

City of Carlisle, Iowa
Planning and Zoning Commission
Regular Meeting
April 15, 2024
7:00 P.M.
City Council Chambers – 100 N. 1st Street

Join Zoom Meeting - <https://zoom.us/j/9951930479> Meeting ID: 995 193 0479

One tap mobile – Call 1-312-626-6799, enter 995 193 0479# when prompted

We encourage all videoconferencing or calling in to let staff know who you are for the record and then mute your microphone or phone until you would like to speak to provide a better overall experience.

Call to order

Determine quorum

New Business and Action Items

1. Discussion and Possible Action on Site Plan for Parking Lot Specialties – South Building
2. Discussion and Possible Action on Plat of Survey For Parcel 2024-66
3. Discussion and Possible Action on Approving 2024 Submission Schedule

Administrator/Engineer/Commission Reports

Adjournment

**** PLEASE NOTE THAT THIS AGENDA MAY CHANGE UP TO 24 HOURS PRIOR TO
THE MEETING ****



April 8, 2024

Mr. Deven Markley, City Administrator
City of Carlisle
100 North 1st Street
Carlisle, IA 50047

Re: Parking Lot Specialties–South Building
Site Plan Review No. 2
City of Carlisle, Iowa (City)

Dear Mr. Markley:

Strand Associates, Inc.® (Strand) has completed the second review for the Parking Lot Specialties–Addition Site Plan Amendment dated March 25, 2024, and has the following comments and questions:

General Comments

1. The City reserves the right to field review site improvements from the previous two site plans to verify that the site generally conforms with the approved site plans. The City may withhold site plan approval and/or occupancy permits in the event that the site is non-compliant with the approved site plans. Any found discrepancies will be issued to Parking Lot Specialties (Developer) via a letter, with subsequent expectations for how to address said discrepancies. The Gateway Drive street repave was to be completed on April 5, 2024, but there may be other items. City staff or an assigned agent must observe the improvements for general compliance with the City Specifications.
2. The Fire Chief has yet to comment on the site plan. Additional comments may be forthcoming.
3. Safe Building has yet to comment on the site plan. Additional comments may be forthcoming.
4. Please clarify whether this addition will generate additional traffic at the site. Will there be the potential for additional maintenance on the gravel roadway in front of the original structure?
5. Please update the standard notes for the site plans (enclosed).
6. The Developer has stated there will be no mechanical units for the proposed building.

Sheet C2.1–Layout Plan

1. The hydrant and water main layout on this sheet does not match the other sheets. Please revise.

Sheet C3.2–Grading and Utility Plan

1. Roof drains shall discharge to a pipe, hard surface, or splash block. Please clarify how erosion is mitigated at the downspouts shown.
2. Will there be any servicing of vehicles in this building or other need for a sand/oil separator? Please clarify.

Mr. Deven Markley, City Administrator
City of Carlisle
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Elevation Plans

1. Please clarify that the proposed structure will look the same as the previous structures.
2. It is highly recommended that the City brings detailed building materials and color schemes to Planning & Zoning and the City Council for discussion.

Lighting Plans

1. Please clarify whether lighting is proposed for this site.

Please provide a response letter addressing all comments from this review letter and/or state what was modified to address Strand’s comments.

Site Plan Review Schedule

Planning and Zoning	April 15, 2024, at 7 P.M. at Carlisle City Hall
Council Meeting	April 22, 2024, at 6:30 P.M. at Carlisle City Hall

If you have any questions or concerns, please call 515-233-0000. Strand reserves the right to modify and/or add to these comments.

Sincerely,

STRAND ASSOCIATES, INC.®



Mitch S. Holtz, P.E.

Enclosure

c/enc.: Brad Kuehl, Bishop Engineering

City of Carlisle Standard Notes for Site Plans:

1. General Notes:

- a. All work shall be done in accordance with the current version of the Urban Standards Specifications for Public Improvements on the date of approval and the City of Carlisle Supplemental Specifications.
- b. A preconstruction meeting is required prior to the start of construction. The Contractor shall be responsible to coordinate this meeting with the City of Carlisle. General Contractor and major subs shall be present at the meeting. The City of Carlisle must be notified by all Contractors 48 hours prior to commencing work. Please contact the following Staff:
 - i) Tony Rhinehart – Public Works Superintendent - 515-249-2055
- c. All permits (IDNR, IDOT, Army Corp., etc.) shall be obtained prior to the start of construction.
- d. All Utility Contractors and/or Owners shall be responsible to provide the City of Carlisle with "As-Built" Drawings of all Public improvements where necessary.
- e. A signage list should be submitted by the contractor to the City of Carlisle. Public works will verify the list and order the signs from a list of approved vendors. The contractor will then be responsible for picking up the signs once delivered to public works and placing them in the locations identified on the signage plan. The cost of signs and related hardware will be billed to the contractor.
- f. All site lighting shall not spill onto adjacent properties or right-of-ways.
- g. We encourage you to contact the City of Carlisle with information on any significant work being done or potential issues as they generally get the first calls from neighbors with questions or concerns. Keeping the City informed of progress or significant issues can help you avoid potential conflicts or issues with surrounding property owners.
- h. A post-construction walk-thru is required by City Staff and/or the City's designated engineer. All engineering review fees for the walk-thru and follow-up correspondence must be paid for by the Owner prior to issuance of an occupancy permit.
- i. A Knox box is required by the fire department and shall be obtained by the Owner.

2. Sanitary Sewer Notes:

- a. The Contractor is required to place a temporary plug in the existing downstream sanitary sewer manhole prior to the start of construction. The plug shall be removed following approval of construction by the City of Carlisle.
- b. Sanitary gravity pipe material shall be PVC SDR 26 or Truss (8" to 15").
- c. Sanitary gravity service pipe material shall be PVC SDR 23.5 (4" to 6").
- d. All sanitary sewer manholes castings shall be sealed with interior chimney seals.
 - i) 3-piece castings shall have interior chimney seals.
 - ii) 2-piece castings shall have I&I Barrier (aka top hat) chimney seals, or equal. In addition, the minimum spacer ring size is 4-inches and the maximum number of spacer rings shall not exceed 12-inches.
- e. All sanitary sewer manholes shall have steps.
- f. All sanitary sewer manhole castings located within pavement shall be boxed out.
- g. Mandrel and pressure tests are required for all sanitary sewer lines (8" and above) prior to paving. In addition, all sanitary sewer lines shall be televised. The sewer system shall be flushed with water prior to televising.

3. Water Main Notes:

- a. All fire hydrants shall be American Flow Control-Waterous Pacer WB-67-250, Mueller Super Centurion 250 (3-way A-423), or Clow Medallion F-2545. All hydrants shall have the following: 6" MJ Shoe, 2-1/2" Hose Nozzle, 4-1/2" Steamer Nozzle, NST Threads, Pentagon Operating Nut, Chain on cap, open left, 5-1/2' bury, and factory painted red. The minimum spool pipe length from auxiliary valve to hydrant shoe shall be 2.0'.
- b. All hydrants shall be painted red.
- c. All hydrants will immediately be covered with a black plastic bag (or equivalent) once the hydrant is installed. The City of Carlisle will notify the Contractor when the bags can be removed.
- d. All hydrants shall have a 5" Storz nozzle.
- e. A tracer wire receptacle shall be installed at each hydrant (flush mount Valvco or approved equal). Tracer wire testing is required and must be witnessed by City Staff.
- f. Tracer wire shall be added to all water main & hydrant leads.
- g. All valves shall be resilient wedge gate valves.
- h. Water service shall be 1-inch minimum type K copper within Public Right of Way. Water services between curb stop and structure may be 1-inch type K copper or 1-inch PEX. Any PEX used must also have tracer wire attached.
- i. The Contractor is responsible for pressure testing, chlorination, and bacteria test.

