

City of Carlisle, Iowa  
Planning and Zoning Commission  
Special Meeting  
August 17, 2020  
7:00 P.M.  
Carlisle City Hall

Join Zoom Meeting - <https://us02web.zoom.us/j/9951930479>

Meeting ID: 995 193 0479

One tap mobile – Call 1-929-205-6099, enter 995-193-0479# when prompted

We encourage all videoconferencing or calling in to let staff know who you are for the record and then mute your microphone or phone until you would like to speak to provide a better overall experience.

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**Call to order**

**Determine quorum**

**New Business and Action Items**

1. Discussion and Possible Action on Recommendation for Plat of Survey for Parcel “P” of SW ¼ of the SE ¼ of Section 14, Warren County, Iowa
2. Discussion and Possible Action on Special Use Permit for Three Rivers Church at 90 Highway 5
3. Discussion and Possible Action on Recommendation for Final Plat for Danamere Farms Plat 8
4. Discussion and Possible Action on Recommendation for Preliminary Plat for Pasco Point
5. Discussion and Possible Action on Recommendation for Construction Drawings for Pasco Point
6. Discussion and Possible Action on Recommendation for Final Plat for Pasco Point
7. Discussion and Possible Action on Recommendation for City Hall Site Plan

**Administrator/Engineer/Commission Reports**

**Adjournment**

**\*\* PLEASE NOTE THAT THIS AGENDA MAY CHANGE UP TO 24 HOURS PRIOR TO THE MEETING \*\***

# PLAT OF SURVEY

**DATE OF SURVEY:**

**RECORD INDEX:**

**LOCATION:** SECTION 14 TOWNSHIP 77 NORTH RANGE 23 WEST

**REQUESTOR:** SHAWN O'BRIEN

**SITE ADDRESS:**

3798 180TH AVENUE

CARLISLE, IA 50047

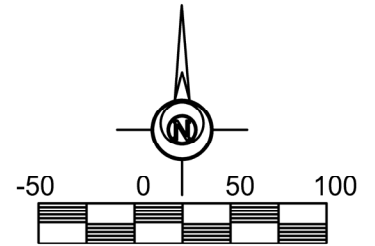
**SURVEYOR:** VOLDEMARS PELDS

**COMPANY:** PELDS DESIGN SERVICES

**RETURN TO:**

2323 DIXON STREET

DES MOINES, IA 50316



Scale in Feet  
1" = 100'

NW COR SE1/4-SE1/4  
SEC 14-77-23  
FND 1/2" IRON ROD  
WYC #5301  
(PER TIES)

S88° 19' 17"E 1332.61' (M)

CLEVELAND ST.

S88° 21' 29"E 229.59' (M)

POINT OF BEGINNING  
NE COR SE1/4-SE1/4  
SEC 14-77-23  
FND 1/2" IRON ROD  
WYC #5301  
(PER TIES)

**FENCE NOTES:**

FN#1: FENCE CORNER 0.23'  
WEST OF PROPERTY LINE

FN#2: FENCE CORNER 0.28'  
NORTH & 0.35' WEST OF  
PROPERTY LINE

FN#3: FENCE CORNER 0.43'  
NORTH OF PROPERTY LINE

FN#4: FENCE CORNER 2.8'  
EAST OF PROPERTY LINE

FN#5: FENCE END 1' NORTH  
OF PROPERTY CORNER

FN#6: FENCE END 1.2'  
NORTH OF PROPERTY LINE

PARCEL "E"  
(Irr. Plat Book 18, Page 4)

PARCEL D  
(Irr. Plat Book 15, Page 24)

PARCEL G  
(Irr. Plat Book 19, Page 7)

CEMETERY  
(Irr. Plat Book 4, Page 10)

N01° 01' 14"E  
138.73' (M)

PARCEL "P"  
177,385 sq.ft (4.07 acres) GROSS  
26,171 sq.ft (0.60 acres) R.O.W.  
151,214 sq.ft. (3.47 acres) NET

**LEGAL DESCRIPTION:**

Parcel "P" in the Southeast Quarter of the Southeast Quarter (SE 1/4 - SE 1/4) of Section 14, Township 77 North, Range 23 West of the 5th Principal Meridian, Warren County, Iowa, more particularly described as follows:

Beginning at the Northeast corner of said Southeast Quarter of the Southeast Quarter (SE 1/4 - SE 1/4); THENCE South 00°14'18" East, along the East line of said Section 14, a distance of 596.91 feet; THENCE North 88°21'29" West, a distance of 306.56 feet; THENCE North 40°33'22" West, a distance of 45.85 feet; THENCE North 01°01'14" East, a distance of 222.96 feet to the Southeast corner of a Cemetery Parcel recorded in Irregular Plat Book 4, Page 10; THENCE North 01°01'14" East, along the East line of said Cemetery Parcel, a distance of 138.73 feet to a point on the South line of Parcel "G" as recorded in Irregular Plat Book 19, Page 7; THENCE South 89°02'33" East, along the South line of said Parcel "G", a distance of 97.65 feet to the Southeast corner of said Parcel "G"; THENCE North 00°03'12" East, along the East line of said Parcel "G", a distance of 199.87 feet to a point on the North line of said Southeast Quarter of the Southeast Quarter (SE 1/4 - SE 1/4); THENCE South 88°21'29" East, along said North line, a distance of 229.59 feet to the POINT OF BEGINNING, containing 4.07 acres, more or less

**NOTES:**

ORIENTATION OF THIS BEARING SYSTEM IS IOWA STATE PLANE SOUTH (NAD 83) THIS SURVEY WAS PERFORMED USING THE IOWA RTN NETWORK.

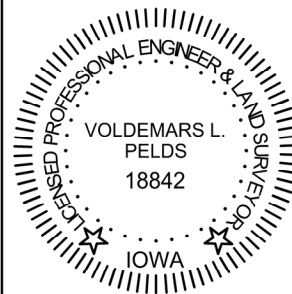
NOTE:  
THIS DRAWING IS BEING MADE AVAILABLE BY PELDS DESIGN SERVICES (P.D.S.) FOR USE ON THIS PROJECT IN ACCORDANCE WITH P.D.S.'s AGREEMENT FOR PROFESSIONAL SERVICES. P.D.S. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL OR OTHERWISE) FOR ANY USE OF THESE DRAWINGS (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID AGREEMENT.

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

VOLDEMARS LEO PELDS, P.L.S. IA. LIC. NO.18842 DATE

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2021

ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL (NONE UNLESS INDICATED HERE):



**SYMBOLS LEGEND**

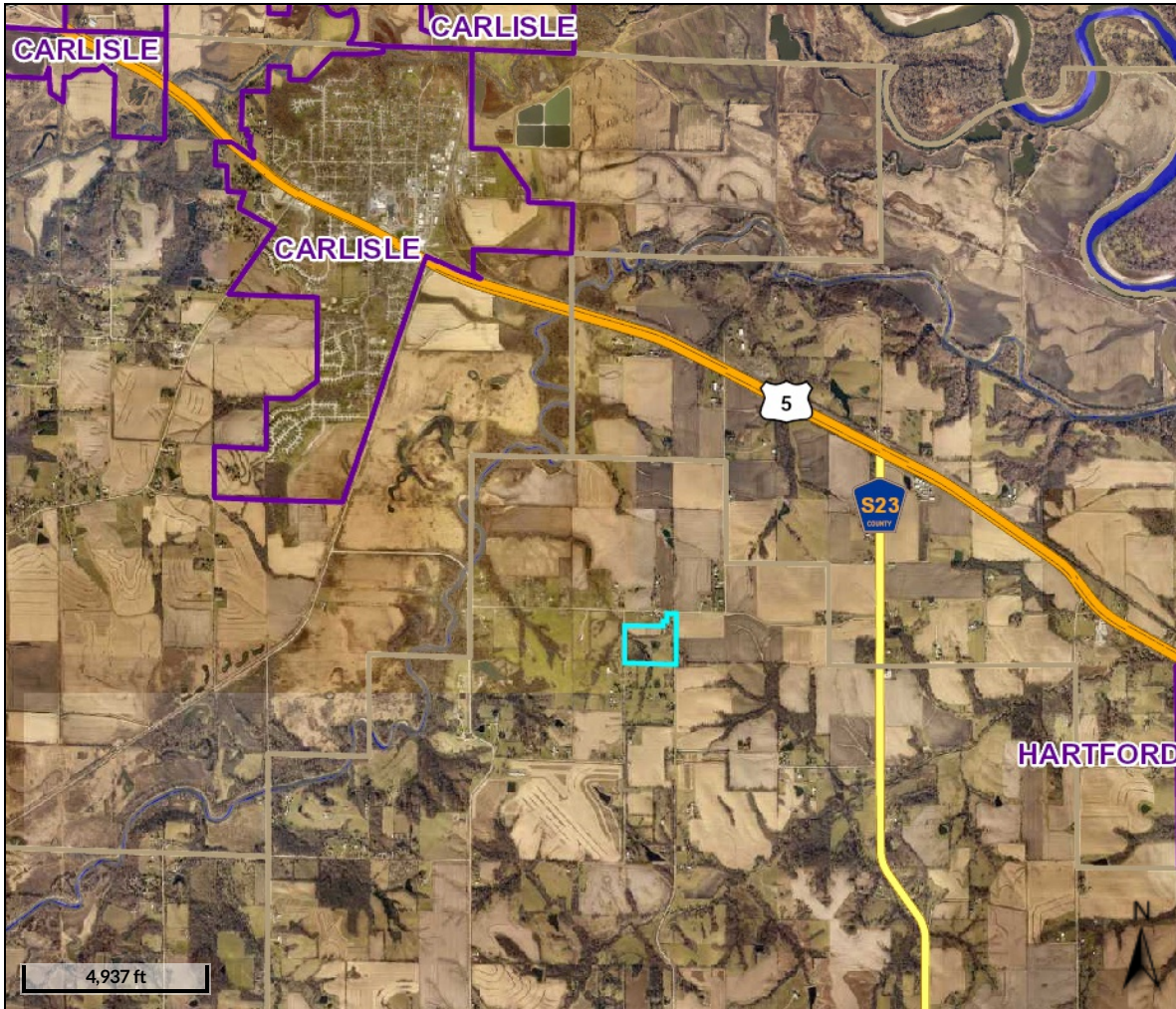
- FND 1/2" IRON ROD WYC #5301
- SET 1/2" REROD w/ YELLOW PLASTIC CAP STAMPED #18842
- ▲ FOUND SECTION CORNER
- (M)/(P)/(R) MEASURED/PLATTED/RECORDED
- ✕✕ FENCE
- WYC WITH YELLOW CAP



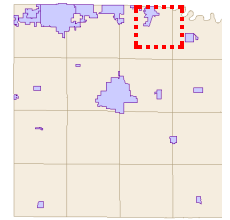
**PLAT OF SURVEY FOR 3798 180TH AVE.  
CARLISLE IOWA, 50047**

COPYRIGHT DATE:	DRAWN BY:	SCALE:	LATEST REVISION:	PROJECT NO.:
	A.BRADFIELD	1" = 100'	7.29.2020	20-082

FILE PATH: J:\2020 PROJECTS\20-082 - PLAT OF SURVEY - 3798 180TH AVE CARLISLE - O'BRIEN\POS 20-082.DWG



**Overview**



**Legend**

**Roads**

- <all other values>
  - Interstate
  - Highway
  - Ramp
  - County Gravel
  - County Level B
  - County Level C
  - City Gravel
  - City Street
  - Private Street
  - Corporate Limits
  - Parcels
  - Political Township
- Major Roads**
- County Hwy
  - State Hwy
  - US Hwy
  - Interstate
  - Water

<b>Parcel ID</b>	19000140890	<b>Alternate ID</b>	19000140881	<b>Owner Address</b>	O'BRIEN, SHAWN/JESSICA
<b>Sec/Twp/Rng</b>	14-77-23	<b>Class</b>	A		3798 180TH AVE
<b>Property Address</b>	3798 180TH AVE CARLISLE	<b>Acreage</b>	30.19		CARLISLE IA 50047
<b>District</b>	19152				
<b>Brief Tax Description</b>	14-77-23 SE SE EX 2.43A & EX PCL'S E & G & D				
	(Note: Not to be used on legal documents)				

**Disclaimer:**

The maps included in this website do not represent a survey and are compiled from official records, including plats, surveys, recorded deeds, and contracts, and only contain information required for government purposes. No warranties, expressed or implied, are provided for the data herein, its use or its interpretation. Warren County assumes no responsibility for use or interpretation of the data. Any person that relies on any information obtained from this site does so at his or her own risk. All critical information should be independently verified.

The 2,000 Foot Buffers layer is for law enforcement guidance only, and is based on the best information available at the time it was prepared. This layer should not be considered to be a complete and accurate representation of the locations of every school or child care facility, and will be changed as new information is available. The registered offender is responsible for ensuring that proposed residence is in compliance with the law, and may not rely solely on this layer. The registered offender should seek legal advice from a licensed attorney if needed.

Date created: 8/6/2020  
Last Data Uploaded: 8/5/2020 9:30:25 PM



CITY OF CARLISLE, IOWA
SPECIAL USE PERMIT APPLICATION

(Please print. Any Non-Legible Application Can Be Rejected.)

- 1. \$50.00 Fee Receipt No.
2. Applicant: Three Rivers Community Church
3. Legal Description: Church / Religious Organization

- 4. Present Zoning: Commercial
5. Present Use: Empty / Former Edward Jones
6. Proposed Use: Church: meeting place for worship, youth group, small group, etc
7. List Owners of all Property Within 300 feet of area for which the special use permit pertains. At Least 50 Percent of Property Owners within 300 Feet of Area to be Must Sign Petition (Use Extra Sheet if Needed)

Table with 3 columns: Printed Name, Address, Signature. Rows include Penny Crane, Dawn Alley, Leesa Castillo, Jess Corwonski, Matt Thier, and Tom King.



39140001020

9140000020

Matt Tiller  
39720101248  
39720100248

2726

39720100247

5271

39720100249

39720100222

2776

Leesa Casulis  
39720100241 255.6

2233 236

1415

2725

GARAGE



HWY 5  
HWY 5

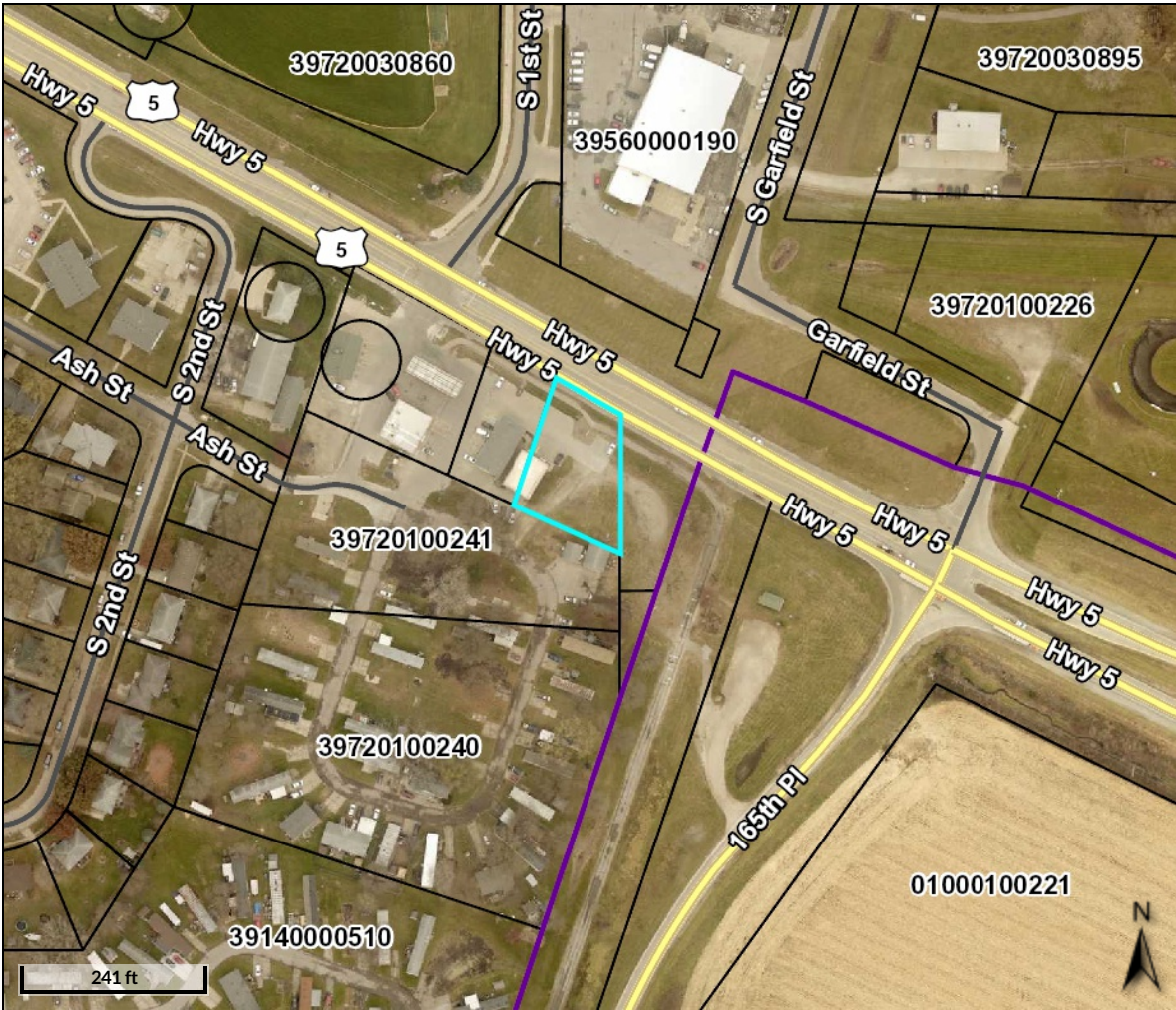
SHERI CORWONSKI

RONNY CRANE

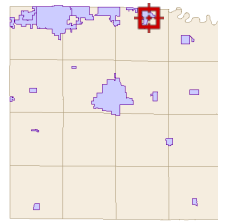
LOGRANE

TOM KING

HWY 5



**Overview**



**Legend**

- Roads**
-  <all other values>
  -  Interstate
  -  Highway
  -  Ramp
  -  County Gravel
  -  County Level B
  -  County Level C
  -  City Gravel
  -  City Street
  -  Private Street
  -  Corporate Limits
  -  Parcels
  -  Political Township
- Major Roads**
-  County Hwy
  -  State Hwy
  -  US Hwy
  -  Interstate
  -  Water

<b>Parcel ID</b>	39720100249	<b>Alternate ID</b>	39720100246	<b>Owner Address</b>	GOODHUE REALTY CO.
<b>Sec/Twp/Rng</b>	10-77-23	<b>Class</b>	C		8944 180TH AVE
<b>Property Address</b>	80/90 HWY 5	<b>Acreeage</b>	n/a		CARLISLE IA 50047
	CARLISLE				
<b>District</b>	39100				
<b>Brief Tax Description</b>	10-77-23.45AE OF PCL N NW NE				
	(Note: Not to be used on legal documents)				

**Disclaimer:**

The maps included in this website do not represent a survey and are compiled from official records, including plats, surveys, recorded deeds, and contracts, and only contain information required for government purposes. No warranties, expressed or implied, are provided for the data herein, its use or its interpretation. Warren County assumes no responsibility for use or interpretation of the data. Any person that relies on any information obtained from this site does so at his or her own risk. All critical information should be independently verified.

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Date created: 8/13/2020  
 Last Data Uploaded: 8/12/2020 9:27:07 PM

August 13, 2020

**Caleb Smith, P.E.**

McClure Engineering Company  
1360 NW 121<sup>st</sup> Street  
Clive, Iowa 50325

**Danamere Farms Plat 8 - Final Plat**

Carlisle, Iowa  
FOX Ref No: 8666-03C.239

Thank you for submitting your project for review. The City is committed to assisting you with the completion of this project. FOX Engineering and the City Staff has completed the second review for Danamere Farms Plat 8 Final Plat, dated August 6, 2020 and as submitted to FOX Engineering via email on August 11, 2020 and offers the following comments:

1. General notes for P&Z and Council: The plat is for R-3 (Multi-Family Townhome) as per the approved Danamere PUD Master Plan.
2. Please provide easement documents to be recorded for each off-site easement required for this development (Sanitary Sewer Easement and Storm Sewer Easement...possibly flowage/detention easement). These easements will need to be vacated in the future when future phases are platted.
3. 180.09.03.A, please provide a warranty deed to the City properly executed for all street intended as public streets and any other property intended for public use.
4. 180.09.03.B, please submit any covenants or restrictions to be imposed upon the plat. These should be the Final Development Plan Documents that have already been approved that defines the by-laws of the common areas that are NOT dedicated to the City. These documents need to be recorded in the office of the County Recorder.
5. 180.09.03.D, please provide a certificate by the Owner that the subdivision is free of consent and is in accordance with the desires of the owner.
6. Please provide an Easement Dedication document which states the restrictions on the easements (ex. sanitary sewer easements, storm sewer easements, PUE's) as shown on the Final Plat. McClure has prepared and sent these in the past for previous plats. This document should be recorded with the Final Plat.
7. As-built record drawings shall be submitted within 30 days after the completion of construction. The Engineer shall field verify all structures (manholes, valves, hydrants) and flowlines.
8. Please provide maintenance bonds for all pavement and utilities to be dedicated to the city of Carlisle. The bond period shall begin once all infrastructure is installed and accepted. City Engineer shall review the bond amounts prior to submission of for bond documents. Maintenance Bonds for this plat are as follows (180.03, 15):
  - a. Streets - 4-yr Maintenance Bond
  - b. Sanitary Sewers - 2-yr Maintenance Bond
  - c. Storm Sewers - 2-yr Maintenance Bond
  - d. Water Mains - 2-yr Maintenance Bond
  - e. Sidewalks - 4-yr Maintenance Bond



- 
9. Please provide performance bonds for all incomplete construction. Please provide an opinion of cost for City review prior to submittal of the performance bond.

**FINAL PLAT SCHEDULE:**

**PLANNING & ZONING:** August 17, 2020 at 7:00 at the Carlisle City Hall

**COUNCIL MEETING:** August 24, 2020 at 6:30 at the Carlisle City Hall

If you have any questions or concerns, please contact Mitch Holtz at 515-231-6005. The City reserves the right to modify or add to these comments.

