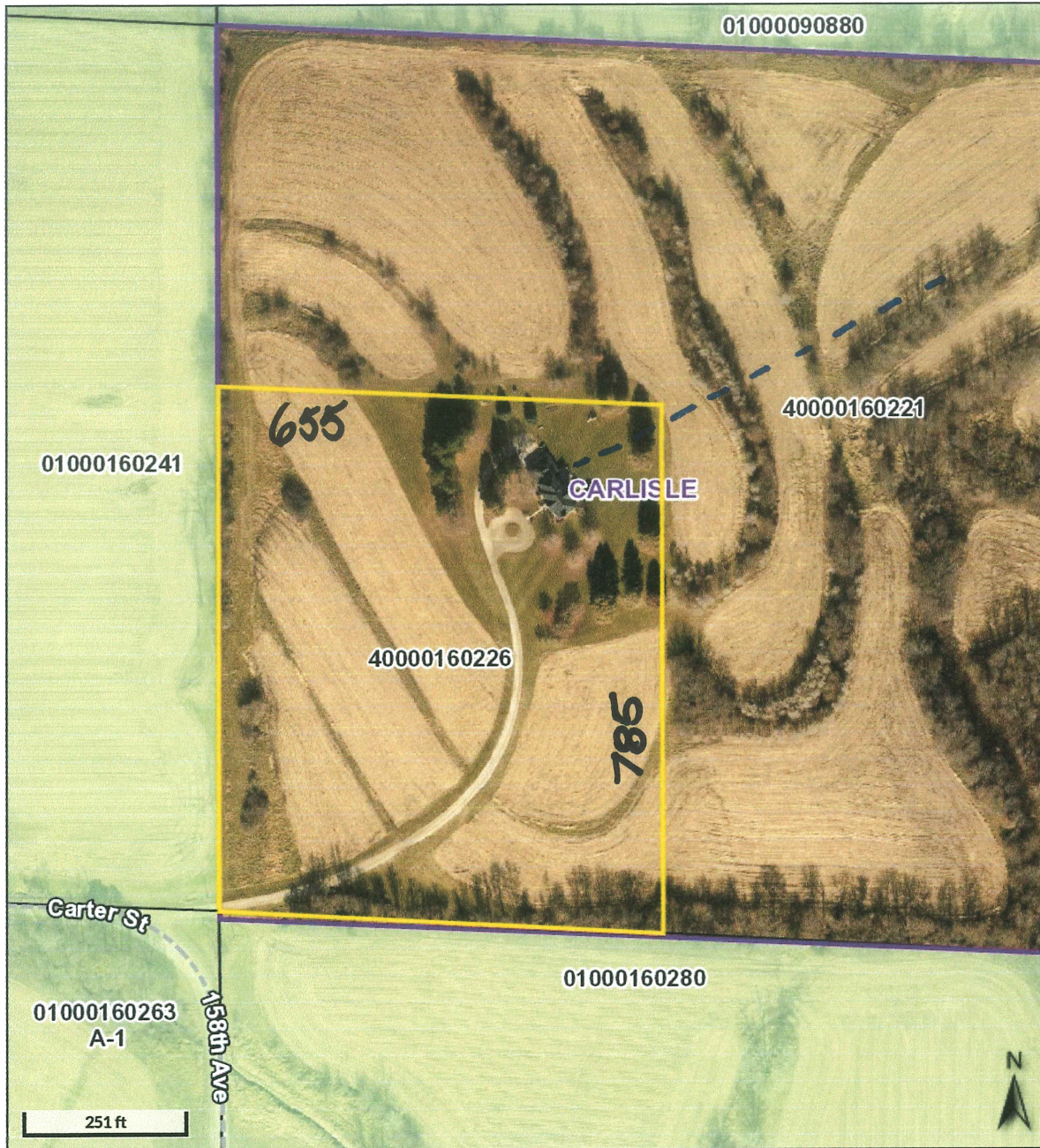
Parcel ID 40000160226
 Sec/Twp/Rng 16-77-23
 Property Address 15797 CARTER ST
 CARLISLE
 District 40100

Alternate ID n/a
 Class A
 Acreage 12

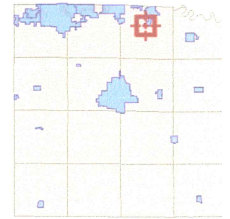
Owner Address RANDLEMAN, MARK E/RUTH A REV LVG TST
 15797 CARTER ST
 CARLISLE, IA 50047

PARCEL DIMENSIONS WATER LINE

P & Z parcel dimensions



Overview



Legend

Roads

- <all other values>
- Interstate
- Highway
- Ramp
- County Gravel
- County Level B
- County Level C
- City Gravel
- City Street
- Private Street

- Corporate Limits
- Parcels
- Political Township

Major Roads

- County Hwy
- State Hwy
- US Hwy
- Interstate

Zoning

- A-1
- C-1
- C-2
- C-2R
- FPC
- M-1
- M-1R
- M-2
- R-1
- R-2
- R-5
- RR-1
- Water

Disclaimer:

The maps included in this website do not represent a survey and are compiled from official records, including plats, surveys, recorded deeds, and contracts, and only contain information required for government purposes. No warranties, expressed or implied, are provided for the data herein, its use or its interpretation. Warren County assumes no responsibility for use or interpretation of the data. Any person that relies on any information obtained from this site does so at his or her own risk. All critical information should be