4. Storm Sewer Notes:

- a. All storm sewer in the ROW shall be RCP, unless otherwise approved by the City.
- b. All flared end sections shall have footings and apron grates. The last 3 pipe sections and the flared end section on all culverts shall be tied. All storm sewer joints shall be wrapped with engineering fabric.
- c. The Contractor is responsible for repairing any field tile damaged during construction. The tile should be directed to public storm sewer if possible. The Contractor shall record the elevation and location of all tiles.
- d. All sump service lines shall have tracer wire.
- e. All rip-rap shall be underlain with engineering fabric as specified in the Urban Specifications.
- f. Contractor should develop and communicate their plan and timeline to the City for both installation and removal of all SWPP protection.

Updated 1/4/23

April 10, 2024

Parking Lot Specialties – SITE PLAN – 210106-1

Response to City Review Comments for Site Plan received 4/08/2024

General Comments

1. We understand the City reserves the right to review site improvements. A note has been added to the Utility Sheet (C4.1) for the patching of pavement around the existing manhole in Gateway Drive to be completed as part of the proposed site improvements with City staff observation
2. We understand the Fire Chief may have review comments
3. We understand Safe Building may have additional review comments. Previous review comments per email dated 10/10/2023 (attached) responded below:
 - a. Fire hydrant location has been added along the main access road near the proposed building
 - b. A proposed paved access has been provided with a width of 26-foot
 - c. We understand additional requirements may be included once the use / occupancy is finalized
 - d. We understand the gate shall be approved and comply with section 503.6 of the 2015 IFC. A Knox box has been called out
4. There may be additional traffic to this site. A note has been added to the site plan Layout Sheet (C2.1) for coordination of maintenance of the existing gravel roadway as needed
5. Standard Notes have been updated on the Cover Sheet (C0.1)
6. There are no external mechanical units proposed

Sheet C2.1 – Layout Plan

1. The utilities on the Layout Plan have been updated to match the other sheets

Sheet C3.2 – Grading & Utility Plan

1. Splash blocks have been called out for the roof drain discharge
2. There is no vehicle servicing planned in this building that would require a sand/oil separator

Building Elevations

1. The proposed structure is planned to look the same as the previous structure.
2. Pictures to be provided if materials are not available for the meetings

Lighting Plans

7. No site lighting is proposed

PARKING LOT SPECIALTIES - ADDITION

SITE PLAN AMENDMENT

C2.SHEET INDEX:

- C0.1 COVER SHEET
- C1.1 EXISTING CONDITIONS
- C2.1 LAYOUT PLAN
- C3.1 OVERALL GRADING PLAN
- C3.2 GRADING & UTILITY PLAN
- C5.1 LANDSCAPE PLAN
- C5.2 LANDSCAPE PLAN
- C7.1 SWPPP

PROPERTY DESCRIPTION:

(QUIT CLAIM DEED BOOK 2017, PAGE 05299)
 LOT 1, SCHRIER SUBDIVISION, AN OFFICIAL PLAT IN WARREN COUNTY, IOWA EXCEPT THAT PART THEREOF DEEDED TO THE STATE OF IOWA AS SHOWN IN WARRANTY DEED FILED IN BOOK 259 PAGE 510 IN THE OFFICE OF THE WARREN COUNTY RECORDER.

EXCEPT ROADS (BOOK 85, PAGE 285)
 SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENT OF RECORD

AREA: 489,124 SQUARE FEET, 11.23 ACRES

ADDRESS:

1054 150TH AVE
 CARLISLE, IOWA

OWNER:

BROWN'S ENTERPRISES LLC
 600 HOLCOMB AVE, SUITE A
 DES MOINES, IA 50313
 515-262-1155

PREPARED FOR:

PARKING LOT SPECIALTIES, LLC
 600 HOLCOMB AVE, SUITE A
 DES MOINES, IA 50313
 515-262-1155

ZONING:

INFORMATION OBTAINED FROM CITY OF CARLISLE WEB PAGE
 M-1 - LIGHT INDUSTRIAL DISTRICT
 FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF CARLISLE AT 515-989-3224

SETBACKS:

FRONT YARD 45 FEET
 REAR YARD 45 FEET/50 FEET ADJ. TO R DISTRICT
 SIDE YARD 10 FEET/50 FEET ADJ. TO R DISTRICT
 PARKING 10 FEET MIN. ADJ. TO R DISTRICT

PARKING REQUIREMENTS:

REQUIRED PARKING: 1 SPACE PER 200 S.F. OFFICE SPACE PLUS 1 PER OFFICE, AND 1 SPACE PER 1,000 S.F. FLOOR AREA (WAREHOUSE USE)
 1 PER OFFICE = 5 SPACES
 1,115 S.F. OFFICE SPACE: 1,115/200 = 6 SPACES
 8,005 S.F. WAREHOUSE SPACE: 8,005/1,000 = 8 SPACES
 6,000 S.F. WAREHOUSE SPACE: 6,000/1,000 = 6 SPACES
 7,200 S.F. WAREHOUSE SPACE: 7,200/1,000 = 8 SPACES
 TOTAL REQUIRED SPACES = 34 SPACES

EXISTING/PROPOSED PARKING = 35 SPACES INCL. 2 ADA SPACES

OPEN SPACE REQUIREMENTS:

TOTAL AREA 489,124 S.F. (100%)(11.23 AC)
 EXISTING OPEN SPACE ± 369,827 S.F. (75.6%)(8.49AC)
 PROPOSED OPEN SPACE 396,466 S.F. (81.1%)(9.10AC)

SITE CHARACTERISTICS:

LOT AREA 489,124 S.F. (100%)(11.23 AC)
 EXISTING IMPERVIOUS PRIOR TO DEMOLITION ±119,297 S.F. (24.4%)(2.74 AC)
 EXISTING BUILDINGS TO REMAIN 15,397 S.F. (3.1%)(0.35AC)
 EXISTING PAVING TO REMAIN ± 36,271 S.F. (7.4%)(0.83AC)

PROPOSED BUILDING 9,000 S.F. (1.8%)(0.21AC)
 PROPOSED PAVEMENT 31,990 S.F. (6.5%)(0.73AC)
 TOTAL IMPERVIOUS 92,658 S.F. (18.9%)(2.13AC)
 TOTAL IMPERVIOUS AREA HAS BEEN DECREASED BY 26,639 S.F. WITH NEW SITE IMPROVEMENTS

GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH 2019 SUDAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF CARLISLE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF CARLISLE.
- GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
- THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.

PAVING NOTES:

- THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SEEDED IN ACCORDANCE WITH CITY OF CARLISLE STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SUDAS.
- SUBGRADE PREPARATION AND PAVEMENTS WILL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUBBASE PRIOR TO ANY PAVEMENT BEING PLACED.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVELED PATH MUST HAVE A.D.A. DETECTABLE WARNING PANEL(S) AS PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

UTILITY NOTES:

- QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH AS-BUILT TOPO OF DETENTION POND & DETENTION POND STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING BISHOP ENGINEERING (DAVID BENTZ AT 515-276-0467) TO PERFORM SAID AS-BUILT SURVEY. IF DETENTION PONDS HAVE BEEN GRADED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT TOPO SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
- ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND APRON TRASH GUARD.
- ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
- SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2%. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATERMAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING.
- MANDREL AND PRESSURE TESTS SHALL BE REQUIRED FOR ALL PROPOSED SANITARY LINES. TELEVISION OF THE SANITARY SEWER SYSTEM SHALL BE COMPLETED PRIOR TO PAVING UNLESS OTHERWISE APPROVED BY JURISDICTION.
- WATERMANS SHALL BE C-900. SIZE OF WATERMAIN AS SHOWN ON PLANS.
- THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
- PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF CARLISLE.
- TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF CARLISLE WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- THE MINIMUM HYDRANT LEAD SHALL BE 3.5 FEET.