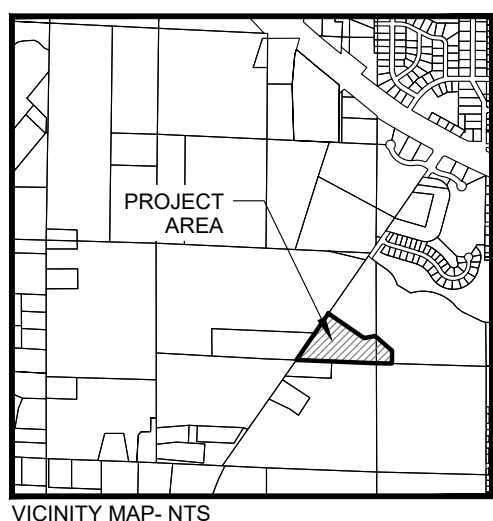
FOX ENGINEERING ASSOCIATES, INC.



Mitch Holtz, P.E.

Copy to: Deven Markley, City Administrator, Carlisle

INDEX LEGEND	
CITY:	CARLISLE
COUNTY:	WARREN
ALIQUOT PT:	PT PARCEL 'AE' IN NW1/4 NW 1/4 SEC. 10-77-23
ALIQUOT PT:	PT PARCEL 'AE' IN NE1/4 NE 1/4 SEC. 9-77-23
PROPRIETOR:	HUBBELL METROPOLITAN
REQUESTED BY:	HUBELL REALTY
SURVEYOR:	MICHAEL D. LEE
COMPANY:	MCCLURE
RETURN TO:	MICHAEL D. LEE 1360 NW 121ST STREET, STE A CLIVE, IOWA 50325 / 515-964-1229



# DANAMERE FARMS PLAT 8 FINAL PLAT CITY OF CARLISLE WARREN COUNTY, IOWA



1360 NW 121st Street, STE A  
Clive, Iowa 50325  
515-964-1229  
fax 515-964-2370

**OWNERS:**  
HUBBELL METROPOLITAN  
DEVELOPMENT FUND, LLC  
6900 WESTOWN PARKWAY  
WEST DES MOINS, IOWA 50266  
(515) 243-3228

**ENGINEER:**  
MCCLURE  
1360 NW 121ST STREET  
CLIVE, IA 50325  
(515) 964-1229  
CSMITH@MECRESULTS.COM  
ATTN: CALEB SMITH

**SETBACK SUMMARY:**  
FRONT= 20.00'  
SIDE= 5.00' EACH SIDE  
REAR= 10.00'

**NOTE:**  
-THE BASIS OF BEARING IS FROM A LOCALIZED COORDINATE ZONE FROM GPS OBSERVATIONS. THE MEASURED AND RECORD BEARINGS ARE SHOWN ON THE SURVEY.

-STREET LOT 'A' AND STREET LOT 'B' ARE DEDICATED TO THE CITY OF CARLISLE FOR PUBLIC RIGHT-OF-WAY PURPOSES.

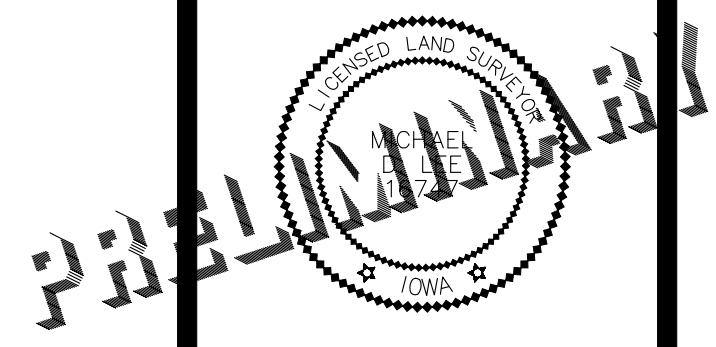
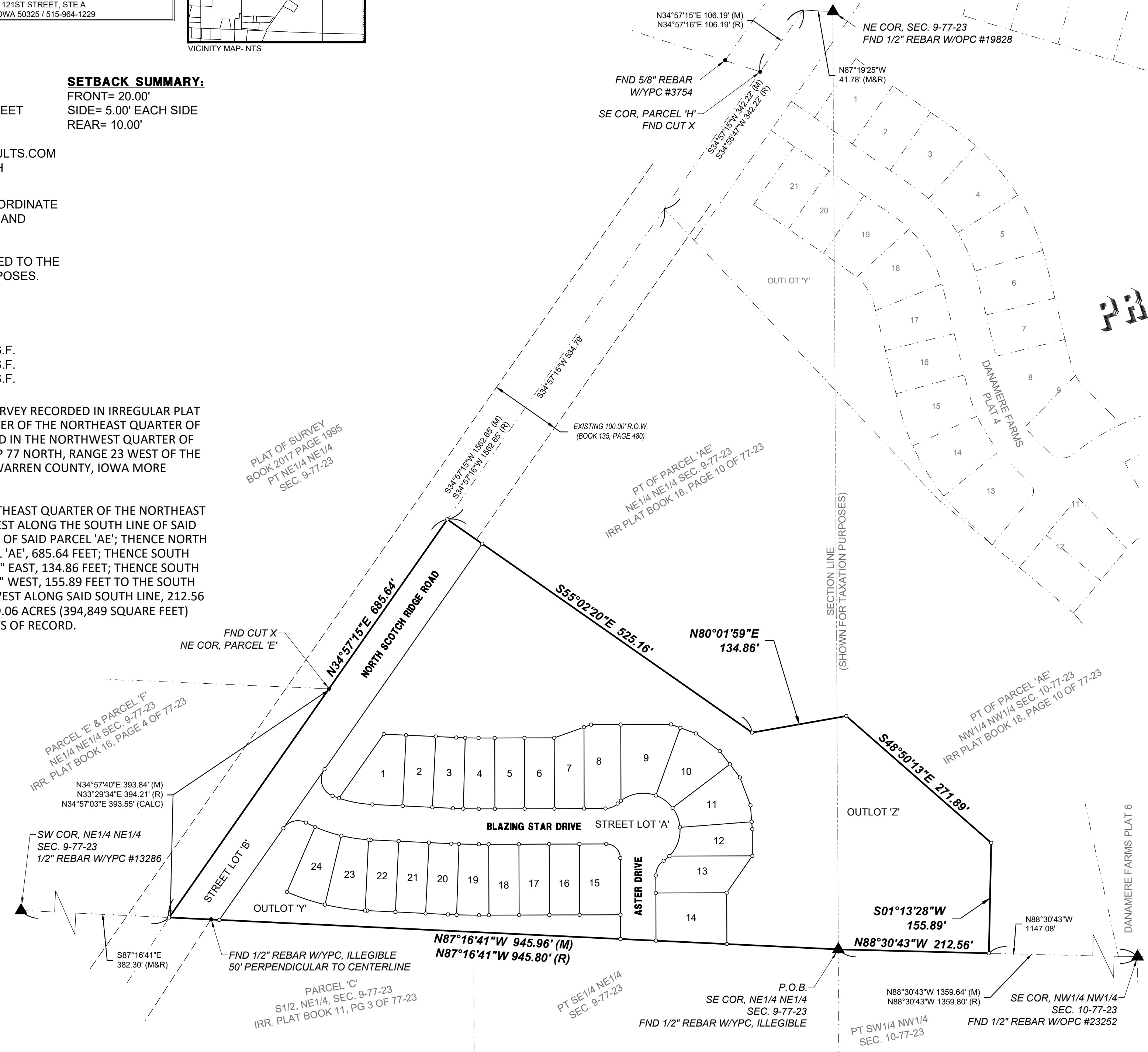
**ZONING:**  
PUD (PLANNED UNIT DEVELOPMENT)

**AREA SUMMARY:**  
NE1/4 NE1/4 SEC. 9 = 307,949 S.F.  
EXISTING ROW IN NE1/4 NE1/4 SEC. 9 = 33,494 S.F.  
NW1/4 NW1/4 SEC. 10 = 53,406 S.F.

**LEGAL DESCRIPTION:**  
A PART OF PARCEL 'AE' AS SHOWN ON THE PLAT OF SURVEY RECORDED IN IRREGULAR PLAT BOOK 18 PAGE 10 OF 77-23 IN THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 77 NORTH, RANGE 23 WEST AND IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 77 NORTH, RANGE 23 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF CARLISLE, WARREN COUNTY, IOWA MORE PARTICULARLY DESCRIBED AS FOLLOWS:

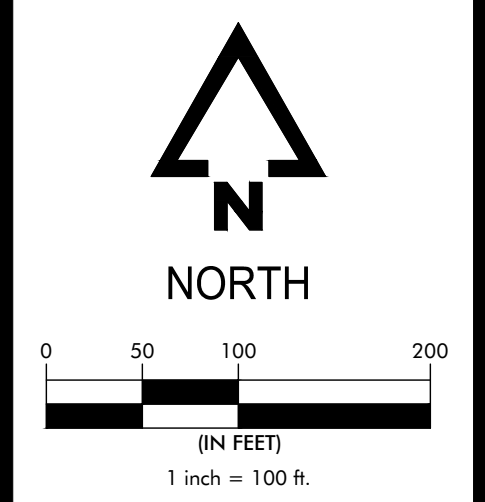
BEGINNING AT THE SOUTHEAST CORNER OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 9; THENCE NORTH 87°16'41" WEST ALONG THE SOUTH LINE OF SAID PARCEL 'AE', 945.96 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL 'AE'; THENCE NORTH 34°57'15" EAST ALONG THE WEST LINE OF SAID PARCEL 'AE', 685.64 FEET; THENCE SOUTH 55°02'20" EAST, 525.16 FEET; THENCE NORTH 80°01'59" EAST, 134.86 FEET; THENCE SOUTH 48°50'13" EAST, 271.89 FEET; THENCE SOUTH 01°13'28" WEST, 155.89 FEET TO THE SOUTH LINE OF SAID PARCEL 'AE'; THENCE NORTH 88°30'43" WEST ALONG SAID SOUTH LINE, 212.56 FEET TO THE POINT OF BEGINNING AND CONTAINING 9.06 ACRES (394,849 SQUARE FEET) THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

GENERAL LEGEND	
	SURVEY BOUNDARY
	PROPOSED LOT
	EXIST PROPERTY LINE
	SECTION LINE
	SETBACK LINE
	EASEMENT LINE
<b>MONUMENTS FOUND:</b>	
	SECTION CORNER (TYPE AS NOTED)
	1/2" REBAR W/YPC, ILLEGIBLE (UNLESS NOTED OTHERWISE)
<b>MONUMENTS SET:</b>	
	SECTION CORNER (TYPE AS NOTED)
	1/2" REBAR W/YPC #16747 (UNLESS NOTED OTHERWISE)
	CUT X
	ADDRESS
PC	PLASTIC CAP
BK, PG	BOOK AND PAGE
(M), (R)	MEASURED, RECORDED
R.O.W.	RIGHT-OF-WAY
P.U.E.	PUBLIC UTILITY EASEMENT
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

DATE: \_\_\_\_\_  
NAME: MICHAEL D. LEE, PLS NO. 16747  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2020  
PAGES OR SHEETS COVERED BY THIS SEAL: 2 SHEETS



DANAMERE FARMS PLAT 8  
FINAL PLAT  
CARLISLE, IOWA  
WARREN COUNTY  
2215013  
07/10/2020  
REVISIONS

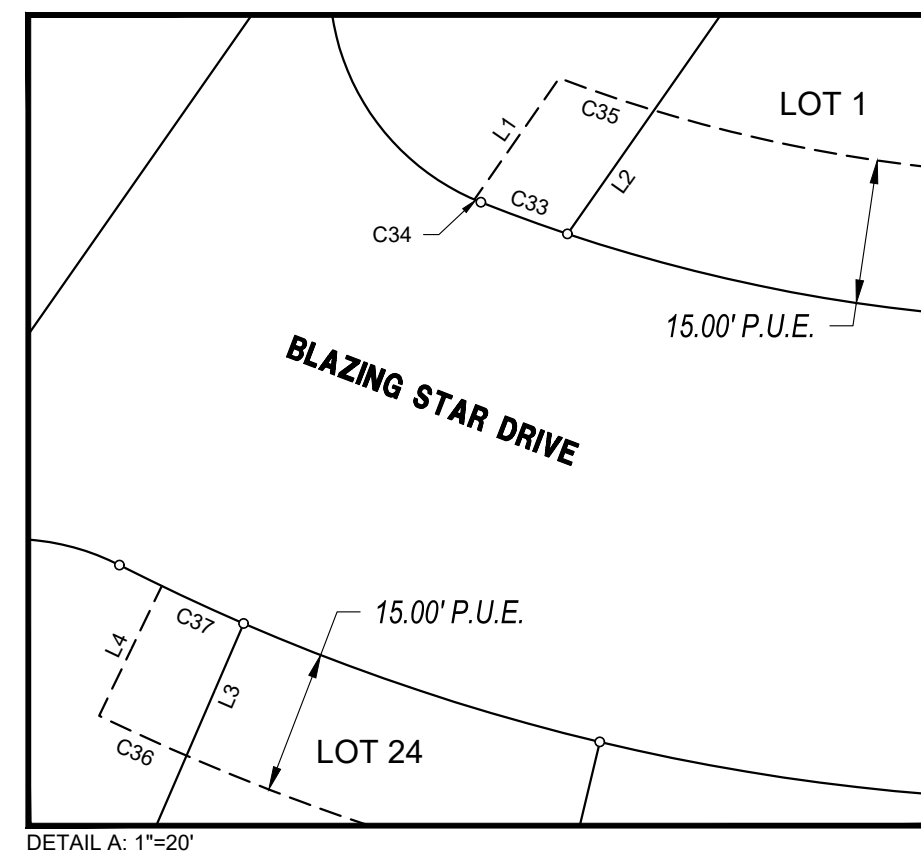
ENGINEER C.SMITH	DRAWN BY C.CARLETON
SURVEYOR M.LEE	CREW CHIEF ----
DRAWING NO. FP-08	SHEET NO. 01/02

DRAWING PATH: N:\Projects\CAR\_2215013\Drawings\Plans\Plat\_8\Final\_Plat\_2215013\_Final\_Plat\_8.dwg PLOT DATE: 08/16/2020 8:59 AM PLOTTED BY: CONNOR CARLETON

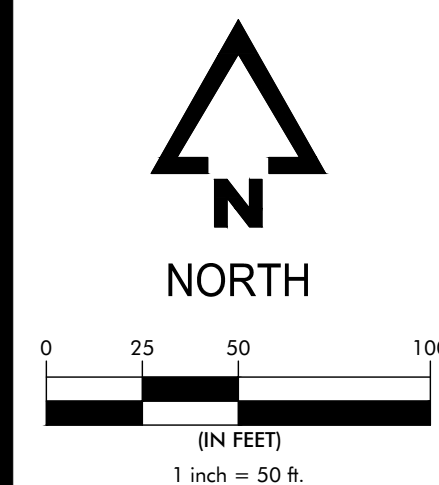
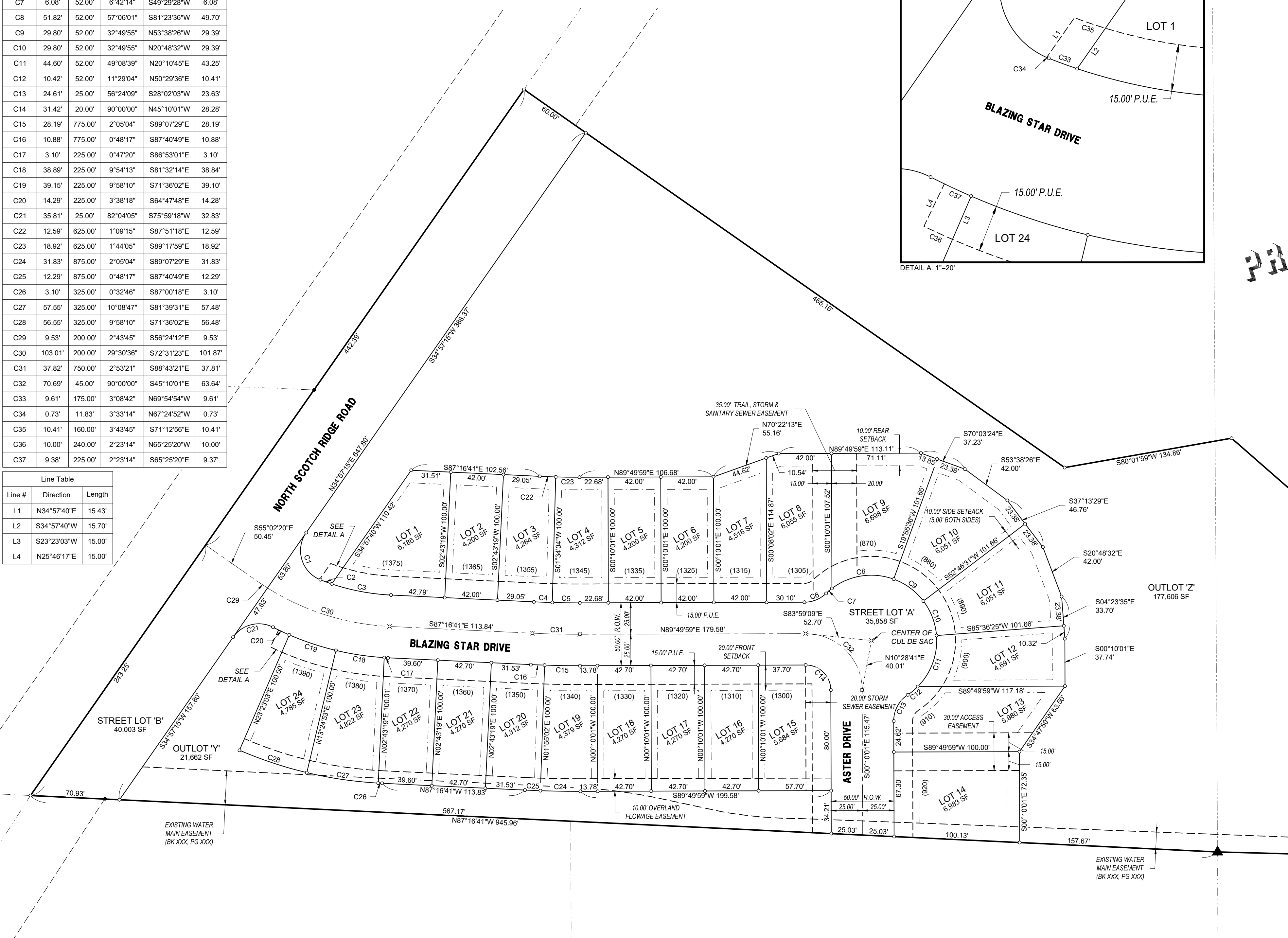
Curve Table					
Curve #	Length	Radius	Delta	CHD B	CHD L
C1	45.07'	25.00'	103°17'48"	S16°41'39"E	39.21'
C2	9.61'	175.00'	3°08'42"	S69°54'54"E	9.61'
C3	48.23'	175.00'	15°47'26"	S79°22'58"E	48.08'
C4	14.61'	725.00'	1°09'15"	S87°51'18"E	14.61'
C5	21.95'	725.00'	1°44'05"	S89°17'59"E	21.95'
C6	19.07'	25.00'	43°41'38"	N67°59'10"E	18.61'
C7	6.08'	52.00'	6°42'14"	S49°29'28"W	6.08'
C8	51.82'	52.00'	57°06'01"	S81°23'36"W	49.70'
C9	29.80'	52.00'	32°49'55"	N53°38'26"W	29.39'
C10	29.80'	52.00'	32°49'55"	N20°48'32"W	29.39'
C11	44.60'	52.00'	49°08'39"	N20°10'45"E	43.25'
C12	10.42'	52.00'	11°29'04"	N50°29'36"E	10.41'
C13	24.61'	25.00'	56°24'09"	S28°02'03"W	23.63'
C14	31.42'	20.00'	90°00'00"	N45°10'01"W	28.28'
C15	28.19'	775.00'	2°05'04"	S89°07'29"E	28.19'
C16	10.88'	775.00'	0°48'17"	S87°40'49"E	10.88'
C17	3.10'	225.00'	0°47'20"	S86°53'01"E	3.10'
C18	38.89'	225.00'	9°54'13"	S81°32'14"E	38.84'
C19	39.15'	225.00'	9°58'10"	S71°36'02"E	39.10'
C20	14.29'	225.00'	3°38'18"	S64°47'48"E	14.28'
C21	35.81'	25.00'	82°04'05"	S75°59'18"W	32.83'
C22	12.59'	625.00'	1°09'15"	S87°51'18"E	12.59'
C23	18.92'	625.00'	1°44'05"	S89°17'59"E	18.92'
C24	31.83'	875.00'	2°05'04"	S89°07'29"E	31.83'
C25	12.29'	875.00'	0°48'17"	S87°40'49"E	12.29'
C26	3.10'	325.00'	0°32'46"	S87°00'18"E	3.10'
C27	57.55'	325.00'	10°08'47"	S81°39'31"E	57.48'
C28	56.55'	325.00'	9°58'10"	S71°36'02"E	56.48'
C29	9.53'	200.00'	2°43'45"	S56°24'12"E	9.53'
C30	103.01'	200.00'	29°30'36"	S72°31'23"E	101.87'
C31	37.82'	750.00'	2°53'21"	S88°43'21"E	37.81'
C32	70.69'	45.00'	90°00'00"	S45°10'01"E	63.64'
C33	9.61'	175.00'	3°08'42"	N69°54'54"W	9.61'
C34	0.73'	11.83'	3°33'14"	N67°24'52"W	0.73'
C35	10.41'	160.00'	3°43'45"	S71°12'56"E	10.41'
C36	10.00'	240.00'	2°23'14"	N65°25'20"W	10.00'
C37	9.38'	225.00'	2°23'14"	S65°25'20"E	9.37'

Line Table		
Line #	Direction	Length
L1	N34°57'40"E	15.43'
L2	S34°57'40"W	15.70'
L3	S23°23'03"W	15.00'
L4	N25°46'17"E	15.00'

**OUTLOT PURPOSE:**  
ALL OF OUTLOT 'Y' AND OUTLOT 'Z' TO BE DEDICATED AS A SURFACE WATER FLOWAGE EASEMENT FOR DRAINAGE PURPOSES



PRELIMINARY



**DANAMERE FARMS PLAT 8**  
**FINAL PLAT**  
CARLISLE, IOWA  
WARREN COUNTY  
2215013  
07/10/2020  
REVISIONS

ENGINEER: C.SMITH  
SURVEYOR: M.LEE  
DRAWN BY: C.CARLETON  
CREW CHIEF: ---

DRAWING NO. **FP-08**  
SHEET NO. **02/02**

DRAWING PATH: N:\Projects\CAR\_2215013\Drawings\Plans\Plot\_8\_Final\_Plat\_2215013\_Final\_Plot\_8.dwg PLOT DATE: 08/06/2020 8:59 AM PLOTTED BY: CONNOR CARLETON

August 13, 2020

**Brad Kuehl**

Bishop Engineering Company, Inc.  
3501 104<sup>th</sup> Street  
Des Moines, IA 50322

RE: **Pasco Point – Preliminary Plat Review**  
**Carlisle, Iowa**

*FOX Ref No: 8666-20C.210*

Thank you for submitting your project for review. The City is committed to assisting you with the completion of this project. FOX Engineering and the City Staff have completed the second review for the Preliminary Plat for Pasco Point, dated 8/11/20, and have the following comments:

1. The land in this development appears as “Conservation Development” in the Future Land Use plan. The estate lots proposed in this development appear to be a good fit per the Features and Location Criteria described in the Future Land Use Plan. This land use calls for densities less than one unit per acre.
2. The Developer has requested waivers for the following items:
  - a. Curb and Gutter (as required by 180.07(2)) – To allow a rural street cross section.
  - b. Storm Water Detention (as required by 180.07(3)) – to allow the site to discharge without detention.
  - c. Sidewalks (as required by 180.07(5)) – To eliminate sidewalks from the development.
3. FOX Engineering has forwarded the proposed Preliminary Plat to the State DOT to verify whether they have jurisdictional comments since the access for the development comes from Highway 5. They have no further comments beyond requiring a permit for work within the State right of way.
4. 180.05(3), FOX has reviewed the proposed lot layout in relation to the Comprehensive Plan, Zoning Requirements and Subdivision Requirements and have no further comments.
5. 180.05(5) & 180.07, FOX has reviewed the proposed street network in relation to the Comprehensive Plan, Zoning Requirements and Subdivision Requirements and have the following comments:
  - a. **Discussion is necessary** regarding the naming of the proposed street (Pasco Point Court).
  - b. As per 180.07 (2): Curb and gutter shall be required on all streets.
    - i. The Developer has requested a waiver to allow the use of a rural cross-section (no curb and gutter with ditches in lieu of storm sewer).
    - ii. FOX can support the proposed roadway cross section in this instance as it would be in line with the Conservation Development Land Use as per the Comprehensive Plan.
    - iii. **Discussion is necessary** whether the waiver shall be granted for curb and gutter.
6. 180.07(8), FOX has reviewed the proposed water main within this development in relation to the Comprehensive Plan, Zoning Requirements and Subdivision Requirements and have no further comments.