SIDEWALK NOTE:

THE OWNER OF THE LOT IS RESPONSIBLE FOR THE COSTS ASSOCIATED WITH PLACING FUTURE SIDEWALKS. THE SIDEWALKS SHALL BE INSTALLED WITHIN 3 MONTHS OF NOTIFICATION FROM THE CITY.

LIGHTING NOTE:

THE LIGHTING FIXTURES, INCLUDING WALLPACKS SHALL BE SODIUM HALOGEN OR METAL HALIDE, AND SHALL BE SHARP CUT OFF FIXTURES. MAXIMUM POLE HEIGHT SHALL BE 35 FEET PER THE CARLISLE CITY CODE SECTION 165.06.5.

SIGNAGE NOTE:

SIGN PERMIT IS A SEPARATE PERMIT, AND IS NOT INCLUDED WITH THIS SITE PLAN.

DUMPSTER NOTE:

DUMPSTER WILL BE LOCATED INSIDE THE BUILDING, AND ROLLED OUT FOR PICK-UP.

UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

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CITY OF CARLISLE STANDARD NOTES:

- GENERAL NOTES:**
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF CARLISLE SUPPLEMENTAL SPECIFICATIONS.
 - A PRECONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING WITH THE CITY OF CARLISLE. GENERAL CONTRACTOR AND MAJOR SUBS SHALL BE PRESENT AT THE MEETING. THE CITY OF CARLISLE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK. PLEASE CONTACT THE FOLLOWING STAFF:
 - TONY RHINEHART - PUBLIC WORKS SUPERINTENDENT - 515-249-2055
 - ALL PERMITS (IDNR, IDOT, ARMY CORP., ETC.) SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
 - ALL UTILITY CONTRACTORS AND/OR OWNERS SHALL BE RESPONSIBLE TO PROVIDE THE CITY OF CARLISLE WITH "AS-BUILT" DRAWINGS OF ALL PUBLIC IMPROVEMENTS WHERE NECESSARY.
 - A SIGNAGE LIST SHOULD BE SUBMITTED BY THE CONTRACTOR TO THE CITY OF CARLISLE. PUBLIC WORKS WILL VERIFY THE LIST AND ORDER THE SIGNS FROM A LIST OF APPROVED VENDORS. THE CONTRACTOR WILL THEN BE RESPONSIBLE FOR PICKING UP THE SIGNS ONCE DELIVERED TO PUBLIC WORKS AND PLACING THEM IN THE LOCATIONS IDENTIFIED ON THE SIGNAGE PLAN. THE COST OF SIGNS AND RELATED HARDWARE WILL BE BILLED TO THE CONTRACTOR.
 - ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS.
 - WE ENCOURAGE YOU TO CONTACT THE CITY OF CARLISLE WITH INFORMATION ON ANY SIGNIFICANT WORK BEING DONE OR POTENTIAL ISSUES AS THEY GENERALLY GET THE FIRST CALLS FROM NEIGHBORS WITH QUESTIONS OR CONCERNS. KEEPING THE CITY INFORMED OF PROGRESS OR SIGNIFICANT ISSUES CAN HELP YOU AVOID POTENTIAL CONFLICTS OR ISSUES WITH SURROUNDING PROPERTY OWNERS.
 - A POST-CONSTRUCTION WALK-THRU IS REQUIRED BY CITY STAFF AND/OR THE CITY'S DESIGNATED ENGINEER. ALL ENGINEERING REVIEW FEES FOR THE WALK-THRU AND FOLLOW-UP CORRESPONDENCE MUST BE PAID FOR BY THE OWNER PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT.
 - A KNOX BOX IS REQUIRED BY THE FIRE DEPARTMENT AND SHALL BE OBTAINED BY THE OWNER.

2. SANITARY SEWER NOTES:

- THE CONTRACTOR IS REQUIRED TO PLACE A TEMPORARY PLUG IN THE EXISTING DOWNSTREAM SANITARY SEWER MANHOLE PRIOR TO THE START OF CONSTRUCTION. THE PLUG SHALL BE REMOVED FOLLOWING APPROVAL OF CONSTRUCTION BY THE CITY OF CARLISLE.
- SANITARY GRAVITY PIPE MATERIAL SHALL BE PVC SDR 26 OR TRUSS (8" TO 15").
- SANITARY GRAVITY SERVICE PIPE MATERIAL SHALL BE PVC SDR 23.5 (4" TO 6").
- ALL SANITARY SEWER MANHOLES CASTINGS SHALL BE SEALED WITH INTERIOR CHIMNEY SEALS.
 - 3-PIECE CASTINGS SHALL HAVE INTERIOR CHIMNEY SEALS.
 - 2-PIECE CASTINGS SHALL HAVE I&I BARRIER (AKA TOP HAT) CHIMNEY SEALS, OR EQUAL.

IN ADDITION, THE MINIMUM SPACER RING SIZE IS 4-INCHES AND THE MAXIMUM NUMBER OF SPACER RINGS SHALL NOT EXCEED 12-INCHES.
- ALL SANITARY SEWER MANHOLES SHALL HAVE STEPS.
- ALL SANITARY SEWER MANHOLE CASTINGS LOCATED WITHIN PAVEMENT SHALL BE BOXED OUT.
- MANDREL AND PRESSURE TESTS ARE REQUIRED FOR ALL SANITARY SEWER LINES (8" AND ABOVE) PRIOR TO PAVING. IN ADDITION, ALL SANITARY SEWER LINES SHALL BE TELEVIEWED. THE SEWER SYSTEM SHALL BE FLUSHED WITH WATER PRIOR TO TELEVISIONING.

3. WATER MAIN NOTES:

- ALL FIRE HYDRANTS SHALL BE AMERICAN FLOW CONTROL-WATEROUS PACER WB-67-250, MUELLER SUPER CENTURION 250 (3-WAY A-423), OR CLOW MEDALLION F-2545. ALL HYDRANTS SHALL HAVE THE FOLLOWING: 6" MJ SHOE, 2-1/2" STEAMER NOZZLE, NST THREADS, PENTAGON OPERATING NUT, CHAIN ON CAP, OPEN LEFT, 5-1/2" BURY, AND FACTORY PAINTED RED. THE MINIMUM SPOOL PIPE LENGTH FROM AUXILIARY VALVE TO HYDRANT SHOE SHALL BE 2.0'.
- ALL HYDRANTS SHALL BE PAINTED RED.
- ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF CARLISLE WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- ALL HYDRANTS SHALL HAVE A 5" STORZ NOZZLE.
- A TRACER WIRE RECEPACLE SHALL BE INSTALLED AT EACH HYDRANT (FLUSH MOUNT VALVCO OR APPROVED EQUAL). TRACER WIRE TESTING IS REQUIRED AND MUST BE WITNESSED BY CITY STAFF. TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN & HYDRANT LEADS.
- ALL VALVES SHALL BE RESILIENT WEDGE GATE VALVES.
- WATER SERVICE SHALL BE 1-INCH MINIMUM TYPE K COPPER WITHIN PUBLIC RIGHT OF WAY. WATER SERVICES BETWEEN CURB STOP AND STRUCTURE MAY BE 1-INCH TYPE K COPPER OR 1-INCH PEK. ANY PEK USED MUST ALSO HAVE TRACER WIRE ATTACHED.
- THE CONTRACTOR IS RESPONSIBLE FOR PRESSURE TESTING, CHLORINATION, AND BACTERIA TEST.