- 
7. 180.07(2), FOX has reviewed the proposed storm sewer within this development in relation to the Comprehensive Plan, Zoning Requirements and Subdivision Requirements and have the following comments:
- a. Please provide a certified storm water management plan that clarifies the existing and proposed discharges that will be leaving the site. Note that the SWMP must contain a statement that no downstream detriment to properties will occur as part of this development, citing calculations accordingly.
  - b. As per 180.07(3): Detention shall be required (storm drainage plan shall be per the Design Standards Manual).
    - i. The Developer has requested a waiver to allow undetained storm water flows from the proposed subdivision.
    - ii. FOX can support the proposed concept of having no detention for this development as the lots are large and will add a minor percentage of imperviousness to the area. Also, storm sewer would be contrary to the Conservative Development Land Use per the Comprehensive Plan.
    - iii. **Discussion is necessary** whether the waiver shall be granted for detention.
8. 180.07(5), FOX Engineering has reviewed the proposed bike paths and sidewalks within this development in relation to the Comprehensive Plan, Zoning Requirements and Subdivision Requirements and have the following comments:
- a. The proposed development and the Comprehensive Plan do not show any parks or trails in this portion of the proposed preliminary plat.
  - b. As per 180.07(5): Sidewalks shall be required.
    - i. The Developer has requested a waiver of the sidewalk requirement.
    - ii. FOX can support the proposed concept eliminating concepts for the rural cross section roadway in this instance as it would be in line with the Conservation Development Land Use as per the Comprehensive Plan.
    - iii. The Council shall determine whether the Developer shall grade and allow for a future sidewalk along Highway 5.
    - iv. **Discussion is necessary** whether the waiver should be granted for installation of sidewalks for this plat:
      1. Along Highway 5
      2. Along the cul-de-sac
9. 180.07(6), FOX has reviewed the proposed sanitary sewer within this development in relation to the Comprehensive Plan, Zoning Requirements and Subdivision Requirements and have the following comments:
- a. Since the plat boundaries exceed 200-ft from the nearest public sanitary sewer, it is acceptable to allow for private sewage treatment systems for this plat.
  - b. As per 180.07(6) Any plat that cannot reasonably be served by public sewer shall show results of soil percolation tests made by the Engineer preparing the plat. Such tests shall be in accordance with the Warren County Board of Health. The designing engineer shall furnish the City with three certified copies of as-built plans and certify that the facilities have been installed in accordance with the plans and specifications. As-built plans shall specifically show service line stub locations.
    - i. The Developer has requested that the percolation tests be provided at a later date as they are not currently available.
    - ii. FOX can support the proposed concept of having the approval of the development be subject to review and acceptance of the Soil Percolation tests and results.

---

FOX Engineering recommends approval of the Preliminary Plat for Pasco Point, subject to acceptance of the percolation test results, and contingent to discussion regarding waivers per above.

**PRELIMINARY PLAT REVIEW SCHEDULE:**

**PLANNING & ZONING:** August 17, 2020 at 7:00pm at the Carlisle City Hall

**COUNCIL MEETING:** August 24, 2020 at 6:30pm at the Carlisle City Hall

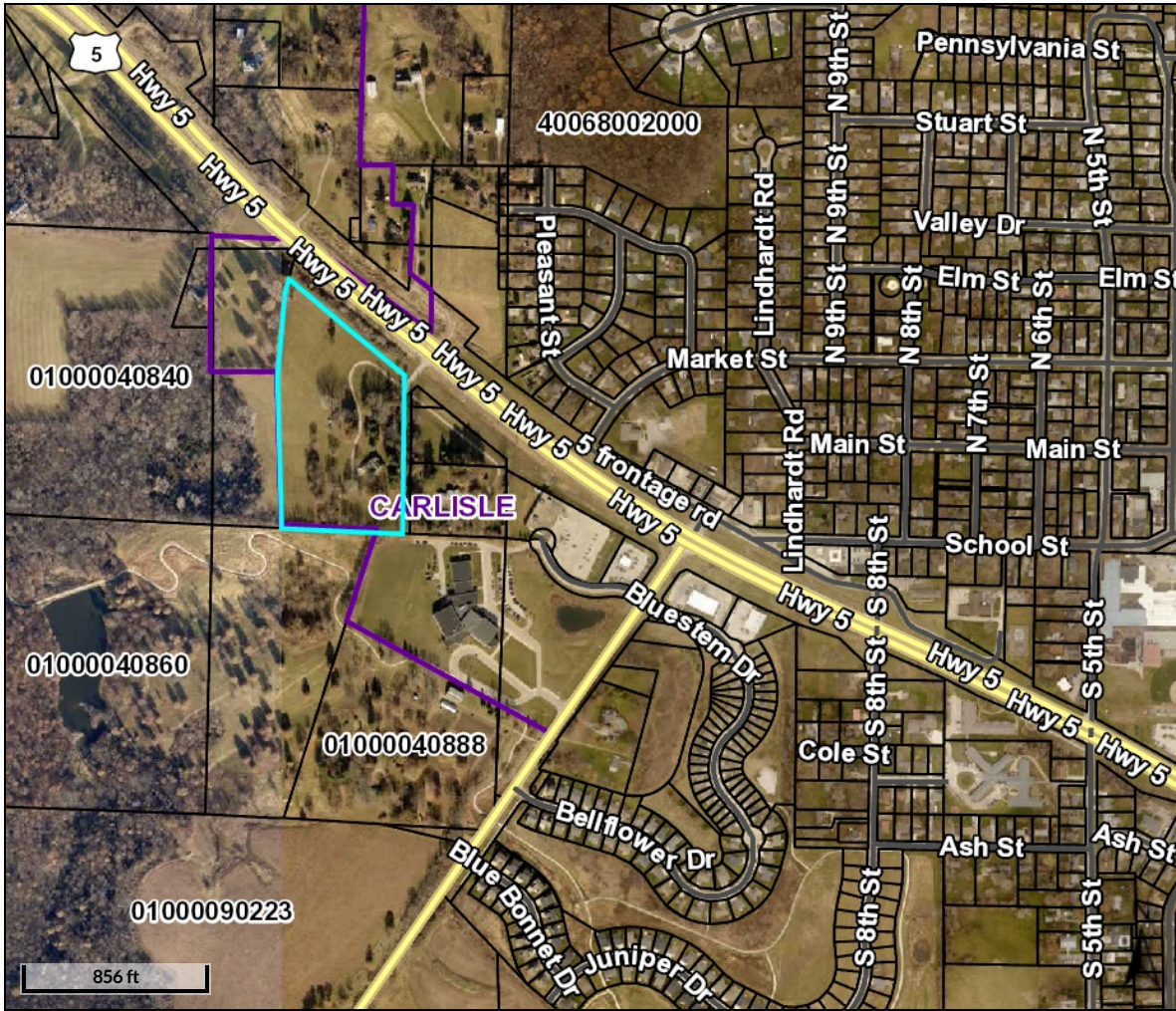
If you have any questions or concerns, please contact Mitch Holtz at (515) 231-6005. The City reserves the right to add or modify these comments.

FOX ENGINEERING ASSOCIATES, INC.

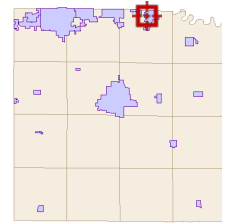


Mitch Holtz, P.E.

CC: Deven Markley, City Administrator



**Overview**



**Legend**

**Roads**

- <all other values>
  - Interstate
  - Highway
  - Ramp
  - County Gravel
  - County Level B
  - County Level C
  - City Gravel
  - City Street
  - Private Street
  - Corporate Limits
  - Parcels
  - Political Township
- Major Roads**
- County Hwy
  - State Hwy
  - US Hwy
  - Interstate
  - Water

<b>Parcel ID</b>	39720040825	<b>Alternate ID</b>	39800040820/40000040820	<b>Owner Address</b>	PASCO STORAGE UNLIMITED INC
<b>Sec/Twp/Rng</b>	4-77-23	<b>Class</b>	R		PO BOX 66027
<b>Property Address</b>	1584 HWY 5	<b>Acreege</b>	n/a		WEST DES MOINES IA 50265
	CARLISLE				
<b>District</b>	39100				
<b>Brief Tax Description</b>	4-77-23 CARLISLE LAND IN SEC PT NE SE S OF HWY EX 4.06AC NW COR & EX 35' STRIP BEG 428.4' W SE COR BEG 428.5' W SE COR NE SE LAND ON 40000040820				
	<span style="color: red;">(Note: Not to be used on legal documents)</span>				

**Disclaimer:**

The maps included in this website do not represent a survey and are compiled from official records, including plats, surveys, recorded deeds, and contracts, and only contain information required for government purposes. No warranties, expressed or implied, are provided for the data herein, its use or its interpretation. Warren County assumes no responsibility for use or interpretation of the data. Any person that relies on any information obtained from this site does so at his or her own risk. All critical information should be independently verified.

The 2,000 Foot Buffers layer is for law enforcement guidance only, and is based on the best information available at the time it was prepared. This layer should not be considered to be a complete and accurate representation of the locations of every school or child care facility, and will be changed as new information is available. The registered offender is responsible for ensuring that proposed residence is in compliance with the law, and may not rely solely on this layer. The registered offender should seek legal advice from a licensed attorney if needed.

Date created: 8/13/2020

Last Data Uploaded: 8/12/2020 9:27:07 PM

PRELIMINARY - NOT FOR CONSTRUCTION

# PASCO POINT PRELIMINARY PLAT

### PROPERTY DESCRIPTION:

AN IRREGULAR SHAPED PORTION OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 77 NORTH, RANGE 23 WEST OF THE 5TH P.M., CARLISLE, WARREN COUNTY, IOWA, IS DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 4; THENCE N87°24'41"W ASSUMED BEARING ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, A DISTANCE OF 463.53 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING N87°24'41"W ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, A DISTANCE OF 530.87 FEET; THENCE N04°07'45"W, A DISTANCE OF 697.07 FEET; THENCE N06°58'53"E, A DISTANCE OF 326.03 FEET; THENCE N18°28'05"E, A DISTANCE OF 97.64 FEET TO THE SOUTHWEST RIGHT OF WAY LINE OF IOWA HIGHWAY NO. 5; THENCE S49°54'08"E ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 359.30 FEET; THENCE S51°16'21"E ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 306.32 FEET; THENCE S00°18'35"W, A DISTANCE OF 712.41 FEET TO THE POINT OF BEGINNING.

SAID TRACT OF LAND BEING SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

SAID TRACT OF LAND CONTAINS 11.84 ACRES.

### OWNER:

PASCO STORAGE UNLIMITED LLC  
1584 HIGHWAY 5  
CARLISLE, IA 50047

### PREPARED FOR:

SAME AS OWNER

### PREPARED BY:

BISHOP ENGINEERING  
3501 104TH ST  
URBANDALE, IA 50322  
ENGINEER: BRAD KUEHL  
SURVEYOR: LARRY HYLER

### ZONING:

R-1: ONE AND TWO FAMILY RESIDENTIAL DISTRICT

### BULK REGULATIONS:

FRONT 30 FEET  
REAR 35 FEET  
SIDE 7 FOOT MIN ONE SIDE, 15 FEET MIN TOTAL

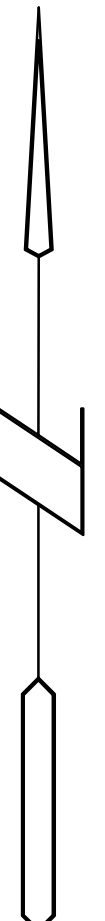
MAX. HEIGHT 35 FEET

### SITE CONTROL AND BENCHMARKS:

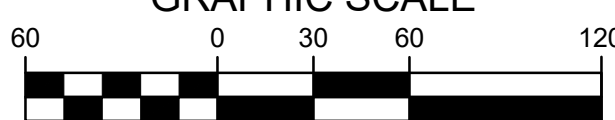
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS  
DATUM = NAD 83, IOWA SOUTH  
BENCHMARK DATUM = NAVD88

### POINT #9400

NORTHING = 546680.98  
EASTING = 1639250.10  
ELEVATION = 874.00  
DESCRIPTION: SET 5/8" IRON PIPE WITH RPC



### GRAPHIC SCALE



### UTILITY MAPS PROVIDED BY:

- 1. ELECTRIC (MIDAMERICAN /515-252-6632)
- 2. FIBER OPTIC (MEDIACOM /515-246-2252)
- 3. CABLE (CENTURYLINK /720-578-8090)
- 4. GAS (MIDAMERICAN /515-252-6632)
- 5. FIBER (IOWA COMMUNICATIONS NETWORK /515-725-4402)
- 6. FIBER (UNITE OR UPN)

### UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

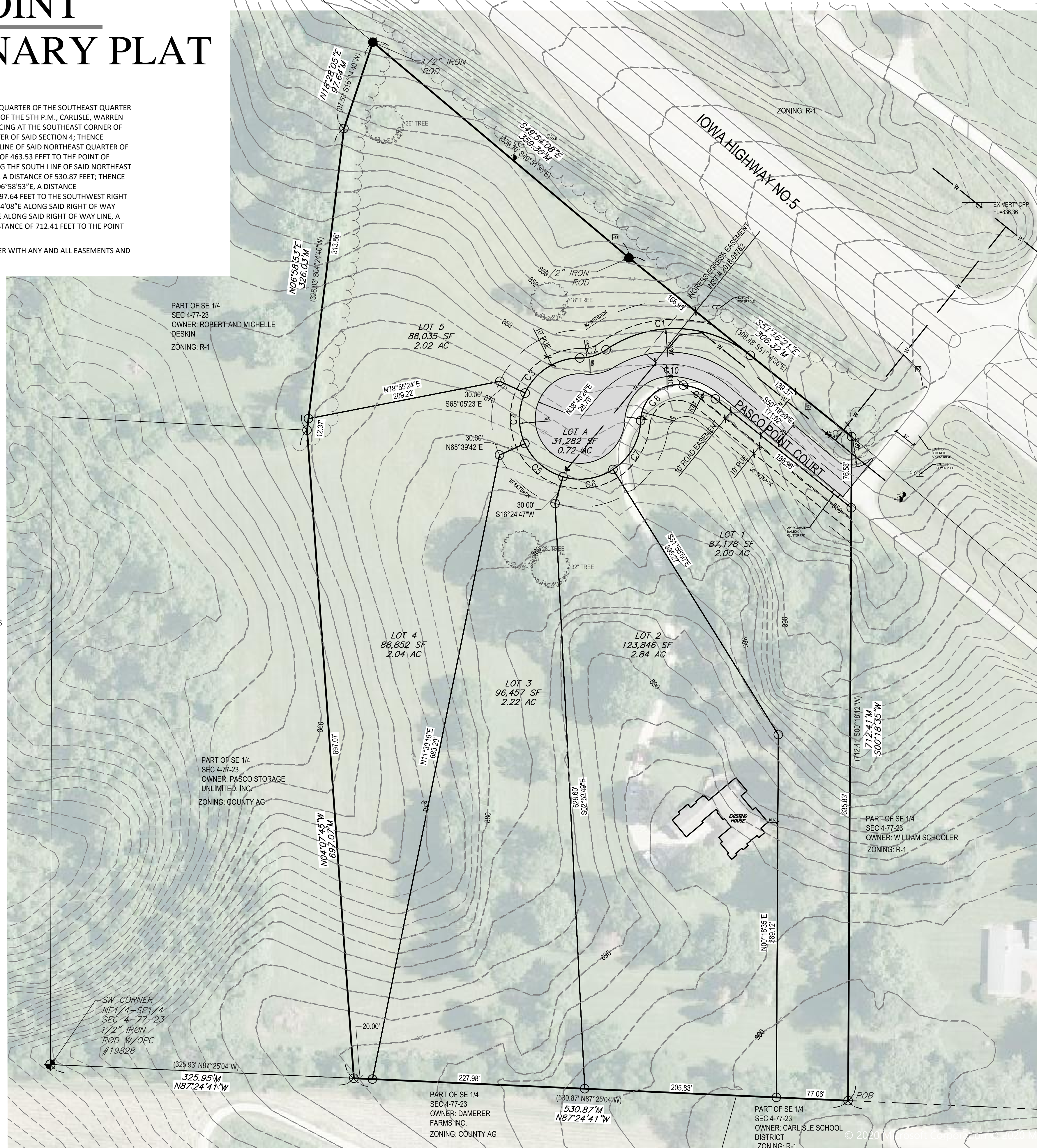
### PLAT NOTE:

NO STORM WATER DETENTION IS PROPOSED

### SHEET INDEX:

- 1 OF 2 LAYOUT PLAN
- 2 OF 2 GRADING PLAN

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VICINITY MAP  
SCALE: 1" = 1,000'

CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	165.92	130.00	154.88	N87°50'08.37"W	73°07'35"
C2	29.86	50.00	29.42	N72°42'33.37"E	34°12'59"
C3	73.63	65.00	69.76	S57°21'49.78"W	64°54'26"
C4	55.87	65.00	54.17	S00°17'09.32"W	49°14'55"
C5	55.87	65.00	54.17	S48°57'45.77"E	49°14'55"
C6	55.87	65.00	54.17	N81°47'19.13"E	49°14'55"
C7	62.53	65.00	60.15	N29°36'10.86"E	55°07'21"
C8	67.54	40.01	59.80	S50°24'14.72"W	96°42'28"
C9	37.57	70.00	37.12	N66°38'51.69"W	30°45'02"

### ABBREVIATIONS:

- AC ACRES
- ASPH ASPHALT
- BK BOOK
- CONC CONCRETE
- D DEEDED DISTANCE
- EX EXISTING
- ENCL ENCLOSURE
- FF FINISHED FLOOR
- FL FLOW LINE
- FRAC FRACTIONAL
- M MEASURED DISTANCE
- MH MANHOLE
- OPC ORANGE PLASTIC CAP
- P PLATTED DISTANCE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRA PREVIOUSLY RECORDED AS PUBLIC UTILITY EASEMENT
- PUE PUBLIC UTILITY EASEMENT
- ROW RIGHT OF WAY
- RPC RED PLASTIC CAP
- SF SQUARE FEET
- SAN SANITARY
- TYP TYPICAL
- YPC YELLOW PLASTIC CAP
- N NORTH
- S SOUTH
- E EAST
- W WEST

### LEGEND:

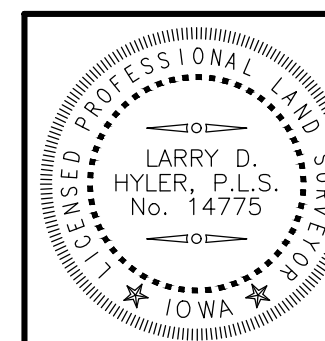
- SAN SANITARY SEWER
- ST STORM SEWER
- W WATER LINE
- G GAS LINE
- UE UNDERGROUND ELECTRIC
- O/E OVERHEAD ELECTRIC
- TELE TELEPHONE LINE
- F/O FIBER OPTIC
- CATV CABLE TV
- SM STORM MANHOLE
- CI CURB INTAKE
- SI SURFACE INTAKE
- FE FLARED END SECTION
- SM SANITARY MANHOLE
- CN CLEANOUT
- FH FIRE HYDRANT
- SP SPRINKLER
- ICV IRRIGATION CONTROL VALVE
- WM WATER MANHOLE
- W WELL
- WV WATER VALVE
- WSO WATER SHUT OFF
- YH YARD HYDRANT
- EM ELECTRIC METER
- ER ELECTRIC RISER
- EV ELECTRIC VAULT
- PP POWER POLE
- TP TRANSFORMER POLE
- LP LIGHT POLE
- EJ ELECTRIC JUNCTION BOX
- EP ELECTRIC PANEL
- TR TRANSFORMER
- GL GROUND LIGHT
- GW GUY WIRE
- EH ELECTRIC HANDHOLE
- GM GAS METER
- GV GAS VALVE
- ACU AIR CONDITIONING UNIT
- TR TELEPHONE RISER
- TV TELEPHONE VAULT
- TM TELEPHONE MANHOLE
- TS TRAFFIC SIGNAL MANHOLE
- FR FIBER OPTIC RISER
- FF FIBER OPTIC FAULT
- CR CABLE TV RISER
- S SIGN
- DN DENOTES NUMBER OF PARKING STALLS
- PC PROPERTY CORNER - FOUND AS NOTED
- SC SECTION CORNER - FOUND AS NOTED
- AS ALL SIDE YARD SETBACKS ARE INTENDED TO BE USED TO CONVEY STORM WATER FROM THE SUBJECT LOT AND ANY ADJACENT LOTS

### SURVEY NOTES:

THIS PLAT HAS AN ERROR OR CLOSURE OF LESS THAN 1.0 FEET IN 10,000.0 FEET. EACH LOT WITHIN THIS PLAT HAS AN ERROR OF CLOSURE OF LESS THAN 1.0 FEET IN 5,000.0 FEET.