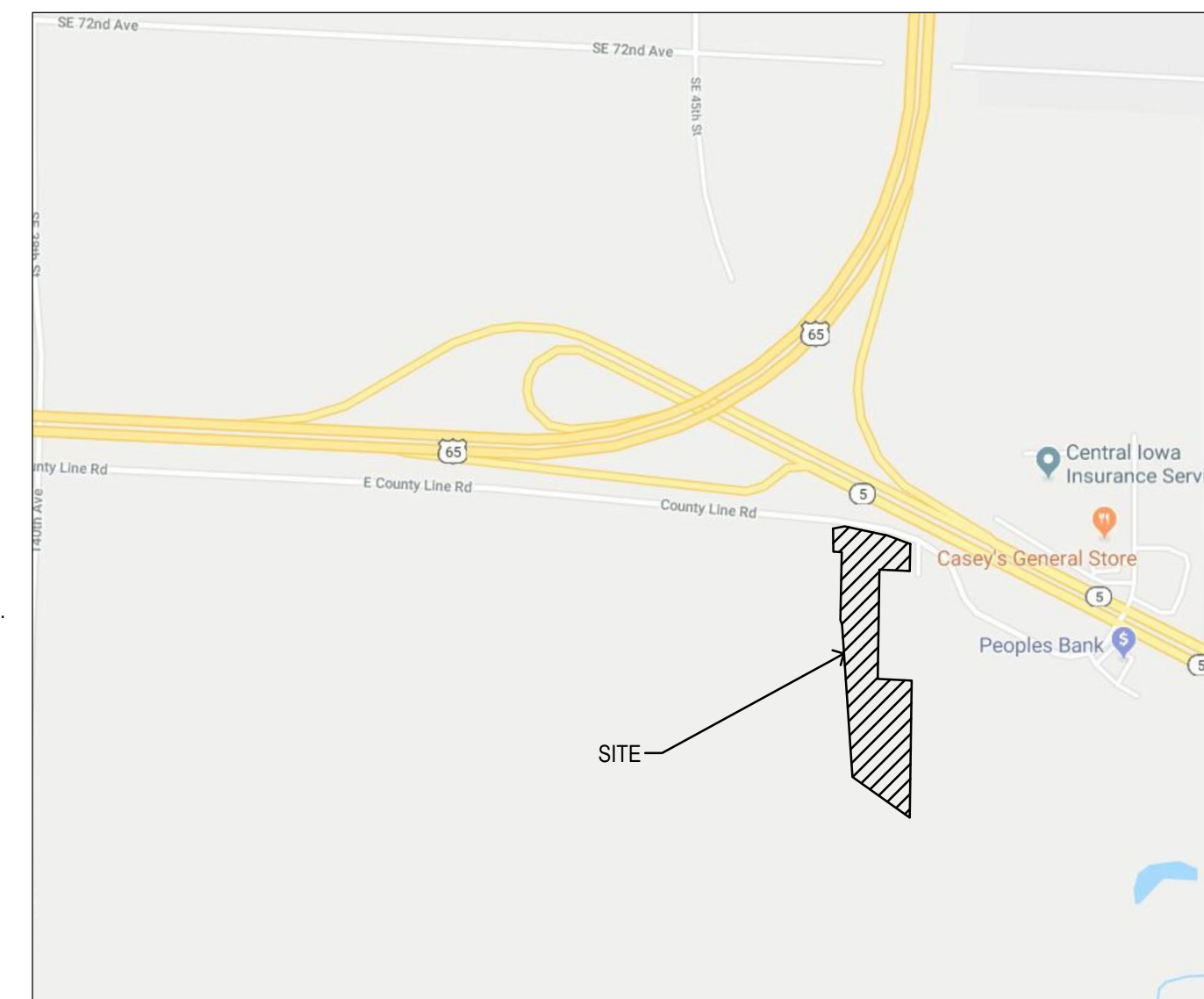
4. STORM SEWER NOTES:

- ALL STORM SEWER IN THE ROW SHALL BE RCP, UNLESS OTHERWISE APPROVED BY THE CITY.
- ALL FLARED END SECTIONS SHALL HAVE FOOTINGS AND APRON GRATES. THE LAST 3 PIPE SECTIONS AND THE FLARED END SECTION ON ALL CULVERTS SHALL BE TIED. ALL STORM SEWER JOINTS SHALL BE WRAPPED WITH ENGINEERING FABRIC.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY FIELD TILE DAMAGED DURING CONSTRUCTION. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES.
- ALL SUMP SERVICE LINES SHALL HAVE TRACER WIRE.
- ALL RIP-RAP SHALL BE UNDERLAIN WITH ENGINEERING FABRIC AS SPECIFIED IN THE URBAN SPECIFICATIONS.
- CONTRACTOR SHOULD DEVELOP AND COMMUNICATE THEIR PLAN AND TIMELINE TO THE CITY FOR BOTH INSTALLATION AND REMOVAL OF ALL SWPP PROTECTION.

UPDATED 1/4/2023

FEMA NOTE:

FEMA ZONES AS INDICATED ON MAP NO. 19181C0069G. THE FLOOD ELEVATION AT THE WEST PROPERTY LINE OF THE SITE IS 785.60, PER THE FEMA FLOOD MAP. BUILDINGS AND ASSOCIATED FILL FOR OUTDOOR STORAGE COVERED BY IDNR FLOOD PLAIN DEVELOPMENT PERMIT 2021-1448FP-01



VICINITY MAP
 SCALE: 1" = 1,000'

ABBREVIATIONS:

AC ACRES
 ASPH ASPHALT
 BK BOOK
 CONC CONCRETE
 D DEEDED DISTANCE
 EX EXISTING
 ENCL ENCLOSURE
 FF FINISHED FLOOR
 FL FLOW LINE
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 MH MANHOLE
 OPC ORANGE PLASTIC CAP
 P PLATTED DISTANCE
 PG PAGE
 POB POINT OF BEGINNING
 POC POINT OF COMMENCEMENT
 PRA PREVIOUSLY RECORDED AS
 PUE PUBLIC UTILITY EASEMENT
 ROW RIGHT OF WAY
 RPC RED PLASTIC CAP
 SF SQUARE FEET
 SAN SANITARY
 TYP TYPICAL
 YPC YELLOW PLASTIC CAP
 N NORTH
 S SOUTH
 E EAST
 W WEST

LEGEND:

- SAN — SANITARY SEWER
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- W — WATER LINE
- G — GAS LINE
- UE — UNDERGROUND ELECTRIC
- OIE — OVERHEAD ELECTRIC
- TELE — TELEPHONE LINE
- F/O — FIBER OPTIC
- CATV — CABLE TV
- ⊙ STORM MANHOLE
- ▣ CURB INTAKE
- ⊕ SURFACE INTAKE
- ⊕ FLARED END SECTION
- ⊕ SANITARY MANHOLE
- ⊕ CLEANOUT
- ⊕ FIRE HYDRANT
- ⊕ SPRINKLER
- ⊕ IRRIGATION CONTROL VALVE
- ⊕ WATER MANHOLE
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- ⊕ TRAFFIC SIGNAL MANHOLE
- ⊕ FIBER OPTIC RISER
- ⊕ FIBER OPTIC FAULT
- ⊕ CABLE TV RISER
- SIGN
- BOLLARD
- ⊕ DENOTES NUMBER OF PARKING STALLS
- PROPERTY CORNER - FOUND AS NOTED
- PROPERTY CORNER- PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID #14775
- ⊕ SECTION CORNER - FOUND AS NOTED

SITE CONTROL AND BENCHMARKS:

BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS
 DATUM = NAD 83, IOWA SOUTH
 BENCHMARK DATUM = NAVD88

CP # 9000
 NORTHING = 550010.00
 EASTING = 1634696.19
 ELEVATION = 788.51
 DESCRIPTION: NAIL SET IN CONCRETE, CENTRALLY BETWEEN THE THREE BUILDINGS.

TEMPORARY BENCHMARK - OFFSITE
 ELEVATION = 791.33
 DESCRIPTION: ARROW ON HYDRANT LOCATED APPROXIMATELY 90 FEET NORTHEASTERLY FROM NORTHEAST CORNER OF PROPERTY, ALONG NORTH ROW OF COUNTY LINE ROAD, NEAR THE END OF THE PAVED STREET

Bishop Engineering
 "Planning Your Successful Development"

3501 104th Street
 Des Moines, Iowa 50322-3825
 Phone: (515)276-0467 Fax: (515)276-0217

Civil Engineering & Land Surveying
 Established 1959

PARKING LOT SPECIALTIES - SOUTH BUILDING
 CARLISLE, IOWA

COVER SHEET

REFERENCE NUMBER:
 190178
 210106

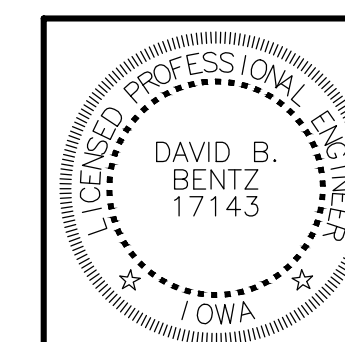
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 BK

CHECKED BY:
 DB

REVISION DATE:
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 07/31/2023 CHECK
 09/20/2023 CITY
 03/25/2024 CITY
 04/10/2024 CITY

PROJECT NUMBER:
 210106-1

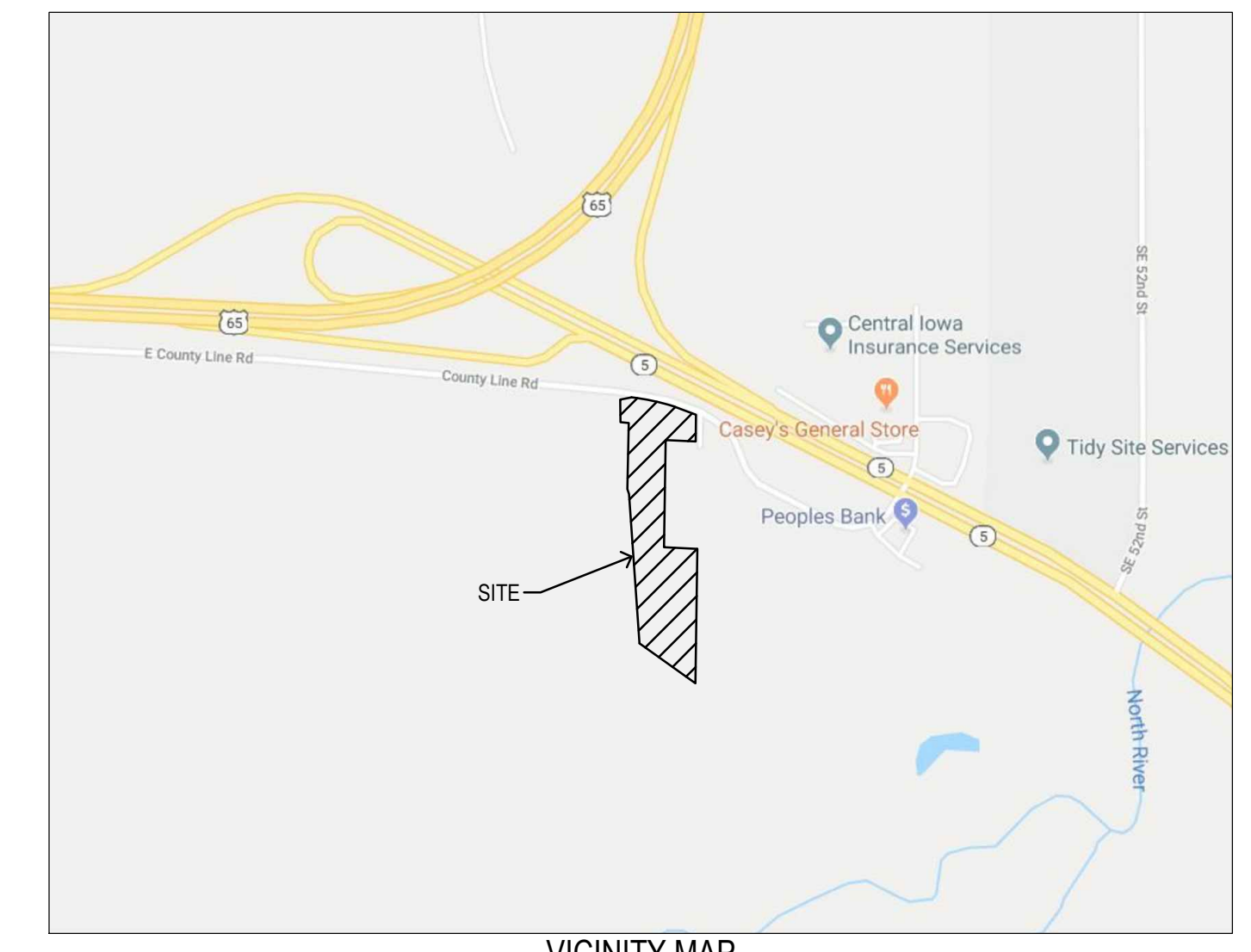
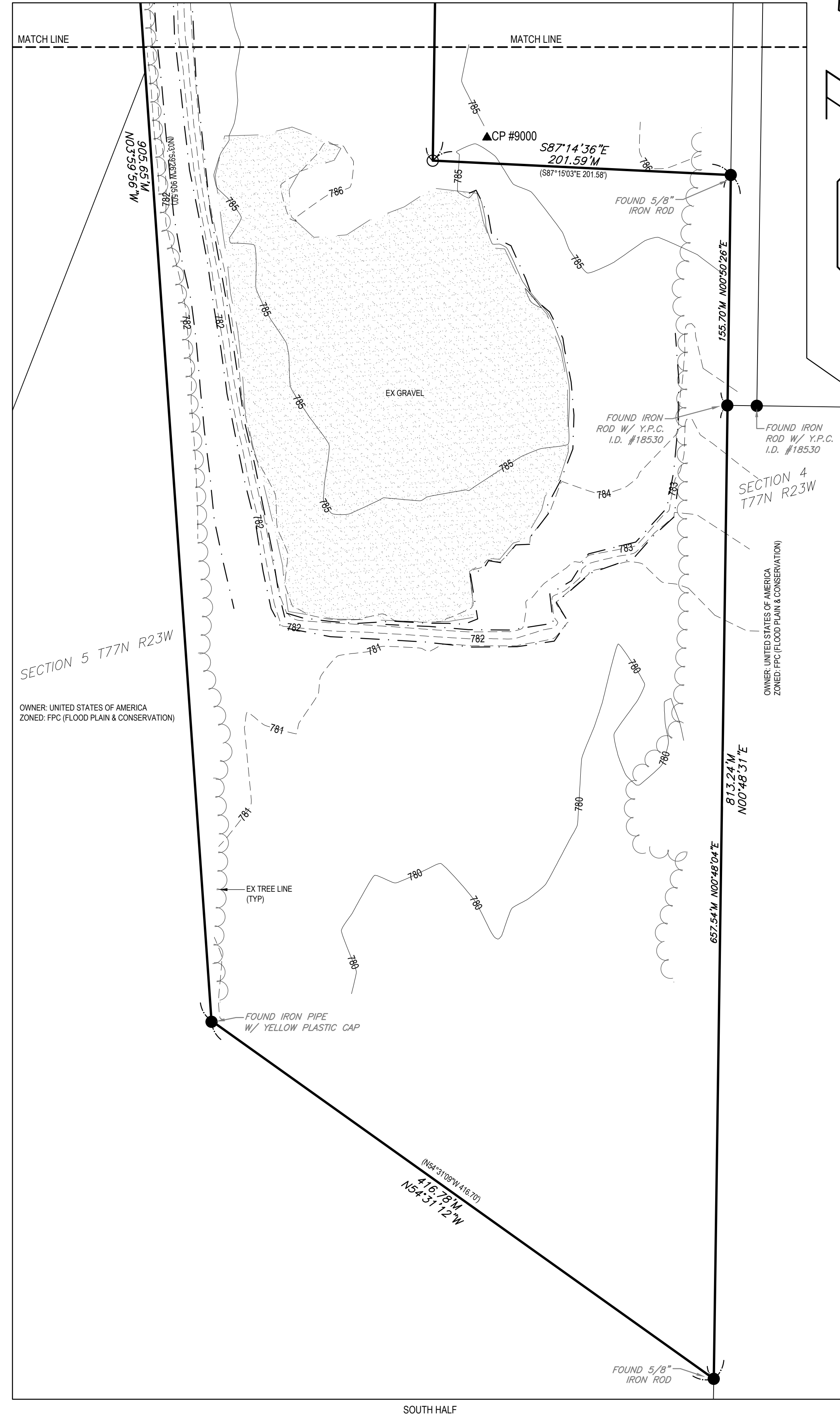
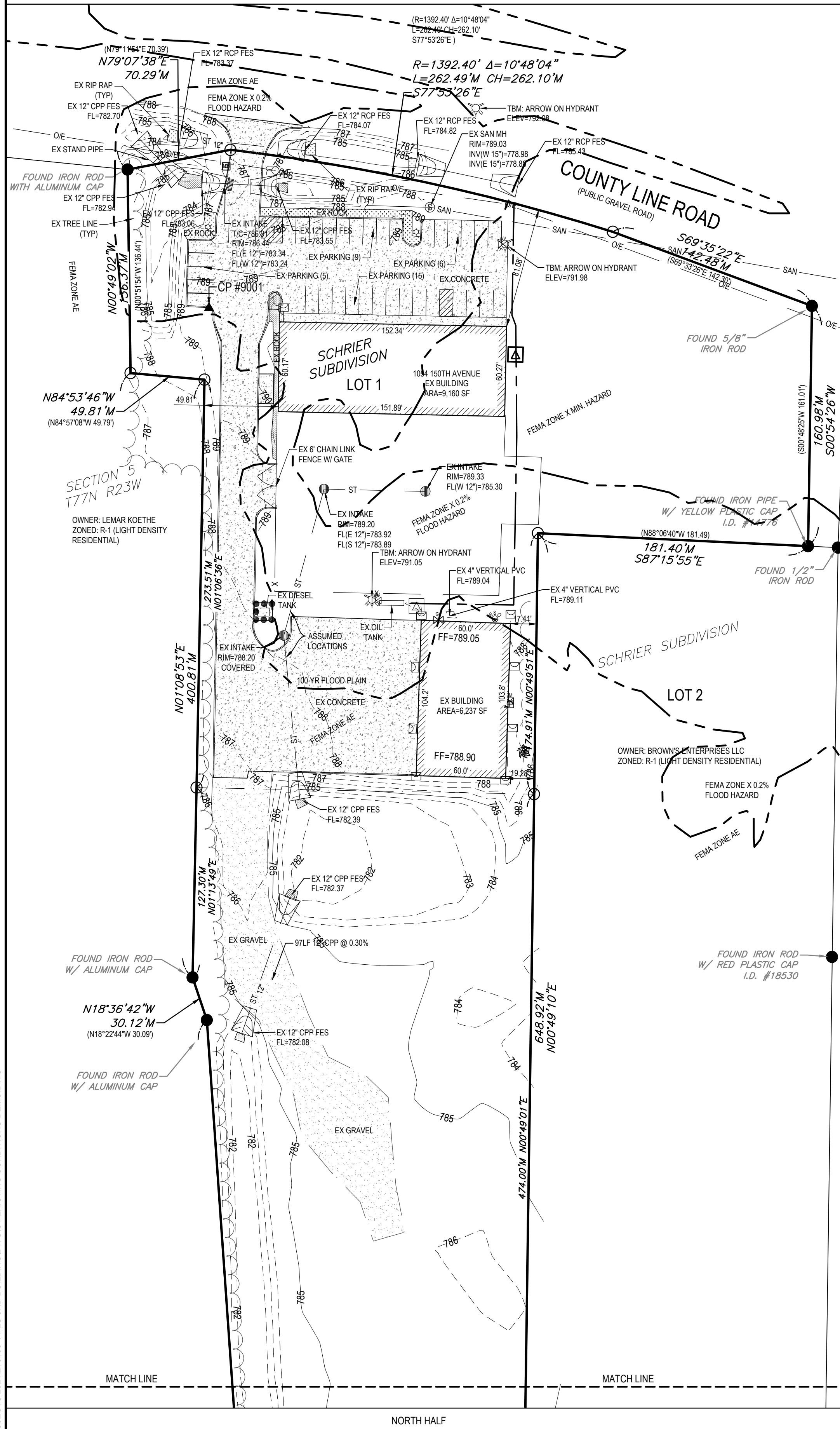
SHEET NUMBER:
 C0.1