ALL CORNERS HAVE BEEN PLACED WITH A 3/4 INCH IRON PIPE UNLESS NOTED OTHERWISE. ALL CORNERS PLACED HAVE A YELLOW PLASTIC IDENTIFICATION CAP NO. 14775.

LOT 'A' IS A STREET LOT AND WILL BE DEEDED TO THE CITY OF CARLISLE.



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.  
SIGNED: LARRY D. HYLER, P.L.S. 14775 DATE: PRELIMINARY  
LICENSE RENEWAL DATE: DEC. 31, 2020  
PAGES OR SHEETS COVERED BY THIS SEAL: 1 OF 2

PASCO POINT PRELIMINARY PLAT  
CARLISLE, IOWA

REFERENCE NUMBER:

DRAWN BY:  
BK

CHECKED BY:  
DB

REVISION DATE:  
7/27/2020 CITY#1  
8/11/2020 CITY#2

PROJECT NUMBER:  
190561

SHEET NUMBER:  
1 OF 2

Bishop Engineering  
"Planning Your Successful Development"

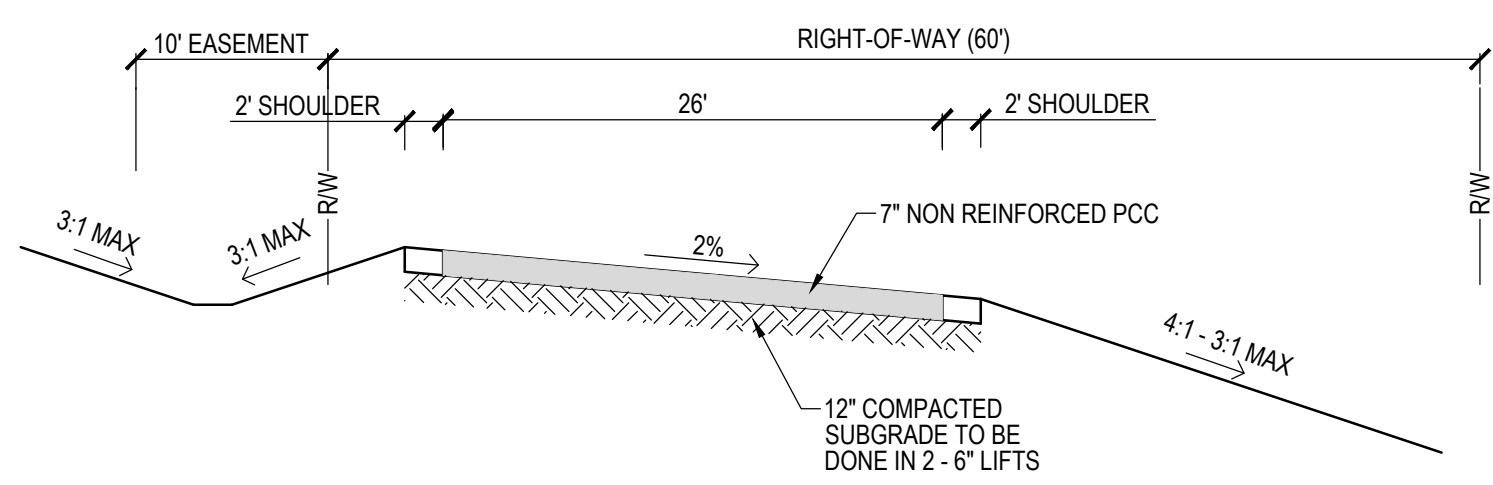
3501 104th Street  
Des Moines, Iowa 50322-3825  
Phone: (515)276-0467 Fax: (515)276-0217  
Civil Engineering & Land Surveying  
Established 1959

LAYOUT PLAN



PRELIMINARY- NOT FOR CONSTRUCTION

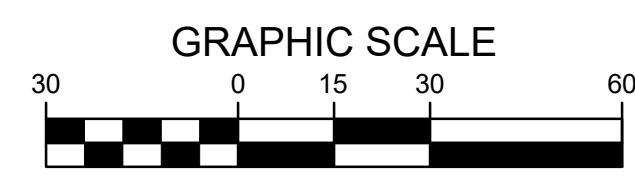
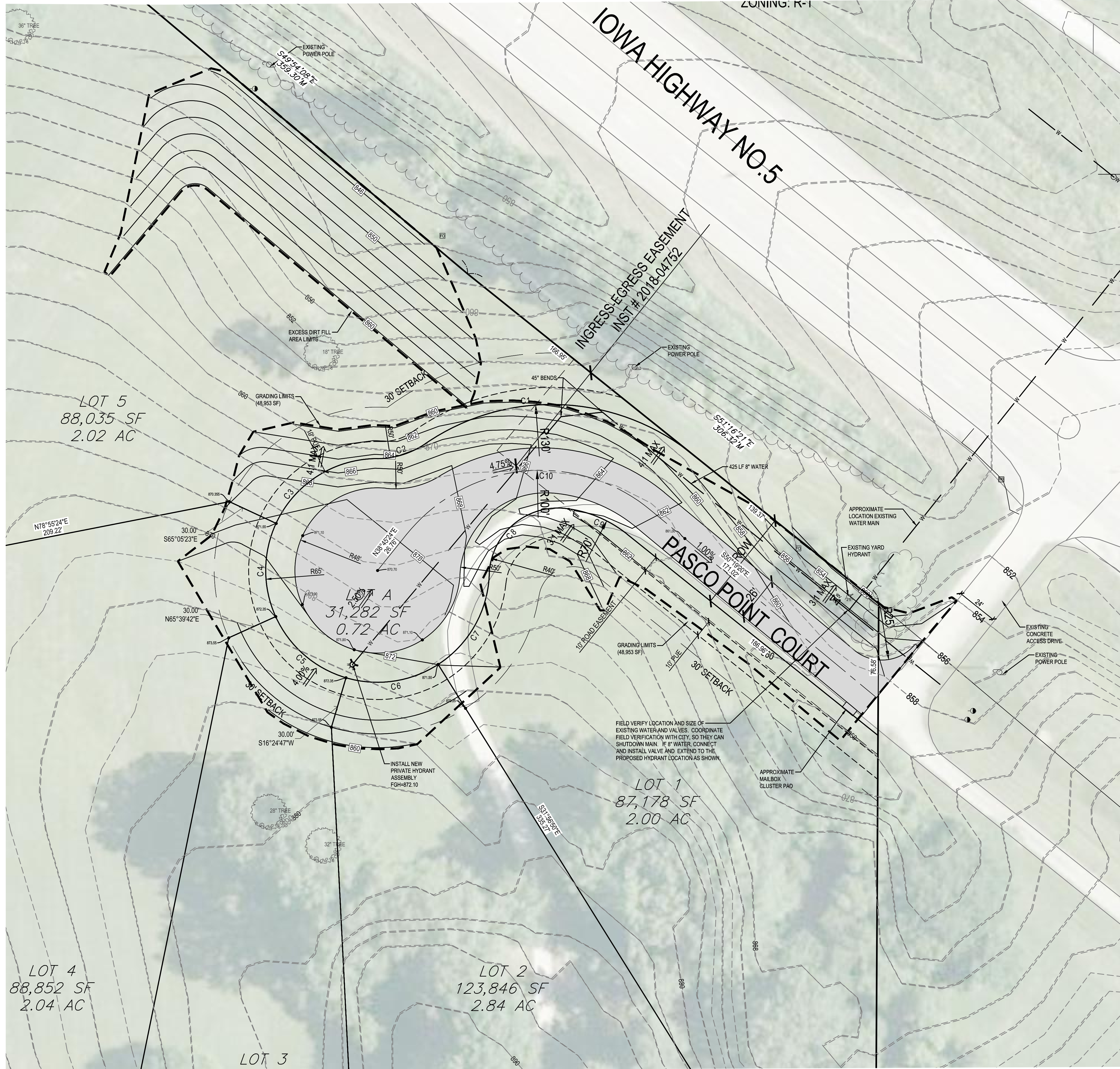
8/11/2020 00:42 AM MILAND PROJECTS 2019190561 - PASCO DEVELOPMENT, CARLISLE/DOPPE PLAT/DWG



26' PAVEMENT CROSS SECTION

**UTILITY NOTE:**

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.



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 "Planning Your Successful Development"  
 3501 104th Street  
 Des Moines, Iowa 50322-3825  
 Phone: (515)276-0467 Fax: (515)276-0217  
 Civil Engineering & Land Surveying Established 1959

**PASCO POINT PRELIMINARY PLAT**  
**CARLISLE, IOWA**  
**GRADING PLAN**

REFERENCE NUMBER:	
DRAWN BY:	BK
CHECKED BY:	DB
REVISION DATE:	7/27/2020 CITY#1 8/11/2020 CITY#2
PROJECT NUMBER:	190561
SHEET NUMBER:	2 OF 2

August 13, 2020

**Brad Kuehl**

Bishop Engineering Company, Inc.  
3501 104<sup>th</sup> Street  
Des Moines, IA 50322

RE: **Pasco Point – Construction Plan Review**  
**Carlisle, Iowa**

*FOX Ref No: 8666-20C.250*

FOX Engineering has completed the second review for of the Pasco Point Construction Plans, dated August 11, 2020 and offer the following comments:

**Construction Plan - General**

1. This review is subject to review/approval of the Pasco Point Preliminary Plat, dated 8/11/20, and any granted waivers.
2. The IDNR Water Permit has been submitted for review. Further comments, as necessary, will be submitted under separate cover.
3. Please provide results of soil percolation tests as per 180.07(6) of the Code, and in accordance with the Warren County Board of Health, when they become available.
4. Please provide a geotechnical report that addresses pavement thickness, backfilling and subsurface drainage with provided recommendations.

**Sheet 1 – Construction Drawing**

5. Please show addresses for the lots. These will be provided by the City prior to filing the final plat.
6. **Discussion is necessary** regarding the naming of the street (Pasco Point Court).
7. Public works shall review the locations of the proposed curb stops. Any comments will be forthcoming under separate cover.
8. Please provide a street sign for this development.

**Lighting**

9. Please provide a street lighting plan.

**SWPPP Narrative and Erosion Control Plan**

10. FOX has yet to review the SWPPP and erosion control plan. Further comments, if any, will be submitted under separate cover.

**Storm Water Management Report**

11. FOX has yet to review the SWMP. Further comments, if any, will come under separate cover. It is understood that a waiver for detention is being sought from Council.

**FOX Engineering recommends approval of the Construction Drawings for Pasco Point, subject to approval of the Pasco Point Preliminary Plat (and any waivers granted) and submittal of a geotechnical report, and subject to acceptance of the percolation test results.**

---

**CONSTRUCTION PLAN REVIEW SCHEDULE:**

**PLANNING & ZONING:** August 17, 2020 at 7:00pm at the Carlisle City Hall

**COUNCIL MEETING:** August 24, 2020 at 6:30pm at the Carlisle City Hall

If you have any questions or concerns, please contact Mitch Holtz at (515) 231-6005. The City reserves the right to add or modify these comments.

FOX ENGINEERING ASSOCIATES, INC.



Mitch Holtz, P.E.

CC: Deven Markley, City Administrator



August 10, 2020

Honorable Mayor, City Council and Plan and Zoning Commission  
195 N. 1<sup>st</sup> Street  
Carlisle, Iowa 50047  
ATTN: Deven Markley

Re: Waiver Request  
Pasco Point – 1584 Highway 5 (BE #190561)

Dear Honorable Mayor, City Council and Plan and Zoning Commission Members:

On behalf of Paige Williams, we respectfully request a permanent waiver of storm water detention, curb and gutter and sidewalks per City Code Section 180.07 for the proposed Pasco Point development to be located at 1584 Highway 5.

The Pasco Point development contains approximately 11.84 acres and is being proposed as a large lot subdivision, limited to five single-family lots. The land is shown as "Conservation Development" in the City's Future Land Use Plan and calls for densities less than one unit per acre. With five lots, the density is under half of that at 0.42 units/acre. As a large-lot, conservation type development, open spaces and preservation of the natural terrain and drainage is encouraged, so this development includes a short public street access to a cul-de-sac. The street is proposed as a rural section with shallow ditches in lieu of curb and gutter to maintain existing drainage patterns and direct surface water to the open ditches allowing more opportunities for natural storm water management.

With the short section of street including a shallow open ditch, five large lots and currently no sidewalks or bike paths along the Highway 5 corridor in this area, we do not feel sidewalks are necessary for this development.

We appreciate your time and consideration of this waiver request and look forward to any further discussion at your regular meetings. Please do not hesitate to contact me if you have any questions or concerns.

Respectfully Submitted,

Brad Kuehl, Project Manager  
Bishop Engineering

# PASCO POINT CONSTRUCTION DRAWING

## SHEET INDEX:

- 1 OF 4 COVER SHEET
- 2 OF 4 LAYOUT AND GRADING PLAN
- 3 OF 4 PLAN AND PROFILE - WATER
- 4 OF 4 SWPPP

## PROPERTY DESCRIPTION:

AN IRREGULAR SHAPED PORTION OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 77 NORTH, RANGE 23 WEST OF THE 5TH P.M., CARLISLE, WARREN COUNTY, IOWA, IS DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 4; THENCE N87°24'41"W ASSUMED BEARING ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, A DISTANCE OF 463.53 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING N87°24'41"W ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, A DISTANCE OF 530.87 FEET; THENCE N04°07'45"W, A DISTANCE OF 697.07 FEET; THENCE N06°58'53"E, A DISTANCE OF 326.03 FEET; THENCE N18°28'05"E, A DISTANCE OF 97.64 FEET TO THE SOUTHWEST RIGHT OF WAY LINE OF IOWA HIGHWAY NO. 5; THENCE S49°54'08"E ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 359.30 FEET; THENCE S51°16'21"E ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 306.32 FEET; THENCE S00°18'35"W, A DISTANCE OF 712.41 FEET TO THE POINT OF BEGINNING.

SAID TRACT OF LAND BEING SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

SAID TRACT OF LAND CONTAINS 11.84 ACRES.

## OWNER:

PASCO STORAGE UNLIMITED LLC  
1584 HIGHWAY 5  
CARLISLE, IA 50047

## PREPARED FOR:

SAME AS OWNER

## PREPARED BY:

BISHOP ENGINEERING  
3501 104TH ST  
URBANDALE, IA 50322  
ENGINEER: BRAD KUEHL  
SURVEYOR: LARRY HYLER

## ZONING:

R-1: ONE AND TWO FAMILY RESIDENTIAL DISTRICT

## SETBACKS:

FRONT 30 FEET  
REAR 35 FEET  
SIDE 7 FOOT MIN ONE SIDE, 15 FEET MIN TOTAL

## SITE CONTROL AND BENCHMARKS:

BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS  
DATUM = NAD 83, IOWA SOUTH  
BENCHMARK DATUM = NAVD88

POINT #9400  
NORTHING = 546680.98  
EASTING = 1639250.10  
ELEVATION = 874.00  
DESCRIPTION: SET 5/8" IRON PIPE WITH RCP

## UTILITY MAPS PROVIDED BY:

1. ELECTRIC (MIDAMERICAN /515-252-6632)
2. FIBER OPTIC (MEDIACOM /515-246-2252)
3. CABLE (CENTURYLINK /720-578-8090)
4. GAS (MIDAMERICAN /515-252-6632)
5. FIBER (IOWA COMMUNICATIONS NETWORK /515-725-4402)
6. FIBER (UNITE OR UPN)



## UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT, A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

## GENERAL NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CARLISLE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND SUDAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF CARLISLE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
2. IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
5. ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
6. BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
7. THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
8. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
9. LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
10. SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
11. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
12. THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF CARLISLE.
13. GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
14. THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
15. THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
16. DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.
17. PROPOSED SITE IMPROVEMENTS SHALL NOT INTERFERE WITH OR DELAY ALICE'S ROAD IMPROVEMENTS CONTRACTOR. SITE OWNER'S CONTRACTOR SHALL COORDINATE WITH ALICE'S ROAD CONTRACTOR AND CITY STAFF.
18. ANY PROPOSED CHANGES TO THE PLAN SET SHALL BE APPROVED IN WRITING BY THE CITY OF CARLISLE DEVELOPMENT SERVICES DEPARTMENT.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CHANGES MADE DURING CONSTRUCTION THAT HAVE NOT BEEN GRANTED APPROVAL IN WRITING BY THE CITY OF CARLISLE DEVELOPMENT SERVICES DEPARTMENT.
20. SURFACED ACCESS TO PAVEMENT WILL BE REQUIRED IF DEVELOPER DOES NOT PROVIDE PAVED ROAD PRIOR TO THIS SITE BEGINNING CONSTRUCTION.

## PAVING NOTES:

1. THE PAVING/GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SODDED IN ACCORDANCE WITH CITY OF CARLISLE STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SUDAS.
2. SUBGRADE PREPARATION AND PAVEMENTS WILL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUBBASE PRIOR TO ANY PAVEMENT BEING PLACED.
3. SEE DETAILS FOR ALL PAVEMENT THICKNESS.
4. ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVELED PATH MUST HAVE A D.A. DETECTABLE WARNING PANEL(S) AS PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
5. ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

## UTILITY NOTES:

1. QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
2. THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH AS-BUILT TOPO OF DETENTION POND & DETENTION POND STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING BISHOP ENGINEERING AT 515-276-0467 TO PERFORM SAID AS-BUILT SURVEY. IF DETENTION PONDS HAVE BEEN GRADED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT TOPO SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.
4. THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
5. ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
6. ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
7. WATERMANS SHALL BE C-900, SIZE OF WATERMAIN AS SHOWN ON PLANS.
8. THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
9. PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF CARLISLE.
10. TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
11. THE MINIMUM HYDRANT LEAD SHALL BE 3.5 FEET.

## UTILITY CONFLICT NOTES:

1. UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
2. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION

## CITY OF CARLISLE NOTES:

### 1. GENERAL NOTES:

- a. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF CARLISLE SUPPLEMENTAL SPECIFICATIONS.
- b. A PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING WITH THE CITY OF CARLISLE & FOX ENGINEERING.
- c. THE CITY OF CARLISLE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK. CALL CITY OF CARLISLE (TOMMY THOMPSON 515-505-4299) & FOX ENGINEERING (MITCH HOLTZ 515-233-0000).
- d. ALL PERMITS (IDNR, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- e. ALL UTILITY CONTRACTORS AND/OR OWNERS SHALL BE RESPONSIBLE TO PROVIDE THE CITY OF CARLISLE WITH "AS-BUILT" DRAWINGS OF ALL IMPROVEMENTS.
- f. ALL SIGNAGE SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR.
- g. ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS.

### 2. SANITARY SEWER NOTES:

- a. THE CONTRACTOR IS REQUIRED TO PLACE A TEMPORARY PLUG IN THE EXISTING DOWNSTREAM SANITARY SEWER MANHOLE PRIOR TO THE START OF CONSTRUCTION. THE PLUG SHALL BE REMOVED FOLLOWING APPROVAL OF CONSTRUCTION BY THE CITY OF CARLISLE.
- b. SANITARY GRAVITY PIPE MATERIAL SHALL BE PVC SDR 26 OR TRUSS (8" TO 15").
- c. SANITARY GRAVITY SERVICE PIPE MATERIAL SHALL BE PVC SDR 23.5 (4" TO 6").
- d. ALL SANITARY SEWER MANHOLES CASTINGS SHALL BE SEALED WITH INTERIOR CHIMNEY SEALS. IN ADDITION, THE MINIMUM SPACER RING SIZE IS 4-INCHES AND THE MAXIMUM NUMBER OF SPACER RINGS SHALL NOT EXCEED 12-INCHES.
- e. ALL SANITARY SEWER MANHOLES SHALL HAVE STEPS.
- f. ALL SANITARY SEWER MANHOLE CASTINGS LOCATED WITHIN PAVEMENT SHALL BE BOXED OUT.
- g. MANDREL AND PRESSURE TESTS ARE REQUIRED FOR ALL SANITARY SEWER LINES (8" AND ABOVE) PRIOR TO PAVING. IN ADDITION, ALL SANITARY SEWER LINES SHALL BE TELEVISED. THE SEWER SYSTEM SHALL BE FLUSHED WITH WATER PRIOR TO TELEVISING.

### 3. WATER MAIN NOTES:

- a. ALL FIRE HYDRANTS SHALL BE MUELLER SUPER CENTURION 250 (3-WAY A-423), 6" MJ SHOE, 2-1/2" HOSE NOZZLE, 4-1/2" STEAMER NOZZLE, NST THREADS, PENTAGON OPERATING NUT, CHAIN ON CAP, OPEN LEFT, AND FACTORY PAINTED RED. THE MINIMUM HYDRANT LEAD SHALL BE 2- FEET.
- b. ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF CARLISLE WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- c. A TRACER WIRE RECEPTACLE SHALL BE INSTALLED AT EACH HYDRANT (FLUSH MOUNT VALVCO OR APPROVED EQUAL).
- d. TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN.
- e. ALL VALVES SHALL BE RESILIENT WEDGE GATE VALVES.
- f. WATER SERVICE SHALL BE 1-INCH MINIMUM TYPE K COPPER.
- g. THE CONTRACTOR IS RESPONSIBLE FOR PRESSURE TESTING, CHLORINATION, AND BACTERIA TEST.

## FIELD TILE NOTES:

1. ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE. CONNECT TO STORM SEWER WITH AN INSERT-A-TEE OR DIRECTLY TO A STORM STRUCTURE.
2. IT IS ANTICIPATED THAT THE SITE CONTAINS FIELD TILES. HOWEVER, LIMITED INFORMATION IS AVAILABLE.
3. THIS WORK WILL BE ELIGIBLE FOR A CHANGE ORDER IF, AND ONLY IF, PROPOSED SITE STORM SEWER IS NOT WITHIN 50 FEET OF THE FIELD TILE.
4. CONTRACTOR SHALL PROVIDE AS-BUILTS OF FIELD TILES TO BISHOP ENGINEERING.