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.
 SIGNED: DAVID B. BENTZ, PE. 17143 DATE: _____
 LICENSE RENEWAL DATE: DEC. 31, 2025
 PAGES OR SHEETS COVERED BY THIS SEAL: ALL SHEETS



PARKING LOT SPECIALTIES EXISTING CONDITIONS



PROPERTY DESCRIPTION:
QUIT CLAIM DEED BOOK 2017, PAGE 05299
LOT 1, SCHRIER SUBDIVISION, AN OFFICIAL PLAT IN WARREN COUNTY, IOWA EXCEPT THAT PART THEREOF DEEDED TO THE STATE OF IOWA AS SHOWN IN WARRANTY DEED FILED IN BOOK 259 PAGE 510 IN THE OFFICE OF THE WARREN COUNTY RECORDER.

SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENT OF RECORD

AREA: 489,236 SQUARE FEET, 11.23 ACRES

ADDRESS:
1054 150TH AVE
CARLISLE, IOWA

OWNER:
BROWN'S ENTERPRISES LLC
600 HOLCOMB AVE. SUITE A
DES MOINES, IA 50313
515-262-1155

PREPARED FOR:
PARKING LOT SPECIALTIES, LLC
600 HOLCOMB AVE. SUITE A
DES MOINES, IA 50313
515-262-1155

ZONING:
R-1 - LIGHT DENSITY RESIDENTIAL
FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF CARLISLE AT 515-989-3224

SITE CONTROL AND BENCHMARKS:
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS
DATUM = NAD 83, IOWA SOUTH
BENCHMARK DATUM = NAVD88

CP # 9000, 5/8" IRON ROD WITH PINK PLASTIC CAP
NORTHING = 549239.58
EASTING = 1634767.37
ELEVATION = 785.05
DESCRIPTION: LOCATED N.E. OF S.W. CORNER, LOT 2

CP # 9001, CUT "X" ON CURB
NORTHING = 550,023.80
EASTING = 1634519.46
ELEVATION = 789.76
DESCRIPTION: 48.17' N.W. OF N.W. BUILDING CORNER OF THE NORTH BUILDING