VICINITY MAP  
SCALE: 1" = 1,000'

## ABBREVIATIONS:

AC ACRES  
ASPH ASPHALT  
BK BOOK  
CONC CONCRETE  
D DEEDED DISTANCE  
EX EXISTING  
ENCL ENCLOSURE  
FF FINISHED FLOOR  
FL FLOW LINE  
FRAC FRACTIONAL  
M MEASURED DISTANCE  
MH MANHOLE  
OPC ORANGE PLASTIC CAP  
P PLATTED DISTANCE  
PG PAGE  
POB POINT OF BEGINNING  
POC POINT OF COMMENCEMENT  
PRA PREVIOUSLY RECORDED AS  
PUE PUBLIC UTILITY EASEMENT  
ROW RIGHT OF WAY  
RCP RED PLASTIC CAP  
RPC SQUARE FEET  
SAN SANITARY  
TYP TYPICAL  
YPC YELLOW PLASTIC CAP  
N NORTH  
S SOUTH  
E EAST  
W WEST

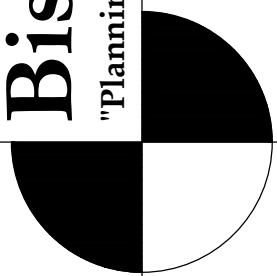
## LEGEND:

— SAN — SANITARY SEWER  
— ST — STORM SEWER  
— W — WATER LINE  
— G — GAS LINE  
— U/E — UNDERGROUND ELECTRIC  
— O/E — OVERHEAD ELECTRIC  
— TELE — TELEPHONE LINE  
— F/O — FIBER OPTIC  
— CATV — CABLE TV  
⊙ STORM MANHOLE  
⊞ CURB INTAKE  
⊕ SURFACE INTAKE  
⊖ FLARED END SECTION  
Ⓢ SANITARY MANHOLE  
Ⓢ CLEANOUT  
Ⓢ FIRE HYDRANT  
Ⓢ SPRINKLER  
Ⓢ IRRIGATION CONTROL VALVE  
Ⓢ WATER MANHOLE  
Ⓢ WELL  
Ⓢ WATER VALVE  
Ⓢ WATER SHUT OFF  
Ⓢ YARD HYDRANT  
Ⓢ ELECTRIC MANHOLE  
Ⓢ ELECTRIC METER  
Ⓢ ELECTRIC RISER

Ⓢ ELECTRIC VAULT  
Ⓢ POWER POLE  
Ⓢ TRANSFORMER POLE  
Ⓢ LIGHT POLE  
Ⓢ ELECTRIC JUNCTION BOX  
Ⓢ ELECTRIC PANEL  
Ⓢ FLOW LINE  
Ⓢ TRANSFORMER  
Ⓢ GROUND LIGHT  
Ⓢ GUY WIRE  
Ⓢ ELECTRIC HANDHOLE  
Ⓢ GAS METER  
Ⓢ GAS VALVE  
Ⓢ AIR CONDITIONING UNIT  
Ⓢ TELEPHONE RISER  
Ⓢ TELEPHONE VAULT  
Ⓢ TELEPHONE MANHOLE  
Ⓢ TRAFFIC SIGNAL MANHOLE  
Ⓢ FIBER OPTIC RISER  
Ⓢ FIBER OPTIC FAULT  
Ⓢ CABLE TV RISER  
Ⓢ SIGN  
7 ○ DENOTES NUMBER OF PARKING STALLS  
● PROPERTY CORNER - FOUND AS NOTED  
⊙ SECTION CORNER - FOUND AS NOTED  
Ⓢ ALL SIDE YARD SETBACKS ARE INTENDED TO BE USED TO CONVEY STORM WATER FROM THE SUBJECT LOT AND ANY ADJACENT LOTS

# PASCO POINT CONSTRUCTION DRAWING CARLISLE, IOWA

**Bishop Engineering**  
"Planning Your Successful Development"



3501 104th Street  
Des Moines, Iowa 50322-3825  
Phone: (515)276-0467 Fax: (515)276-0217

Civil Engineering & Land Surveying  
Established 1959

REFERENCE NUMBER:

DRAWN BY:  
BK

CHECKED BY:  
DB

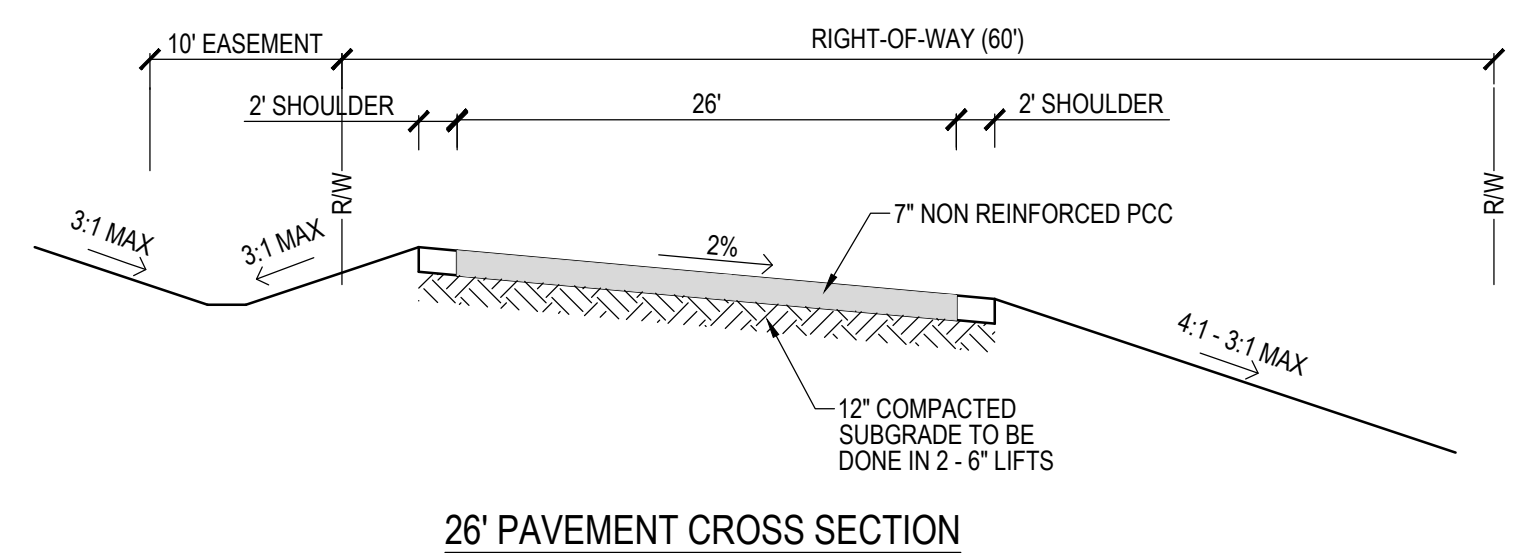
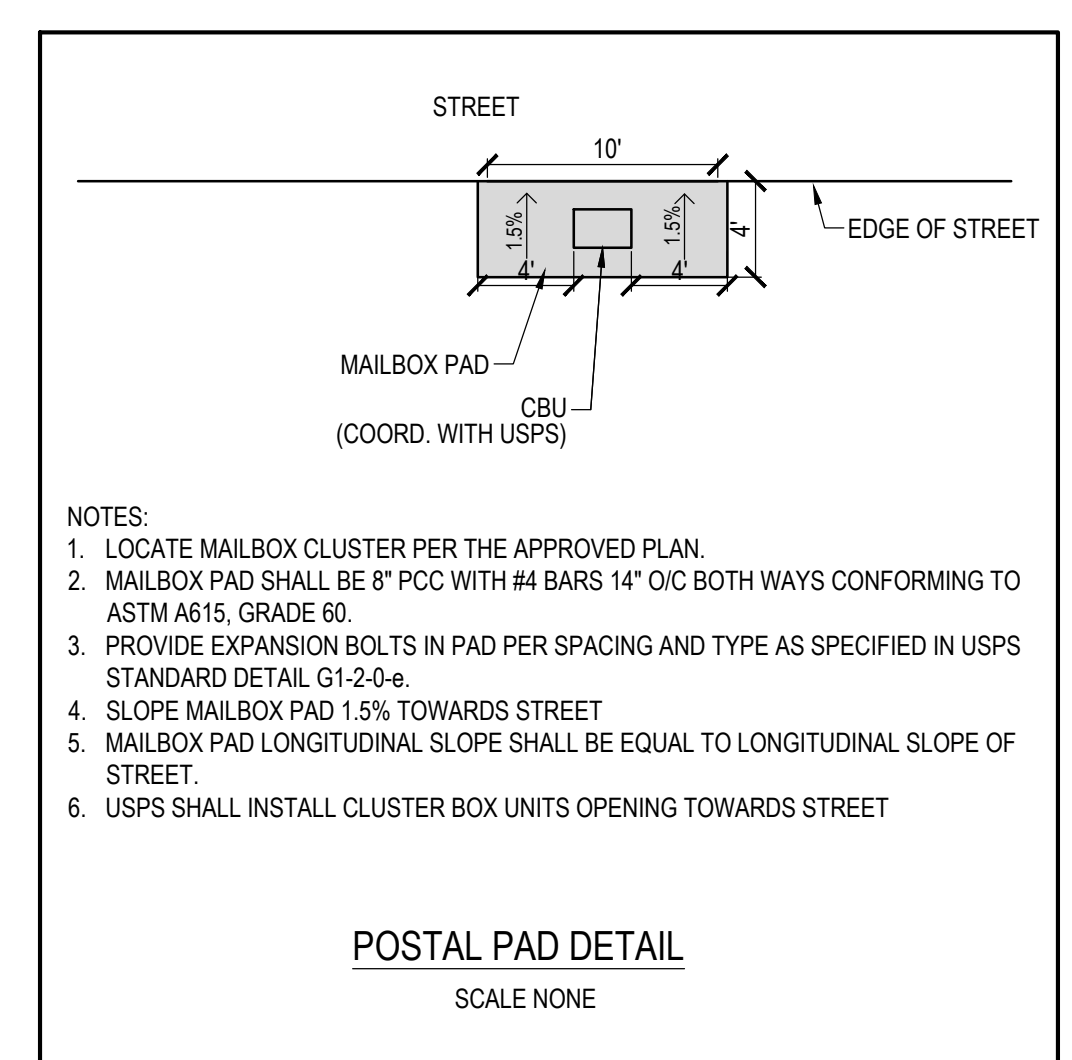
REVISION DATE:  
7/27/2020 CITY#1  
8/11/2020 CITY#2

PROJECT NUMBER:  
190561

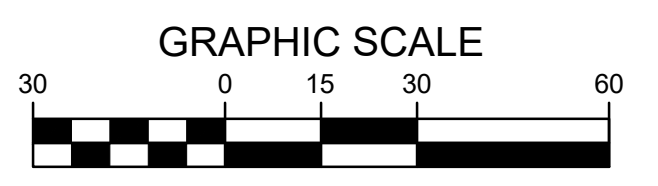
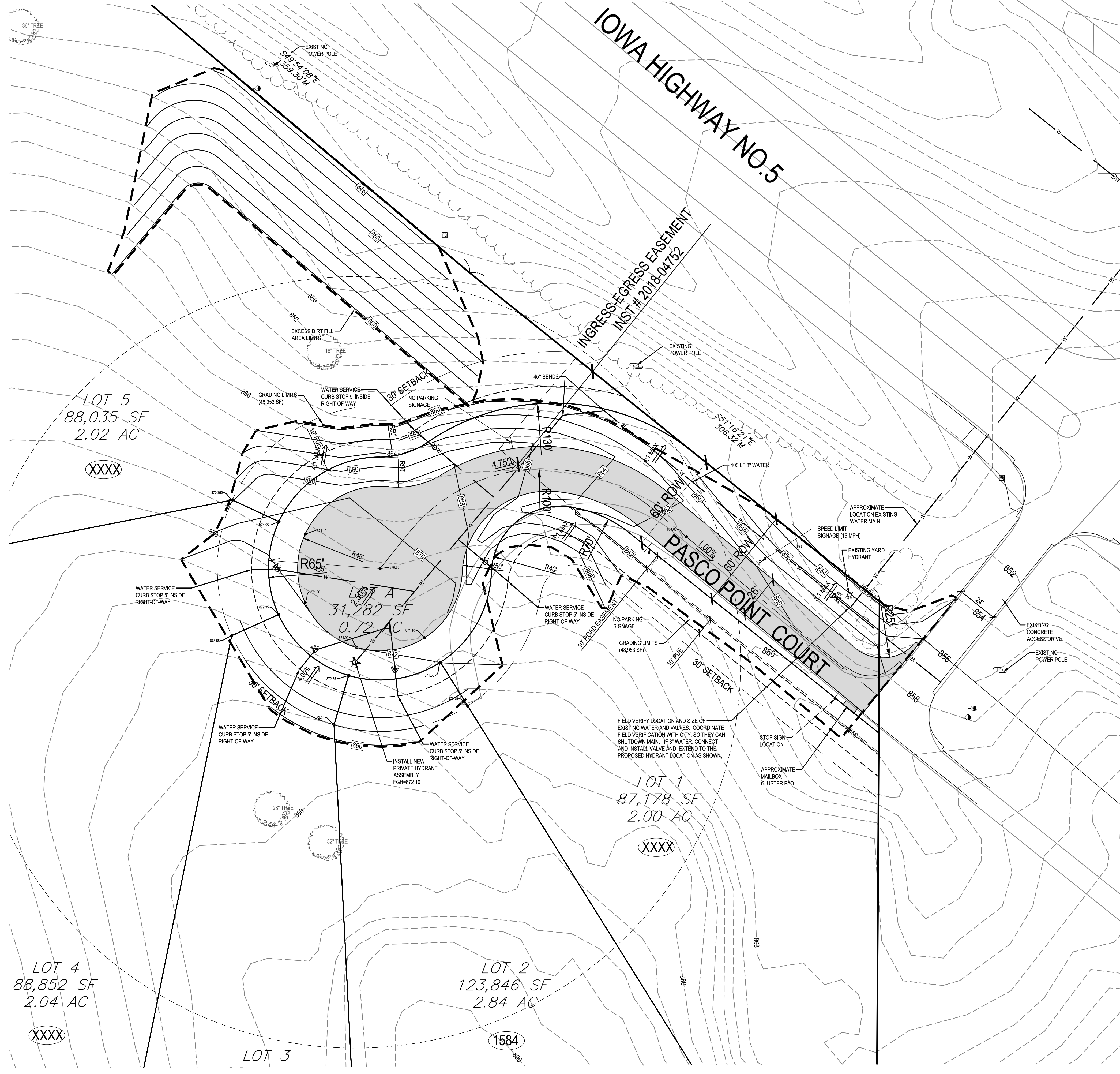
SHEET NUMBER:  
1 OF 4

PRELIMINARY- NOT FOR CONSTRUCTION

8/11/2020 5:30:37 PM M:\LAND PROJECTS 2019\190561 - PASCO DEVELOPMENT, CARLISLE\DWG\PUBLIC IMPROVEMENT.DWG



**UTILITY NOTE:**  
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.



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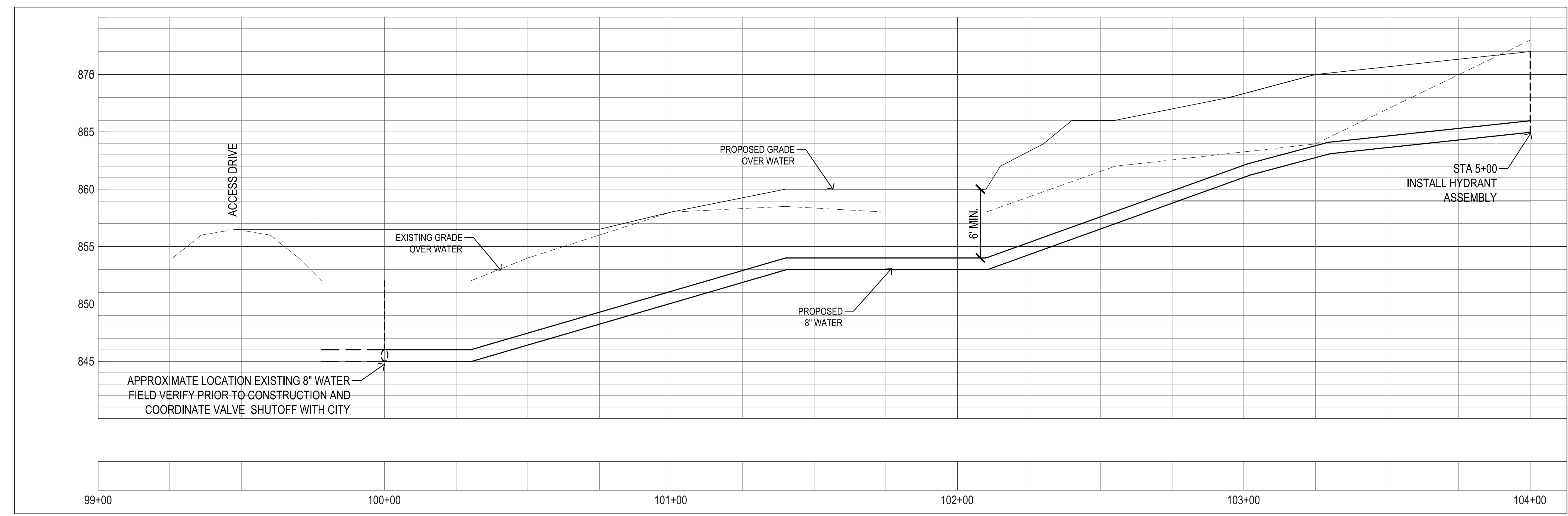
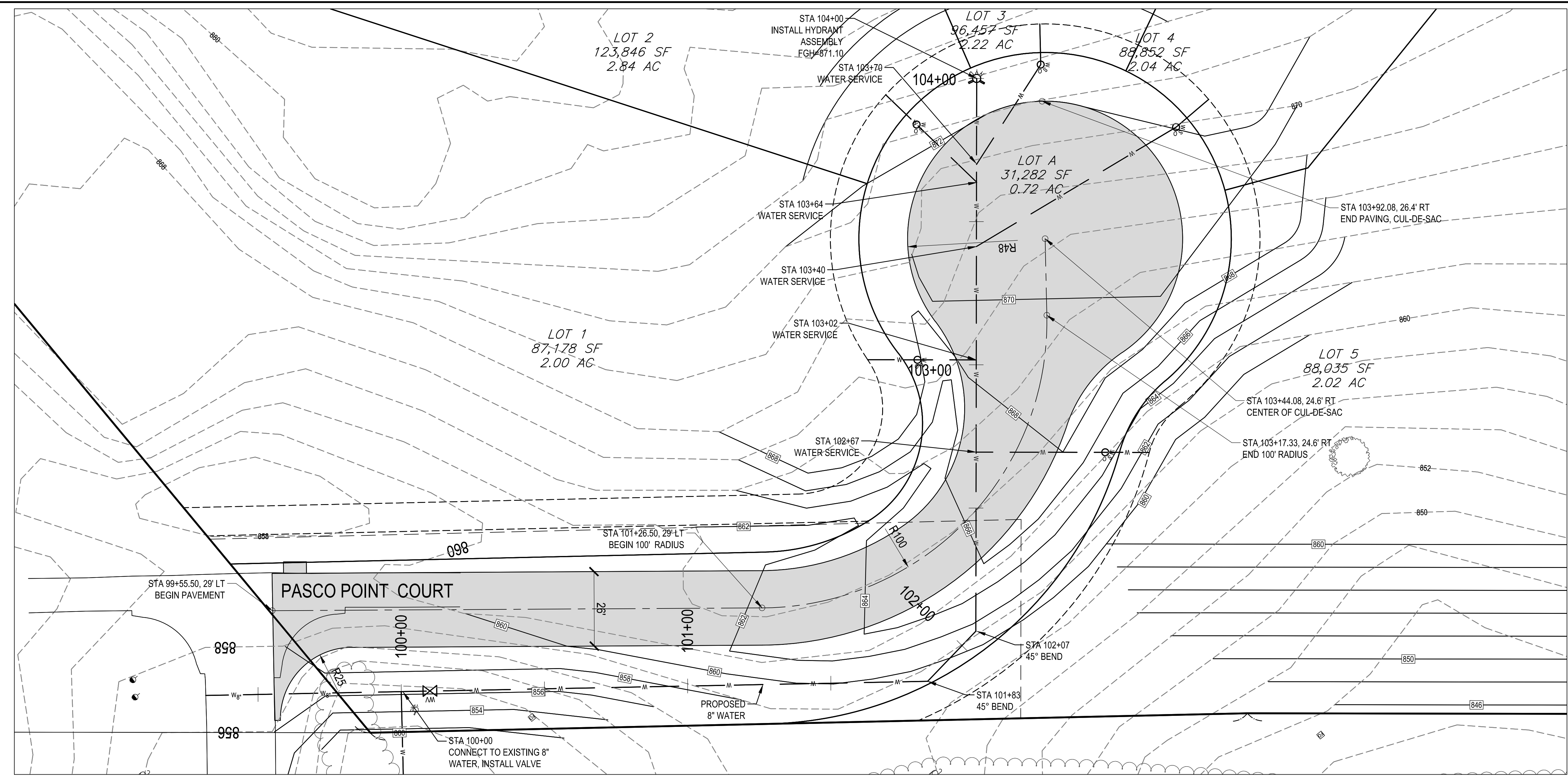
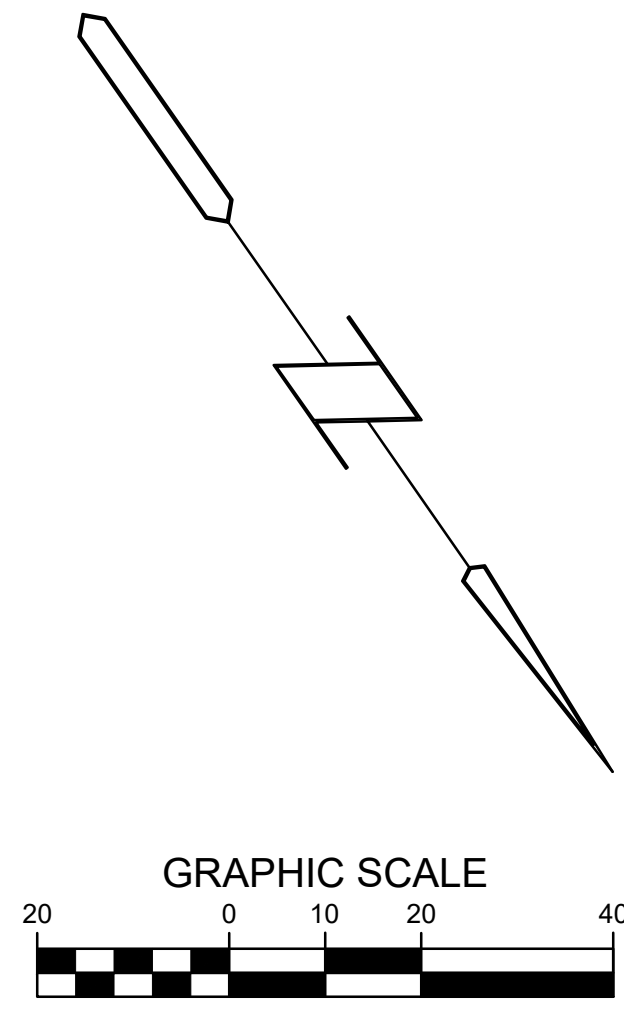
3501 104th Street  
Des Moines, Iowa 50322-3825  
Phone: (515)276-4467 Fax: (515)276-0217  
Civil Engineering & Land Surveying Established 1959

**PASCO POINT CONSTRUCTION DRAWING**  
**CARLISLE, IOWA**  
**LAYOUT AND GRADING PLAN**

REFERENCE NUMBER:	
DRAWN BY:	BK
CHECKED BY:	DB
REVISION DATE:	7/27/2020 CITY#1 8/11/2020 CITY#2
PROJECT NUMBER:	190561
SHEET NUMBER:	2 OF 4

PRELIMINARY- NOT FOR CONSTRUCTION

8/12/2020 10:42:59 AM \\LAND PROJECTS 2019\190561 - PASCO DEVELOPMENT, CARLISLE\DWG\PUBLIC IMPROVEMENT.DWG



**Bishop Engineering**  
 "Planning Your Successful Development"  
 3501 104th Street  
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**PASCO POINT CONSTRUCTION DRAWING**  
**CARLISLE, IOWA**  
**PLAN AND PROFILE**

REFERENCE NUMBER:	
DRAWN BY:	BK
CHECKED BY:	DB
REVISION DATE:	7/27/2020 CITY#1 8/11/2020 CITY#2
PROJECT NUMBER:	190561
SHEET NUMBER:	3 OF 4

# STORM WATER POLLUTION PREVENTION PLAN

## PROPERTY DESCRIPTION:

OF SECTION 4, TOWNSHIP 77 NORTH, RANGE 23 WEST OF THE 5TH P.M., CARLISLE, WARREN COUNTY, IOWA, IS DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 4; THENCE N87°24'41"W ASSUMED BEARING ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, A DISTANCE OF 463.53 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING N87°24'41"W ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, A DISTANCE OF 530.87 FEET; THENCE N04°07'45"W, A DISTANCE OF 697.07 FEET; THENCE N06°58'53"E, A DISTANCE OF 326.03 FEET; THENCE N18°28'05"E, A DISTANCE OF 97.64 FEET TO THE SOUTHWEST RIGHT OF WAY LINE OF IOWA HIGHWAY NO. 5; THENCE S49°54'08"E ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 359.30 FEET; THENCE S51°16'21"E ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 306.32 FEET; THENCE S00°18'35"W, A DISTANCE OF 712.41 FEET TO THE POINT OF BEGINNING. SAID TRACT OF LAND BEING SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

SAID TRACT OF LAND CONTAINS 11.84 ACRES.

## ADDRESS:

1584 HIGHWAY 5  
CARLISLE, IA 50047

## OWNER:

PASCO STORAGE UNLIMITED LLC  
1584 HIGHWAY 5  
CARLISLE, IA 50047

## BENCHMARK:

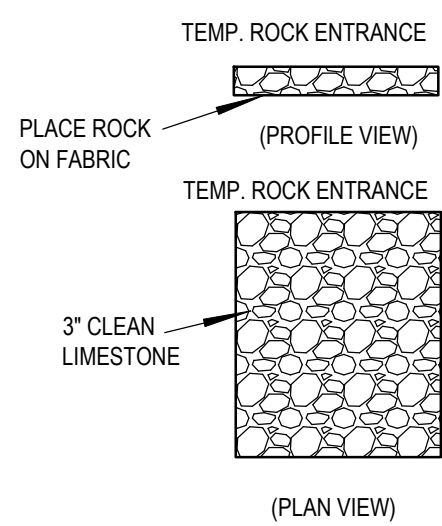
### SITE CONTROL AND BENCHMARKS:

BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS  
DATUM = NAD 83, IOWA SOUTH  
BENCHMARK DATUM = NAVD88

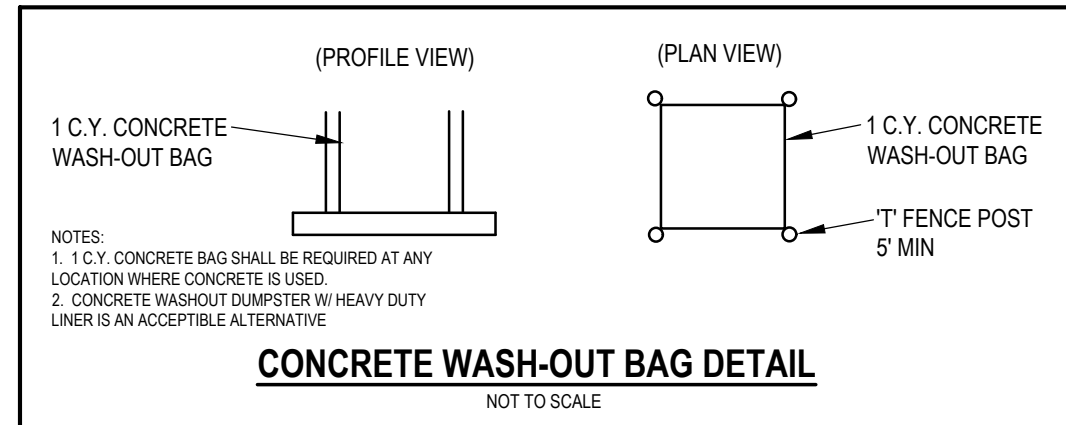
## POINT #9400

NORTHING = 546680.98  
EASTING = 1639250.10  
ELEVATION = 874.00  
DESCRIPTION: SET 5/8" IRON PIPE WITH RPC

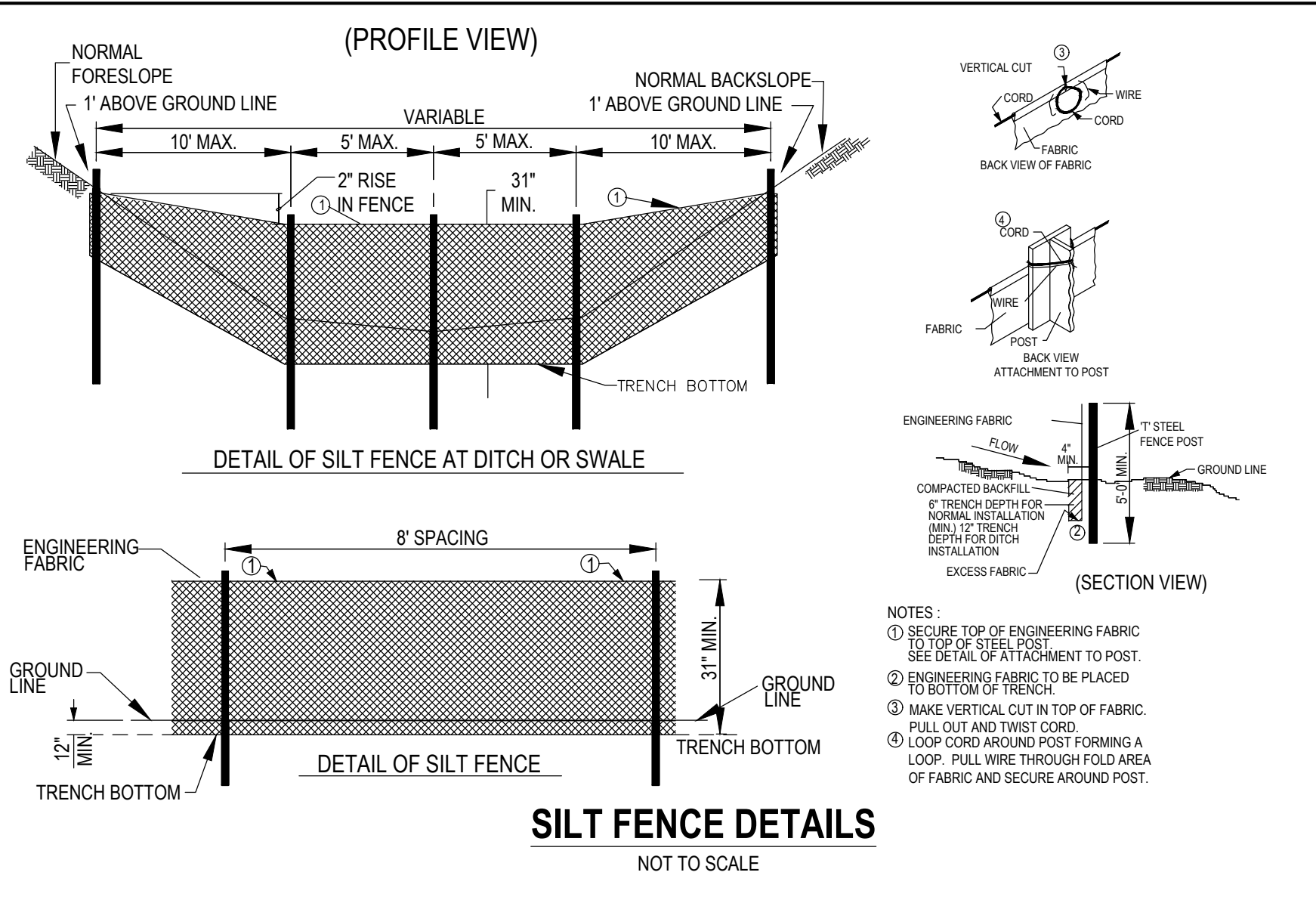
STABILIZED ENTRANCE SHALL BE AT LEAST 50' LONG AND EXTEND TO THE PUBLIC ROADWAY.



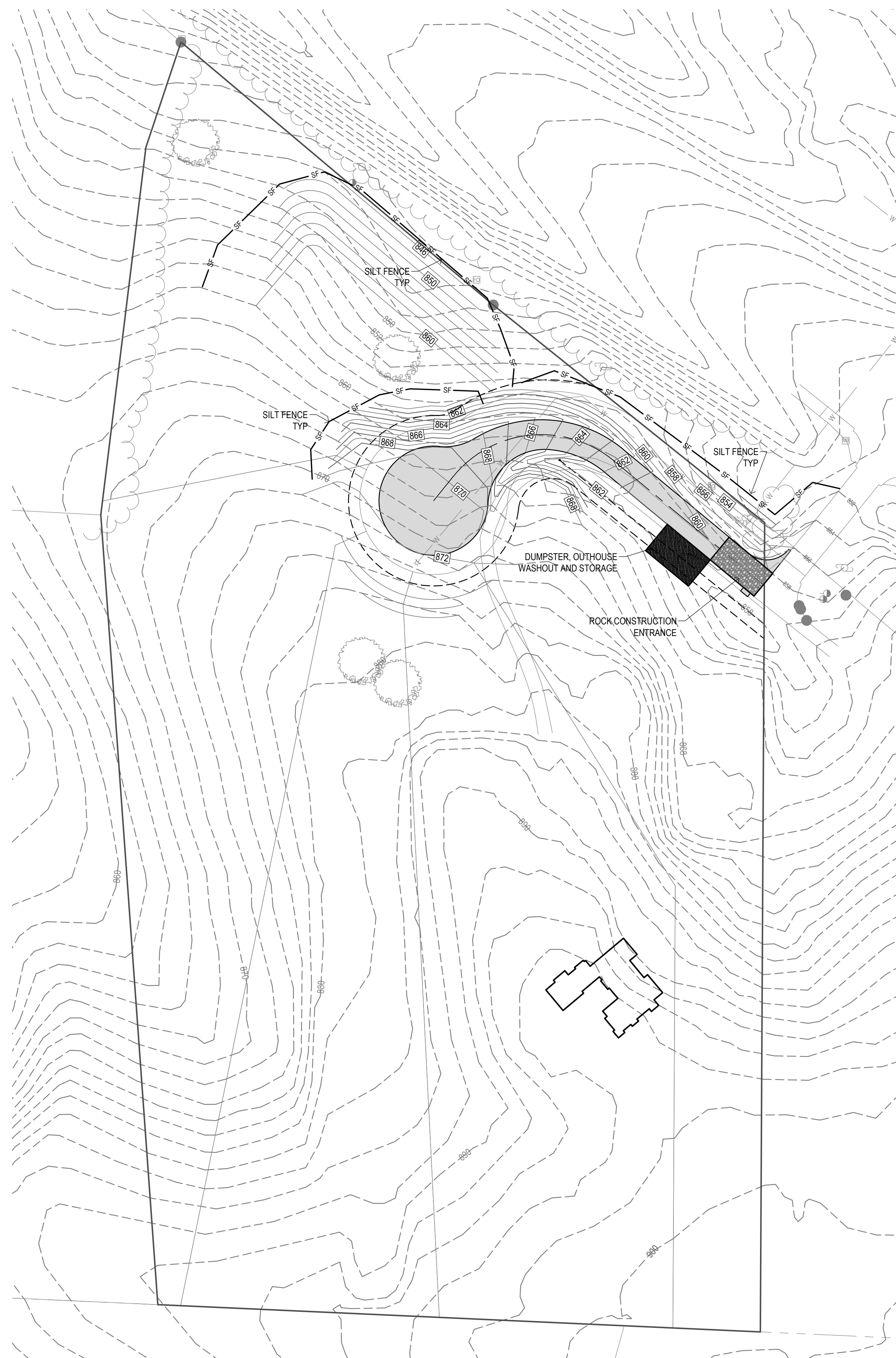
SITE ENTRANCE DETAIL  
NOT TO SCALE



CONCRETE WASH-OUT BAG DETAIL  
NOT TO SCALE



SILT FENCE DETAILS  
NOT TO SCALE



VICINITY MAP  
SCALE: 1" = 1,000'

## EROSION CONTROL NOTES:

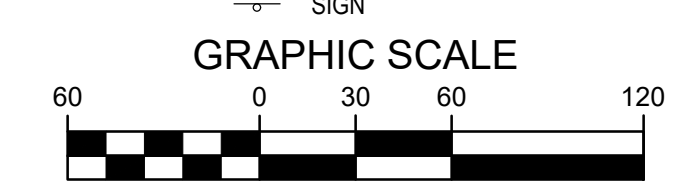
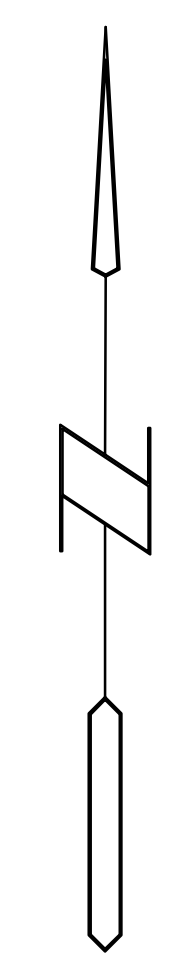
- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS AND NOTE. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
- SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
- INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
- INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
- INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
- OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

## EROSION CONTROL REMOVAL NOTES:

- AFTER FINAL STABILIZATION HAS OCCURRED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.

## LEGEND:

- 120--- EXISTING CONTOUR
- 120- PROPOSED CONTOUR
- SF SILT FENCE
- SAN SANITARY SEWER
- ST STORM SEWER
- W WATER LINE
- G GAS LINE
- UE UNDERGROUND ELECTRIC
- OE OVERHEAD ELECTRIC
- TELE TELEPHONE LINE
- FO FIBER OPTIC
- CATV CABLE TV
- SM STORM MANHOLE
- CI CURB INTAKE
- SI SURFACE INTAKE
- FE FLARED END SECTION
- SMH SANITARY MANHOLE
- CN CLEANOUT
- FD FIRE HYDRANT
- SPRINKLER
- ICV IRRIGATION CONTROL VALVE
- WM WATER MANHOLE
- WELL
- WV WATER VALVE
- WS WATER SHUT OFF
- YD YARD HYDRANT
- EMH ELECTRIC MANHOLE
- EM ELECTRIC METER
- ER ELECTRIC RISER
- EV ELECTRIC VAULT
- PP POWER POLE
- TP TRANSFORMER POLE
- LP LIGHT POLE
- EJ BOX ELECTRIC JUNCTION BOX
- EP ELECTRIC PANEL
- TR TRANSFORMER
- GL GROUND LIGHT
- GW GUY WIRE
- EH ELECTRIC HANDHOLE
- GM GAS METER
- GV GAS VALVE
- ACU AIR CONDITIONING UNIT
- TRR TELEPHONE RISER
- TV TELEPHONE VAULT
- TM TELEPHONE MANHOLE
- TSM TRAFFIC SIGNAL MANHOLE
- FOR FIBER OPTIC RISER
- FOF FIBER OPTIC FAULT
- CVR CABLE TV RISER
- SG SIGN



PASCO POINT CONSTRUCTION DRAWING  
CARLISLE, IOWA

REFERENCE NUMBER:

DRAWN BY:  
BK

CHECKED BY:  
DB

REVISION DATE:  
7/27/2020 CITY#1

PROJECT NUMBER:  
190561

SHEET NUMBER:  
4 OF 4

**Bishop Engineering**  
"Planning Your Successful Development"

3501 104th Street  
Des Moines, Iowa 50322-3825  
Phone: (515)276-0467 Fax: (515)276-0217  
Civil Engineering & Land Surveying Established 1959

SWPPP

**IOWA ONE CALL**  
1-800-292-8989  
www.iowaonecall.com

UTILITY NOTE:  
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.



August 13, 2020

**Brad Kuehl**

Bishop Engineering Company, Inc.  
3501 104th Street  
Des Moines, IA 50322

**Pasco Point - Final Plat Review**

Carlisle, Iowa  
FOX Ref No: 8666-20C.230

Thank you for submitting your project for review. The City is committed to assisting you with the completion of this project. FOX Engineering and the City Staff has completed the second review for the Pasco Point Final Plat, with date stamp of August 11, 2020 and as submitted to FOX Engineering via email on August 11, 2020 and offers the following comments:

1. Approval of this Final Plat is subject to review/approval of the Preliminary Plat and Construction Drawings for Pasco Point, as they are being submitted for approval concurrently.
2. Plat comments:
  - a. Per 180.09(2)(E) Final Plat Requirements, the proposed Pasco Point roadway centerline needs to have a reference dimension from a lot corner. In addition, please provide a dimension from the centerline to the ROW.
  - b. There is a plat note that indicates references to a Plat of Survey, dated 6-18-2018 and recorded 6-19-2018. The Plat of Survey shows monuments at all the outer corners of the area currently being platted. Please reconcile the symbols on the final plat as there should be existing monumentation at corners where this plat shows new monuments being set. Bear in mind that found monuments control over discrepancies in distance.
  - c. The City will provide addresses to each lot. These addresses shall be shown on the final plat.
  - d. You may consider increasing the right of way width in lieu of providing the 10-ft roadway easement. There is no difference and would save the necessary step of providing a roadway easement document to file with the plat.
  - e. Please show a 30-ft setback along Highway 5 for Lot 5.
3. 180.09.03.A, please provide a warranty deed to the City properly executed for all street intended as public streets and any other property intended for public use.
4. 180.09.03.B, please submit any covenants or restrictions to be imposed upon the plat. These should be the Final Development Plan Documents that have already been approved that defines the by-laws of the common areas that are NOT dedicated to the City. These documents need to be recorded in the office of the County Recorder.
5. 180.09.03.D, please provide a certificate by the Owner that the subdivision is free of consent and is in accordance with the desires of the owner.
6. Please provide an Easement Dedication document which states the restrictions on the easements (PUE's and Roadway Easements) as shown on the Final Plat.

- 
7. As-built record drawings shall be submitted within 30 days after the completion of construction. The Engineer shall field verify all structures (valves, hydrants) and flowlines.
  8. Please provide maintenance bonds for all pavement and utilities to be dedicated to the city of Carlisle. The bond period shall begin once all infrastructure is installed and accepted. City Engineer shall review the bond amounts prior to submission of for bond documents. Maintenance Bonds for this plat are as follows (180.03, 15):
    - a. Streets – 4-yr Maintenance Bond
    - b. Water Mains – 2-yr Maintenance Bond
  9. Please provide performance bonds for all incomplete construction. Please provide an opinion of cost for City review prior to submittal of the performance bond.

**FINAL PLAT SCHEDULE:**

**PLANNING & ZONING:** August 17, 2020 at 7:00 at the Carlisle City Hall

**COUNCIL MEETING:** August 24, 2020 at 6:30 at the Carlisle City Hall

If you have any questions or concerns, please contact Mitch Holtz at 515-231-6005. The City reserves the right to modify or add to these comments.

FOX ENGINEERING ASSOCIATES, INC.



Mitch Holtz, P.E.

Copy to: Deven Markley, City Administrator, Carlisle

# PASCO POINT FINAL PLAT

## INDEX LEGEND

NE 1/4 OF THE SE 1/4 OF SECTION 4-77-23

**OWNER:**  
PASCO STORAGE UNLIMITED INC  
PO BOX 66027  
WEST DES MOINES, IA 50265

**PREPARED FOR:**  
PASCO STORAGE UNLIMITED INC  
PO BOX 66027  
WEST DES MOINES, IA 50265

**PREPARED BY:**  
LARRY HYLER PLS  
BISHOP ENGINEERING  
3501 104TH ST  
URBANDALE, IA 50322

## PROPERTY DESCRIPTION:

AN IRREGULAR SHAPED PORTION OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 77 NORTH, RANGE 23 WEST OF THE 5TH P.M., CARLISLE, WARREN COUNTY, IOWA, IS DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 4; THENCE N87°24'41"W ASSUMED BEARING ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, A DISTANCE OF 463.53 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING N87°24'41"W ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 4, A DISTANCE OF 530.87 FEET; THENCE N04°07'45"W, A DISTANCE OF 697.07 FEET; THENCE N06°58'53"E, A DISTANCE OF 326.03 FEET; THENCE N18°28'05"E, A DISTANCE OF 97.64 FEET TO THE SOUTHWEST RIGHT OF WAY LINE OF IOWA HIGHWAY NO. 5; THENCE S49°54'08"E ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 359.30 FEET; THENCE S51°16'21"E ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 306.32 FEET; THENCE S00°18'35"W, A DISTANCE OF 712.41 FEET TO THE POINT OF BEGINNING.

SAID TRACT OF LAND BEING SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

SAID TRACT OF LAND CONTAINS 11.84 ACRES.

## ZONING:

R1: ONE AND TWO FAMILY RESIDENTIAL DISTRICT

## BULK REGULATIONS:

FRONT 30 FEET  
REAR 35 FEET  
SIDE 7 FOOT MIN ONE SIDE, 15 FEET MIN TOTAL

MAX. HEIGHT 35 FEET

## SURVEY NOTES:

THIS PLAT HAS AN ERROR OR CLOSURE OF LESS THAN 1.0 FEET IN 10,000.0 FEET. EACH LOT WITHIN THIS PLAT HAS AN ERROR OF CLOSURE OF LESS THAN 1.0 FEET IN 5,000.0 FEET.

ALL CORNERS HAVE BEEN PLACED WITH A 3/4 INCH IRON PIPE UNLESS NOTED OTHERWISE. ALL CORNERS PLACED HAVE A YELLOW PLASTIC IDENTIFICATION CAP NO. 14775.

LOT 'A' IS A STREET LOT AND WILL BE DEEDED TO THE CITY OF CARLISLE.

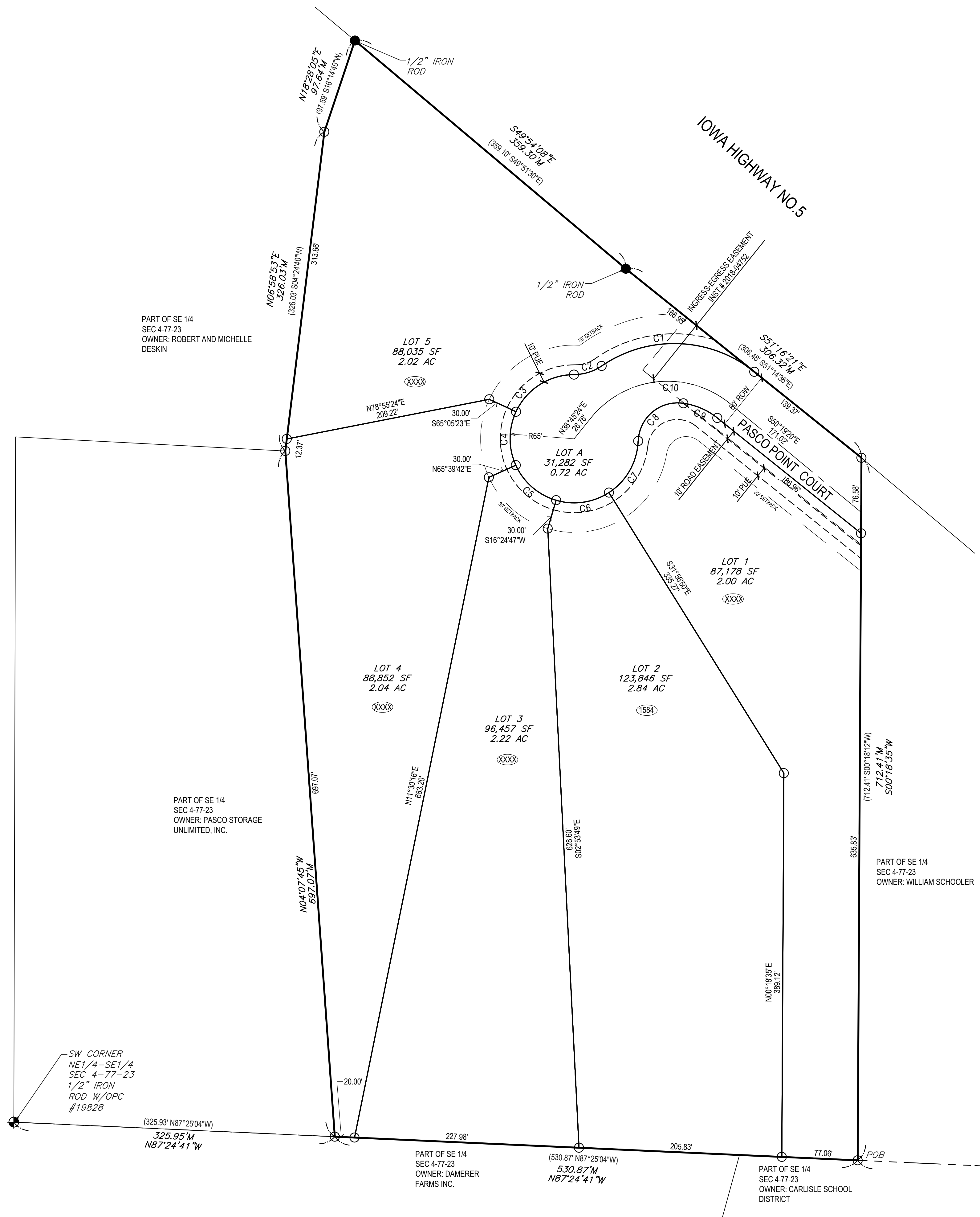
ALL BEARINGS ARE BASED ON AN ASSUMED MERIDIAN FOR COMPUTATION PURPOSES

## LEGEND:

- PROPERTY CORNER - FOUND AS NOTED
- PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID #14775
- ⊕ SECTION CORNER - FOUND AS NOTED
- ✕ CUT "X" IN PAVEMENT
- ADDRESS

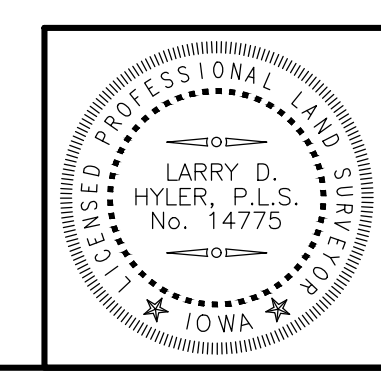
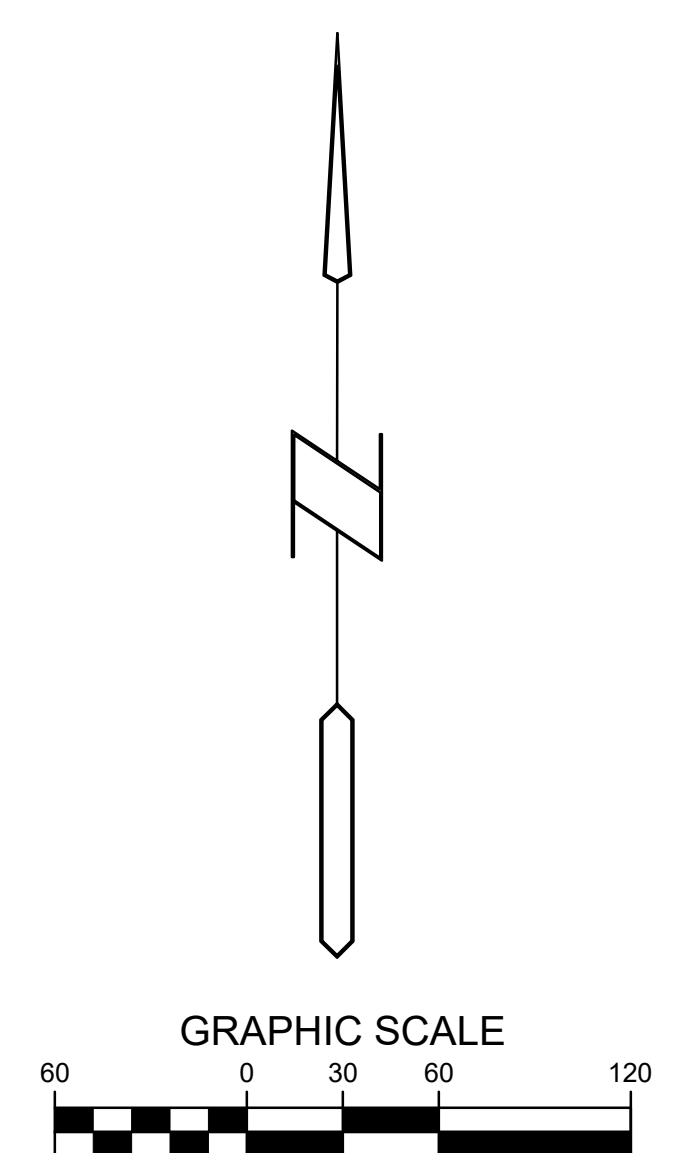
## ABBREVIATIONS:

AC ACRES  
PUE PUBLIC UTILITY EASEMENT  
TYP TYPICAL  
N NORTH  
S SOUTH  
E EAST  
W WEST  
YPC YELLOW PLASTIC CAP  
MPE MINIMUM PROTECTION ELEVATION  
SF SQUARE FOOTAGE  
POB POINT OF BEGINNING  
POC POINT OF COMMENCEMENT



VICINITY MAP  
SCALE: 1" = 1,000'

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA
C1	165.92	130.00	154.88	N87°50'08.37"W	73°07'35"
C2	29.86	50.00	29.42	N72°42'33.37"E	34°12'59"
C3	73.63	65.00	69.76	S57°21'49.78"W	64°54'26"
C4	55.87	65.00	54.17	S00°17'09.32"W	49°14'55"
C5	55.87	65.00	54.17	S48°57'45.77"E	49°14'55"
C6	55.87	65.00	54.17	N81°47'19.13"E	49°14'55"
C7	62.53	65.00	60.15	N29°36'10.86"E	55°07'21"
C8	67.54	40.01	59.80	S50°24'14.72"W	96°42'28"
C9	37.57	70.00	37.12	N66°38'51.69"W	30°45'02"
C10	158.69	100.00	142.55	S84°13'02.36"W	90°55'16"



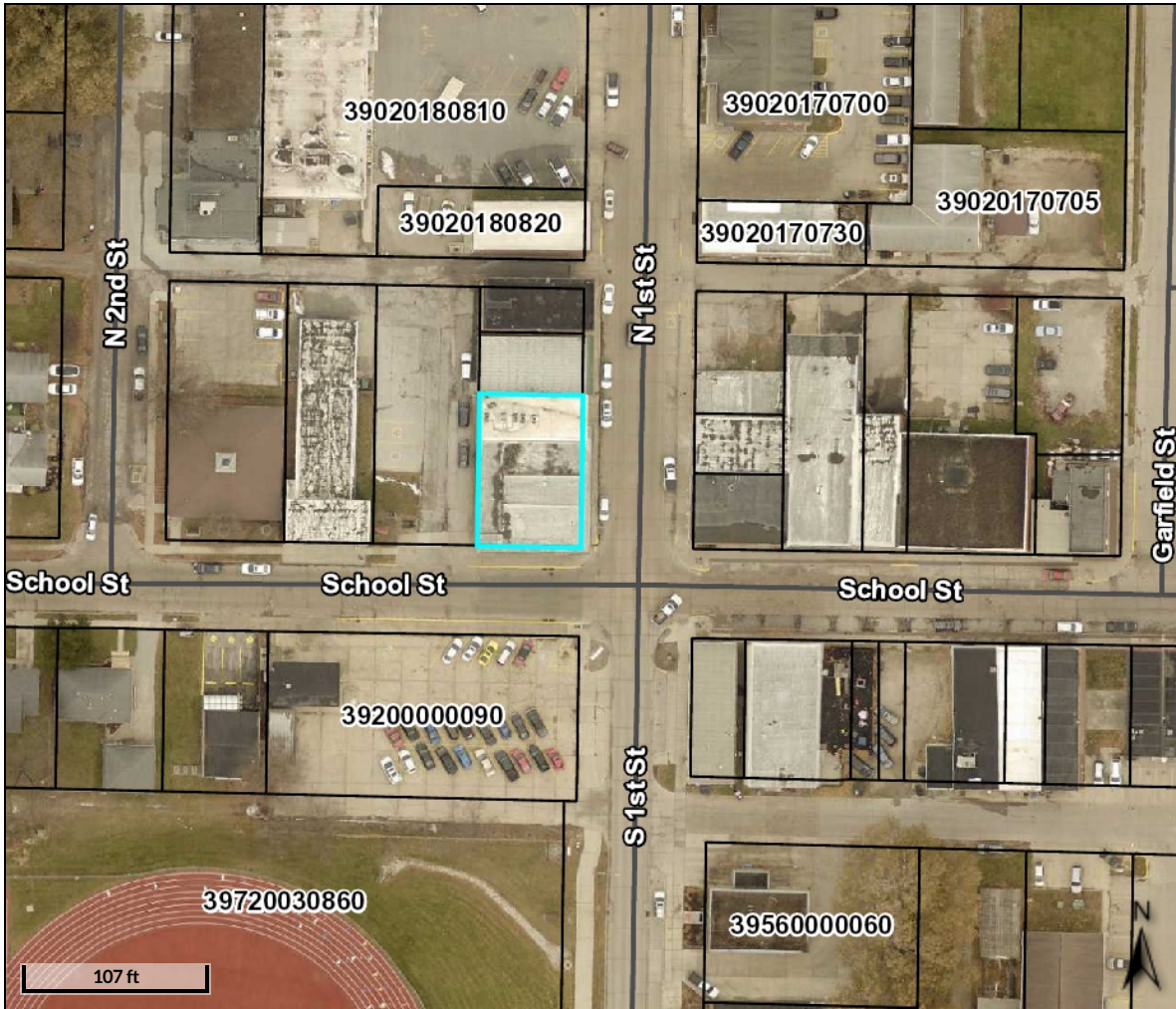
I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: \_\_\_\_\_ PRELIMINARY \_\_\_\_\_ DATE: \_\_\_\_\_  
LARRY D. HYLER, P.L.S. 14775  
LICENSE RENEWAL DATE: DEC. 31, 2020  
PAGES OR SHEETS COVERED BY THIS SEAL: 1 OF 1

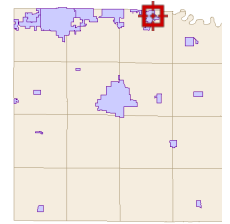
**Bishop Engineering**  
"Planning Your Successful Development"  
3501 104th Street  
Des Moines, Iowa 50322-3825  
Phone: (515) 276-4467 Fax: (515) 276-0217  
Civil Engineering & Land Surveying Established 1959

**PASCO POINT  
CARLISLE, IOWA**

REFERENCE NUMBER:  
DRAWN BY:  
CEJ  
CHECKED BY:  
LDH  
REVISION DATE:  
PROJECT NUMBER:  
**190561**  
SHEET NUMBER:  
**1 OF 1**



**Overview**



**Legend**

**Roads**

- <all other values>
- Interstate
- Highway
- Ramp
- County Gravel
- County Level B
- County Level C
- City Gravel
- City Street
- Private Street

- Corporate Limits
- Parcels
- Political Township

**Major Roads**

- County Hwy
- State Hwy
- US Hwy
- Interstate
- Water

<b>Parcel ID</b>	39020180860	<b>Alternate ID</b>	n/a	<b>Owner Address</b>	CITY OF CARLISLE, IOWA
<b>Sec/Twp/Rng</b>	n/a	<b>Class</b>	C		195 N 1ST ST
<b>Property Address</b>	100 N 1ST ST	<b>Acreege</b>	n/a		CARLISLE IA 50047
	CARLISLE				
<b>District</b>	39100				
<b>Brief Tax Description</b>	3-77-23 CARLISLE OTP S 85.5' LOT 8 BLK R				
	<span style="color: red;">(Note: Not to be used on legal documents)</span>				

**Disclaimer:**

The maps included in this website do not represent a survey and are compiled from official records, including plats, surveys, recorded deeds, and contracts, and only contain information required for government purposes. No warranties, expressed or implied, are provided for the data herein, its use or its interpretation. Warren County assumes no responsibility for use or interpretation of the data. Any person that relies on any information obtained from this site does so at his or her own risk. All critical information should be independently verified.

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Date created: 8/13/2020  
Last Data Uploaded: 8/12/2020 9:27:07 PM

August 13, 2020

**City of Carlisle**

Attn: Deven Markley  
195 N. First Street  
Carlisle, Iowa 50047

**Carlisle City Hall – Site Plan**

100 N First Street, Carlisle, IA 50047  
*FOX P.N. 8666-20D.240*

FOX Engineering has completed the second review for the Carlisle City Hall Remodel Site Plan as sent via email to FOX Engineering on August 11, 2020, and offers the following comments:

**General Site Plan Note:**

1. Patch in School Street is shown as HMA. FOX recommends providing a PCC patch in this area to match and tie-into existing PCC street paving. Please discuss with Public Works.

**Storm Water Management:**

2. No detention is required for this site plan (no impervious surfaces are added).

**Landscaping:**

3. None Required.

**SITE PLAN SUBMITTAL SCHEDULE:**

**PLANNING & ZONING:** August 17, 2020 at 7:00 at the Carlisle City Hall

**COUNCIL MEETING:** August 24, 2020 at 6:30 at the Carlisle City Hall

If you have any questions or concerns, please contact Mitch Holtz. We reserve the right to modify and/or add to these comments.

Sincerely,  
FOX ENGINEERING ASSOCIATES, INC.



Mitch Holtz, P.E.

Copy to: Dana Pedersen, Ethos  
Heather Hoffman, Ethos



PROJECT NAME:  
**REMODEL FOR:  
CITY OF CARLISLE  
CITY HALL**  
100 N. FIRST STREET  
CARLISLE, IA 50047

OWNER:  
**CITY OF CARLISLE**  
195 N. FIRST STREET  
CARLISLE, IA 50047

DRAWING ISSUE INFORMATION:  
ISSUE FOR : 95% CONSTRUCTION DOCS  
ISSUE DATE : 07.22.2020

MARK	DATE	DESCRIPTION

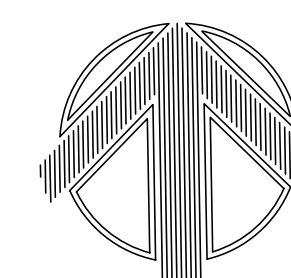
MANAGEMENT INFORMATION:

PROJECT NO:	2020.104
PRINCIPAL IN CHARGE:	TIM OLSON
PROJECT ARCHITECT:	DANA PEDERSEN
DRAWN BY:	HRH
CHECKED BY:	DLP

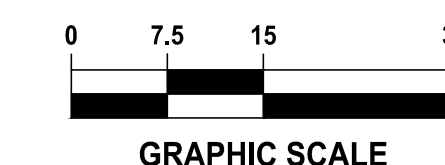
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SHEET TITLE:  
**CIVIL REMOVAL PLAN**

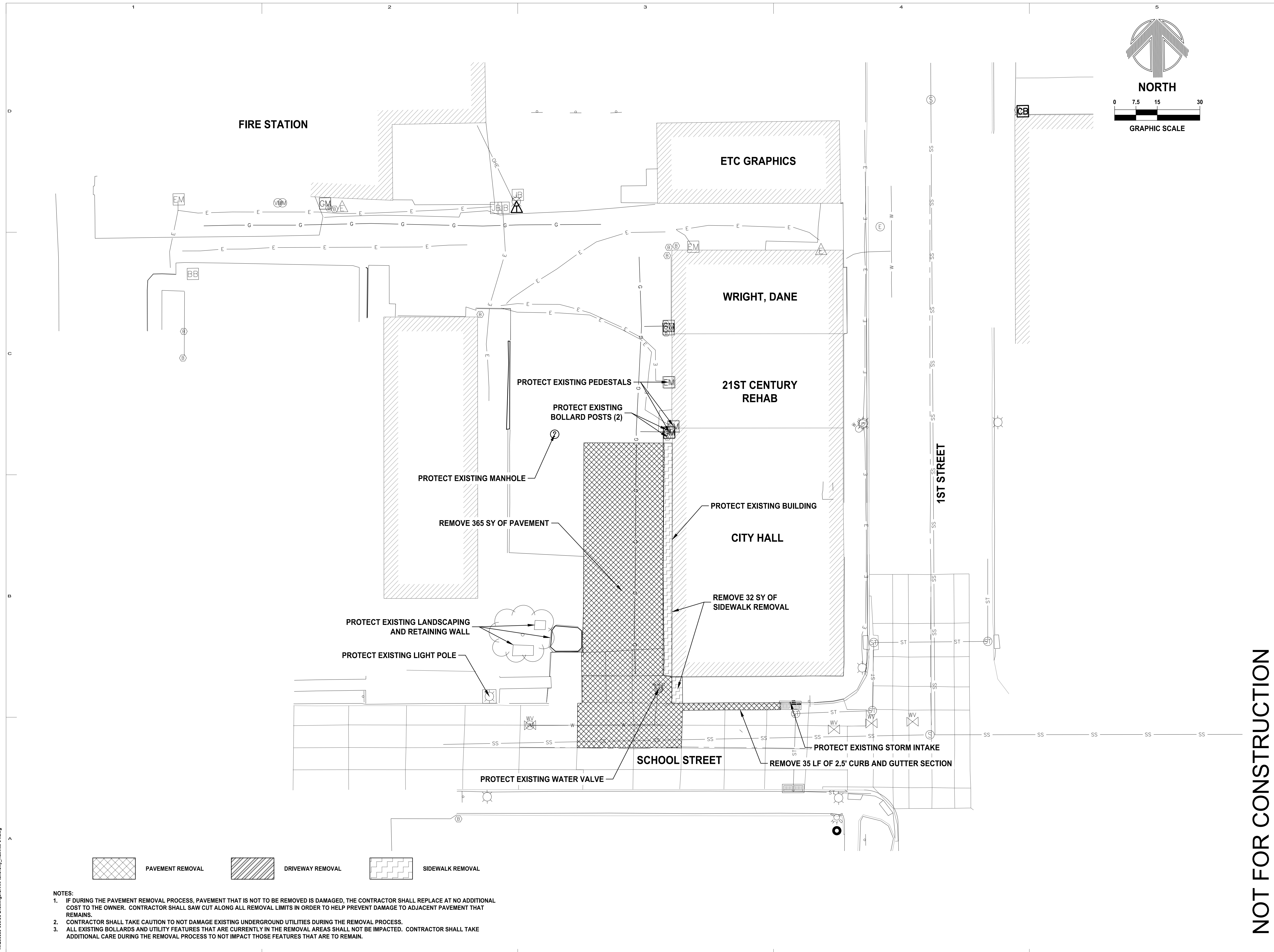
SHEET NO.  
**C100**



**NORTH**



**NOT FOR CONSTRUCTION**



- NOTES:
- IF DURING THE PAVEMENT REMOVAL PROCESS, PAVEMENT THAT IS NOT TO BE REMOVED IS DAMAGED, THE CONTRACTOR SHALL REPLACE AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL SAW CUT ALONG ALL REMOVAL LIMITS IN ORDER TO HELP PREVENT DAMAGE TO ADJACENT PAVEMENT THAT REMAINS.
  - CONTRACTOR SHALL TAKE CAUTION TO NOT DAMAGE EXISTING UNDERGROUND UTILITIES DURING THE REMOVAL PROCESS.
  - ALL EXISTING BOLLARDS AND UTILITY FEATURES THAT ARE CURRENTLY IN THE REMOVAL AREAS SHALL NOT BE IMPACTED. CONTRACTOR SHALL TAKE ADDITIONAL CARE DURING THE REMOVAL PROCESS TO NOT IMPACT THOSE FEATURES THAT ARE TO REMAIN.

MARK	DATE	DESCRIPTION

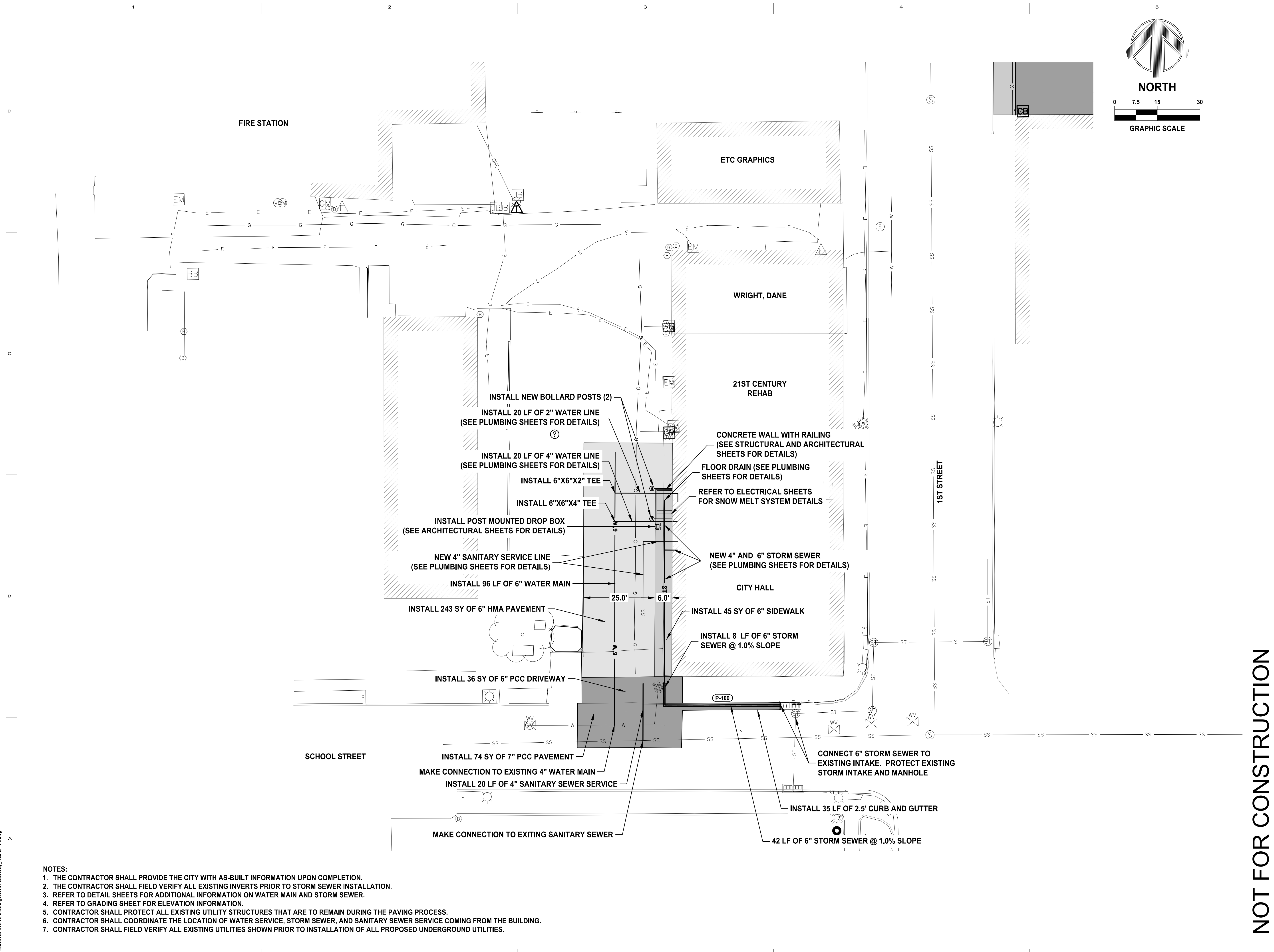
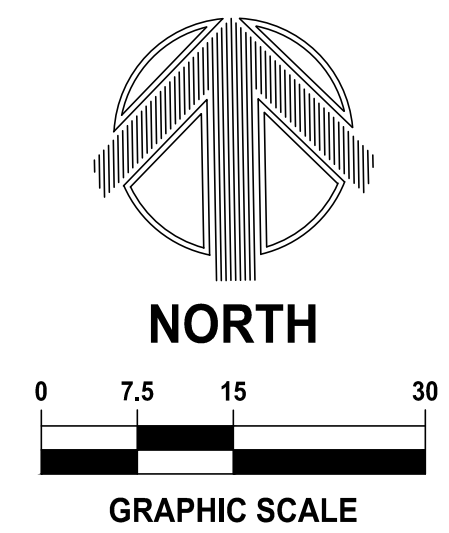
MANAGEMENT INFORMATION:

PROJECT NO:	2020.104
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PROJECT ARCHITECT:	DANA PEDERSEN
DRAWN BY:	HRH
CHECKED BY:	DLP

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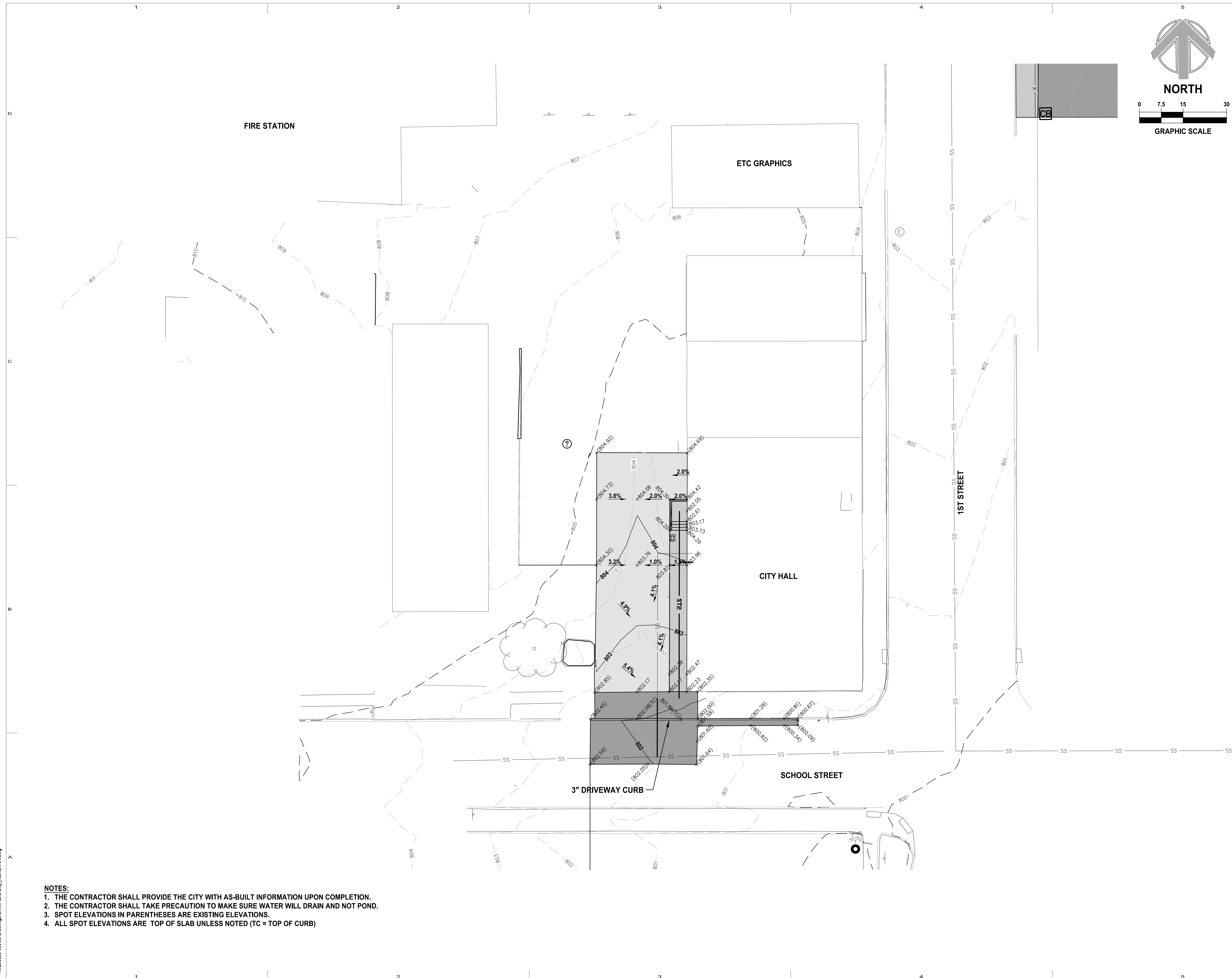
SHEET TITLE:  
**SITE PLAN AND UTILITIES**

SHEET NO.  
**C101**



- NOTES:**
1. THE CONTRACTOR SHALL PROVIDE THE CITY WITH AS-BUILT INFORMATION UPON COMPLETION.
  2. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING INVERTS PRIOR TO STORM SEWER INSTALLATION.
  3. REFER TO DETAIL SHEETS FOR ADDITIONAL INFORMATION ON WATER MAIN AND STORM SEWER.
  4. REFER TO GRADING SHEET FOR ELEVATION INFORMATION.
  5. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITY STRUCTURES THAT ARE TO REMAIN DURING THE PAVING PROCESS.
  6. CONTRACTOR SHALL COORDINATE THE LOCATION OF WATER SERVICE, STORM SEWER, AND SANITARY SEWER SERVICE COMING FROM THE BUILDING.
  7. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES SHOWN PRIOR TO INSTALLATION OF ALL PROPOSED UNDERGROUND UTILITIES.

**NOT FOR CONSTRUCTION**



CIVIL ENGINEER  
**MCCLORE ENGINEERING CO.**  
1740 LININGER LANE  
NORTH LIBERTY, IA 52317  
Tel. 319.626.9090

ARCHITECT AND INTERIOR DESIGNER  
**ETHOS DESIGN GROUP, INC.**  
119 SECOND STREET, PO BOX 169  
POLK CITY, IA 50226  
Tel. 515.984.3077

STRUCTURAL ENGINEER  
**KPFF, INC.**  
604 LOCUST STREET, SUITE 202  
DES MOINES, IA 50309  
Tel. 515.279.3900

MECHANICAL AND ELECTRICAL ENGINEER  
**KCL ENGINEERING**  
300 4th STREET  
WEST DES MOINES, IA 50265  
Tel. 515.724.7938

PUBLIC SAFETY CONSULTANT  
**720 DESIGN**  
9003 OAKPATH LANE  
DALLAS, TX 75243  
Tel. 972.898.1264



PROJECT NAME:  
**REMODEL FOR:  
CITY OF CARLISLE  
CITY HALL**  
100 N. FIRST STREET  
CARLISLE, IA 50047

OWNER:  
**CITY OF CARLISLE**  
195 N. FIRST STREET  
CARLISLE, IA 50047

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MARK	DATE	DESCRIPTION

MANAGEMENT INFORMATION:  
PROJECT NO: 2020.104  
PRINCIPAL IN CHARGE: TIM OLSON PROJECT ARCHITECT: DANA PEDERSEN  
DRAWN BY: HRH CHECKED BY: DLP

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SHEET TITLE:  
**GRADING PLAN AND ELEVATIONS**

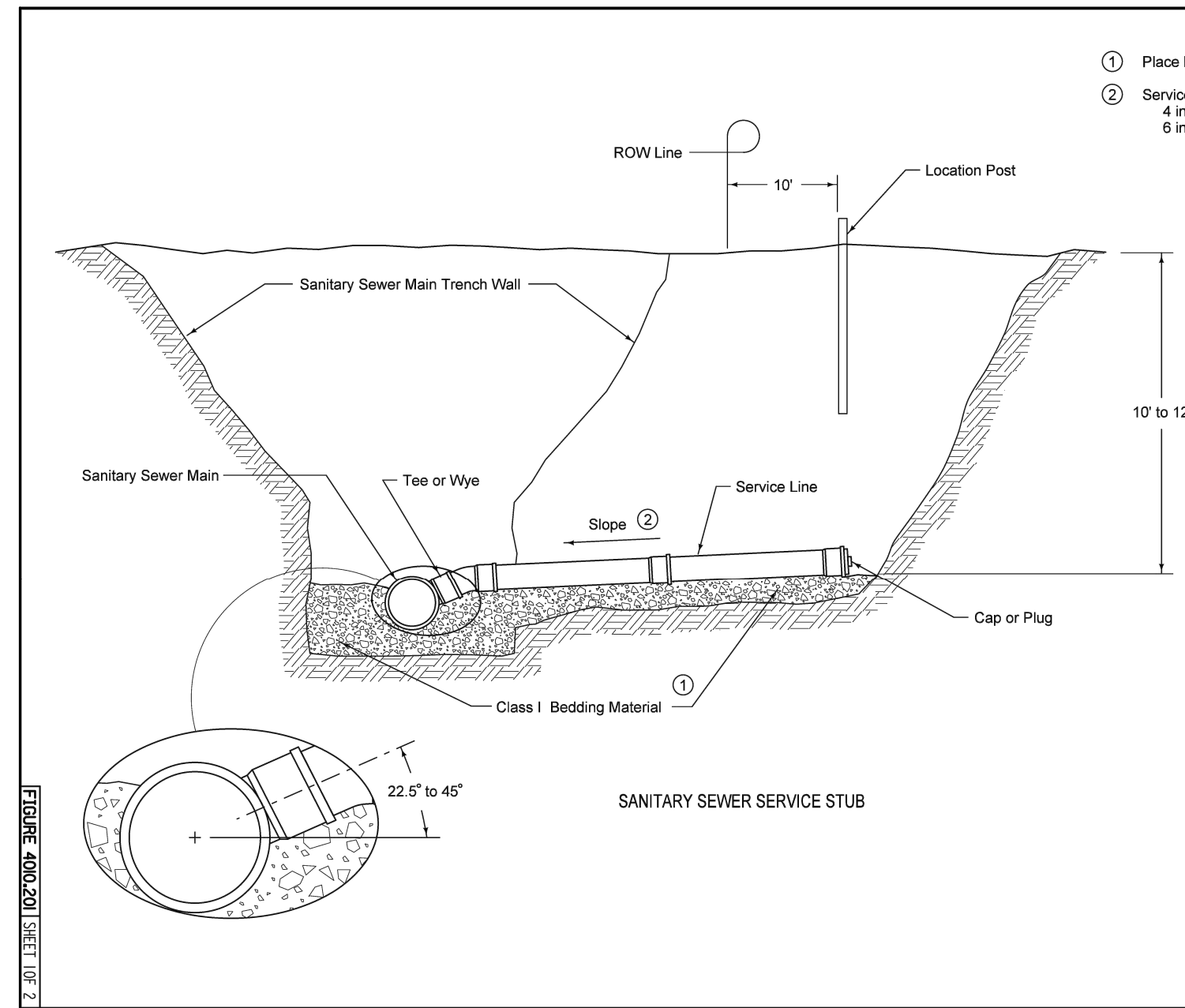
SHEET NO.  
**C102**

- NOTES:**
1. THE CONTRACTOR SHALL PROVIDE THE CITY WITH AS-BUILT INFORMATION UPON COMPLETION.
  2. THE CONTRACTOR SHALL TAKE PRECAUTION TO MAKE SURE WATER WILL DRAIN AND NOT POND.
  3. SPOT ELEVATIONS IN PARENTHESES ARE EXISTING ELEVATIONS.
  4. ALL SPOT ELEVATIONS ARE TOP OF SLAB UNLESS NOTED (TC = TOP OF CURB)

**NOT FOR CONSTRUCTION**







SUDAS	IOWADOT	FIGURE 4020.211	STANDARD ROAD PLAN	SW-201
SANITARY SEWER SERVICE STUB				

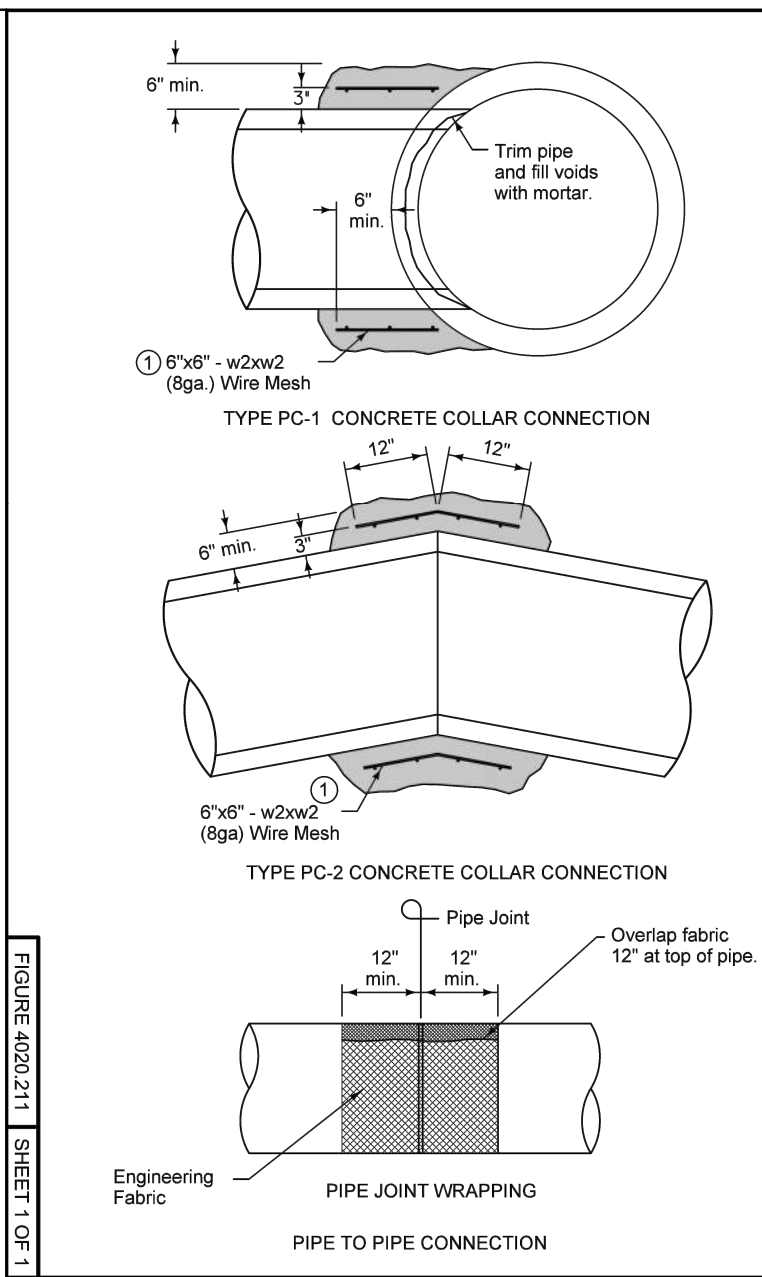
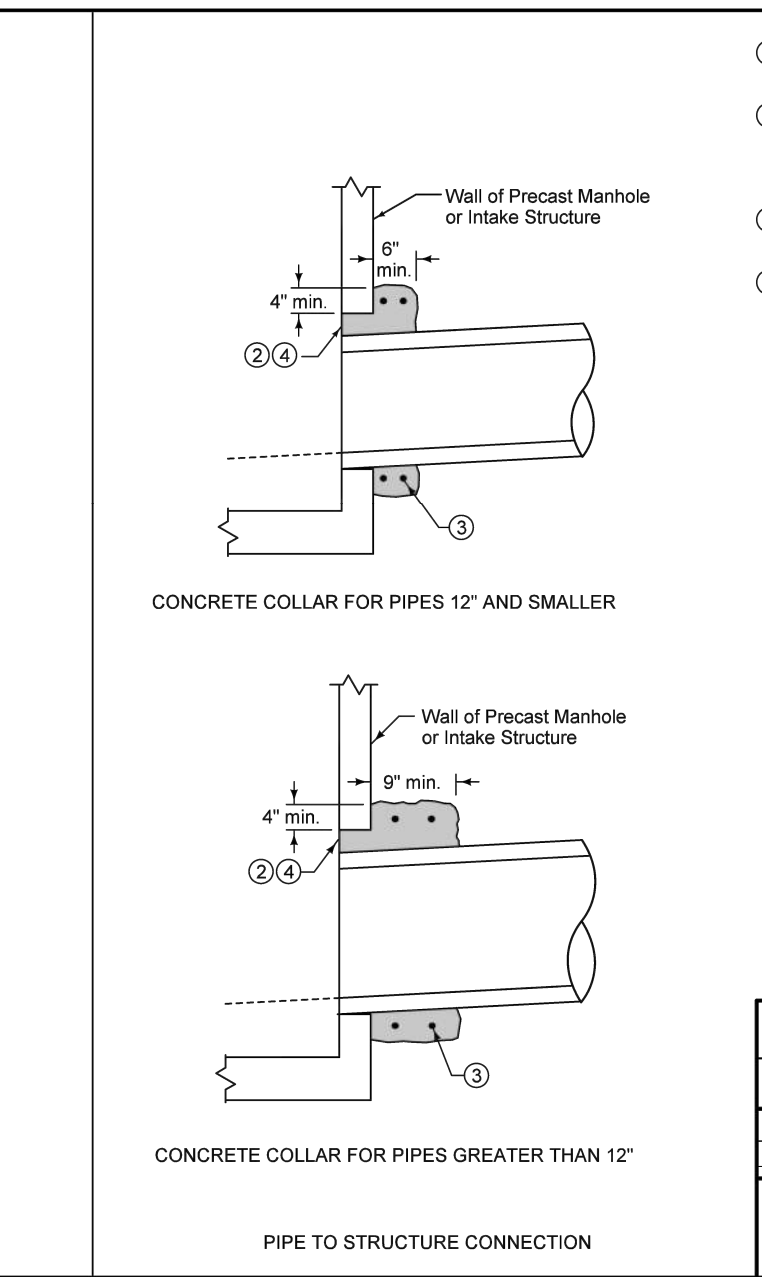


FIGURE 4020.211 SHEET 1 OF 1



- Lap ends of wire mesh a minimum of 6 inches.
- Concrete collar is required when annular space between the outside of the pipe and the wall of the structure is 2 inches or greater.
- Provide two #4 hoop bars in concrete collar. Lap bars a minimum of 6 inches.
- Trowel concrete flush with inside wall of structure.

SUDAS	IOWADOT	FIGURE 4020.211	STANDARD ROAD PLAN	SW-211
STORM SEWER PIPE CONNECTIONS				



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PROJECT NAME:  
REMODEL FOR:  
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CITY HALL  
100 N. FIRST STREET  
CARLISLE, IA 50047

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DRAWING ISSUE INFORMATION:  
ISSUE FOR : 95% CONSTRUCTION DOCS  
ISSUE DATE : 07.22.2020

MARK	DATE	DESCRIPTION

MANAGEMENT INFORMATION:  
PROJECT NO: 2020.104  
PRINCIPAL IN CHARGE: TIM OLSON PROJECT ARCHITECT: DANA PEDERSEN  
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SHEET TITLE:  
CIVIL DETAILS

SHEET NO.  
C104

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