LEGEND:

- SAN - SANITARY SEWER
- ST - STORM SEWER
- W - WATER LINE
- G - GAS LINE
- U/E - UNDERGROUND ELECTRIC
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- ⑦ - DENOTES NUMBER OF PARKING STALLS
- - PROPERTY CORNER - FOUND AS NOTED
- - PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP I.D. # 14775 OR AS NOTED
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- ▲ - SITE CONTROL POINT - MONUMENT AS NOTED

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DES MOINES, IA 50313
515-262-1155

PREPARED FOR:
PARKING LOT SPECIALTIES, LLC
600 HOLCOMB AVE. SUITE A
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ZONING:
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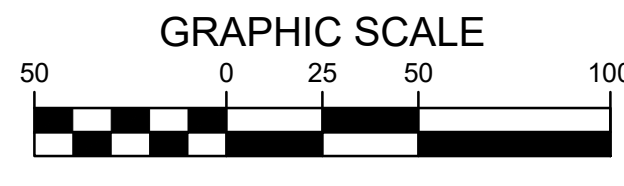
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UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.



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FEMA NOTE:
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**PARKING LOT SPECIALTIES - SOUTH BUILDING
CARLISLE, IOWA**

REFERENCE NUMBER:
**190178
210106**

DRAWN BY:
BK

CHECKED BY:
DB

REVISION DATE:
05/25/2023 CHECK
07/31/2023 CHECK
09/20/2023 CITY
03/25/2024 CITY
04/10/2024 CITY

PROJECT NUMBER:
210106-1

SHEET NUMBER:
C1.1

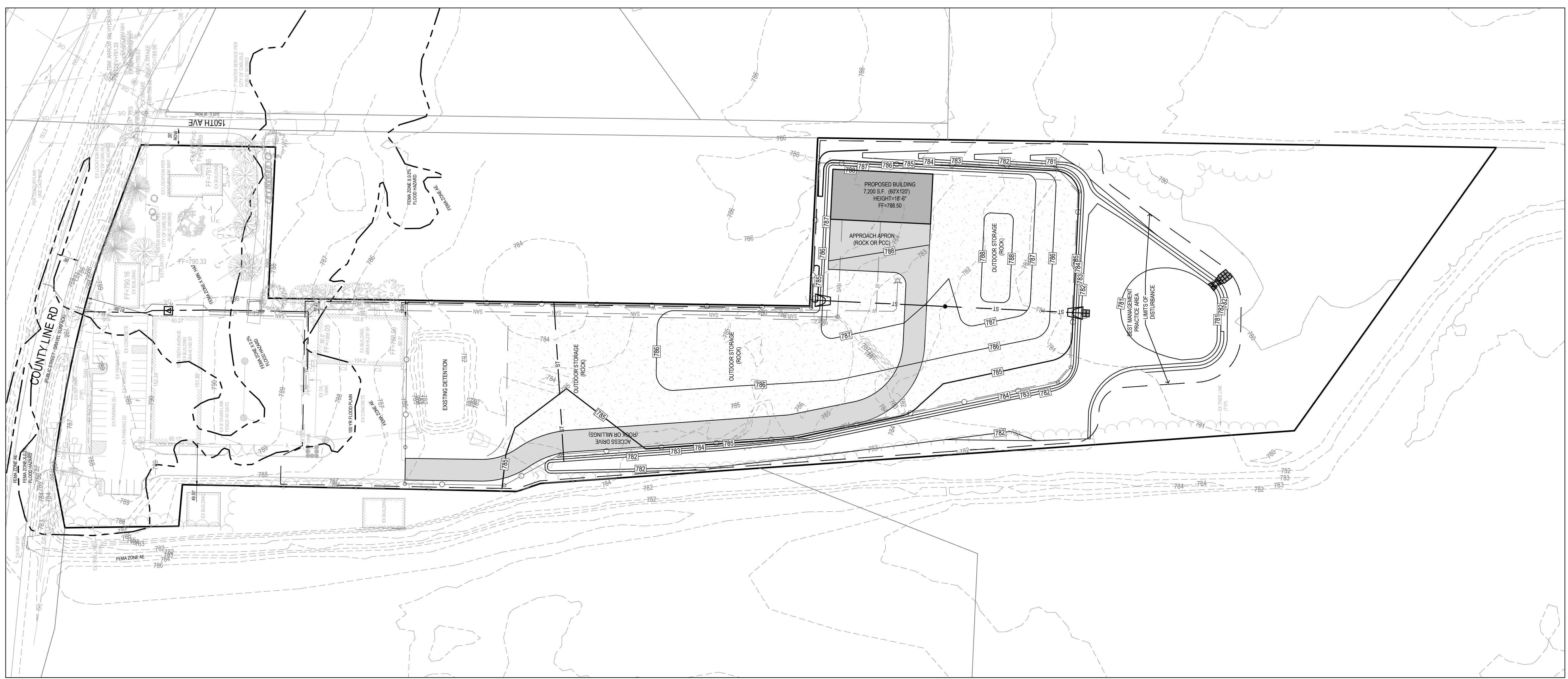
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EXISTING CONDITIONS

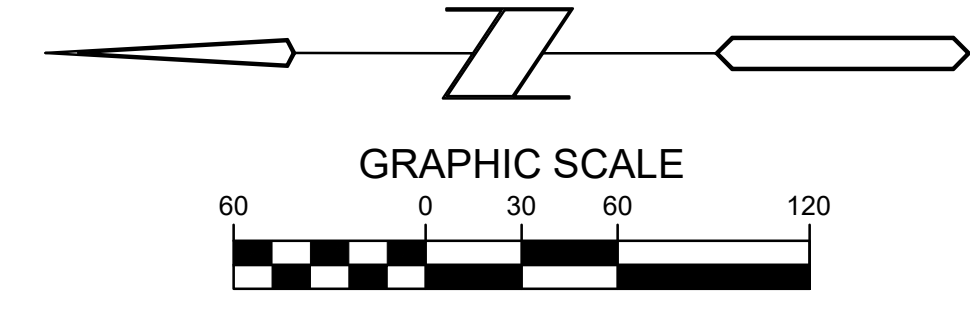
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GRADING LEGEND:

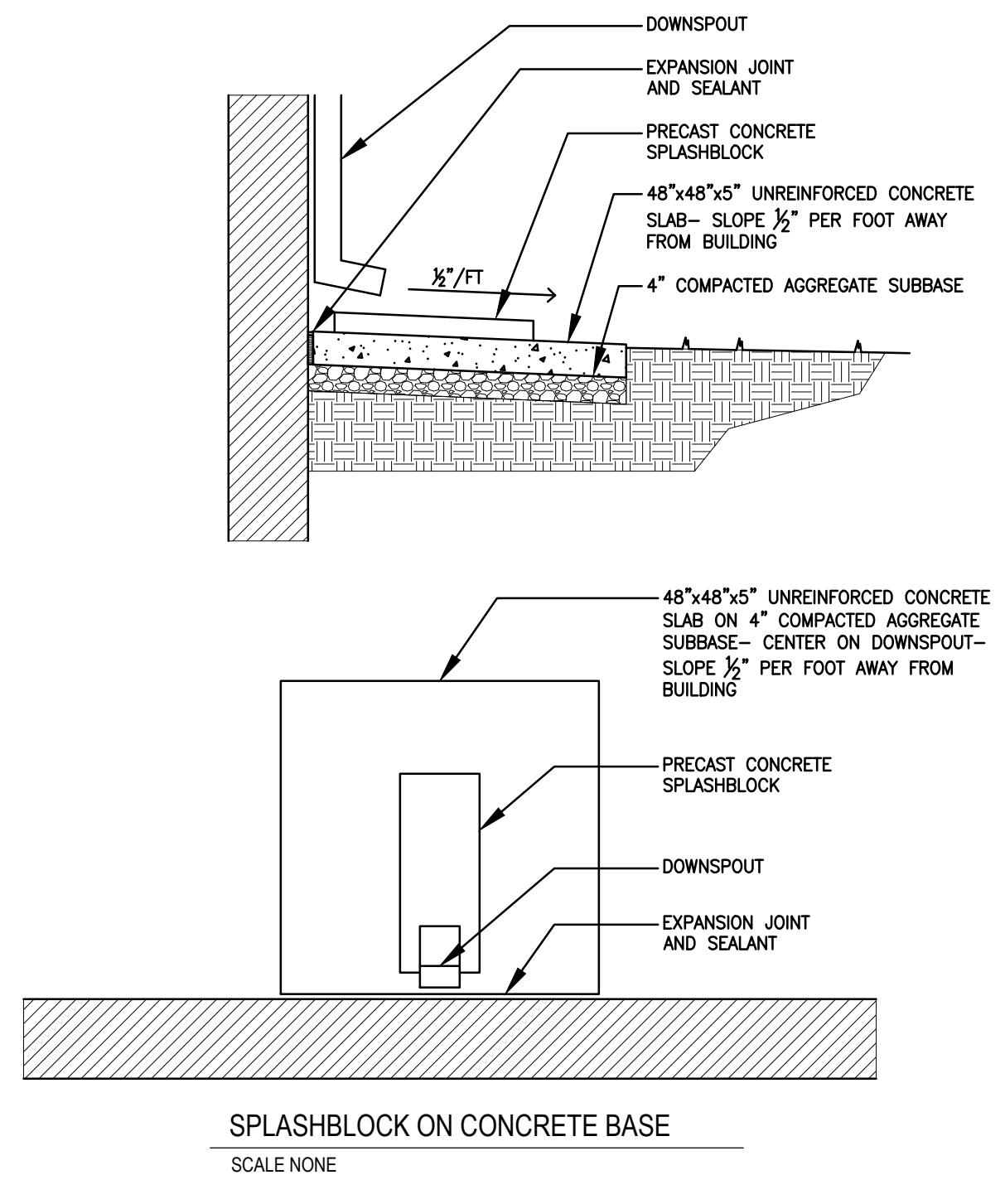
- EXISTING CONTOUR ——— 150 ———
- PROPOSED CONTOUR ——— 150 ———
- FINISHED GROUND ELEVATION ● 150.50
- TOP OF CURB ELEVATION ● 150.50/C
- GUTTER ELEVATION ● 150.50/G
- TOP OF WALL ELEVATION ● 150.50/TW
- BOTTOM OF WALL ELEVATION ● 150.50/BW
- EDGE OF WALK ELEVATION ● 150.50/EW
- TOP OF STAIR ELEVATION ● 150.50/TS
- BOTTOM OF STAIR ELEVATION ● 150.50/BS

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL



FLOOD ZONE NOTE:

1. THE ORIGINAL FEMA FLOOD ZONE LINE HAS BEEN SHOWN
2. A LOMR F WAS APPROVED IN APRIL 22, 2020 REMOVING THE PROPOSED BUILDING ADDITION DESCRIBED AS PARCEL A FROM THE FLOOD AREA AT ELEVATION 786.00
3. BUILDINGS AND ASSOCIATED FILL FOR OUTDOOR STORAGE COVERED BY IDNR FLOOD PLAIN DEVELOPMENT PERMIT 2021-1448FP-01



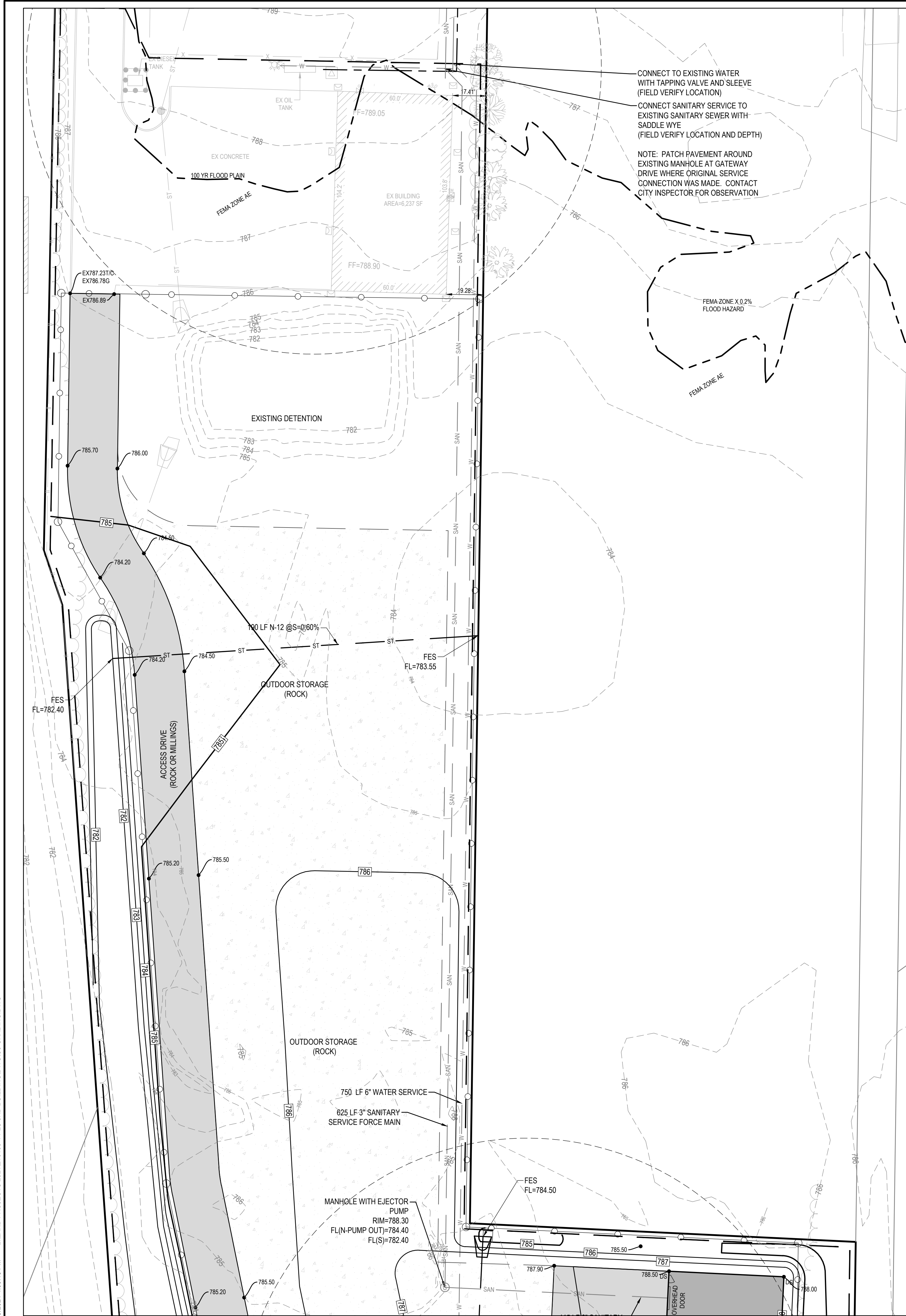
SPLASHBLOCK ON CONCRETE BASE
SCALE NONE

**PARKING LOT SPECIALTIES - SOUTH BUILDING
CARLISLE, IOWA
OVERALL GRADING PLAN**

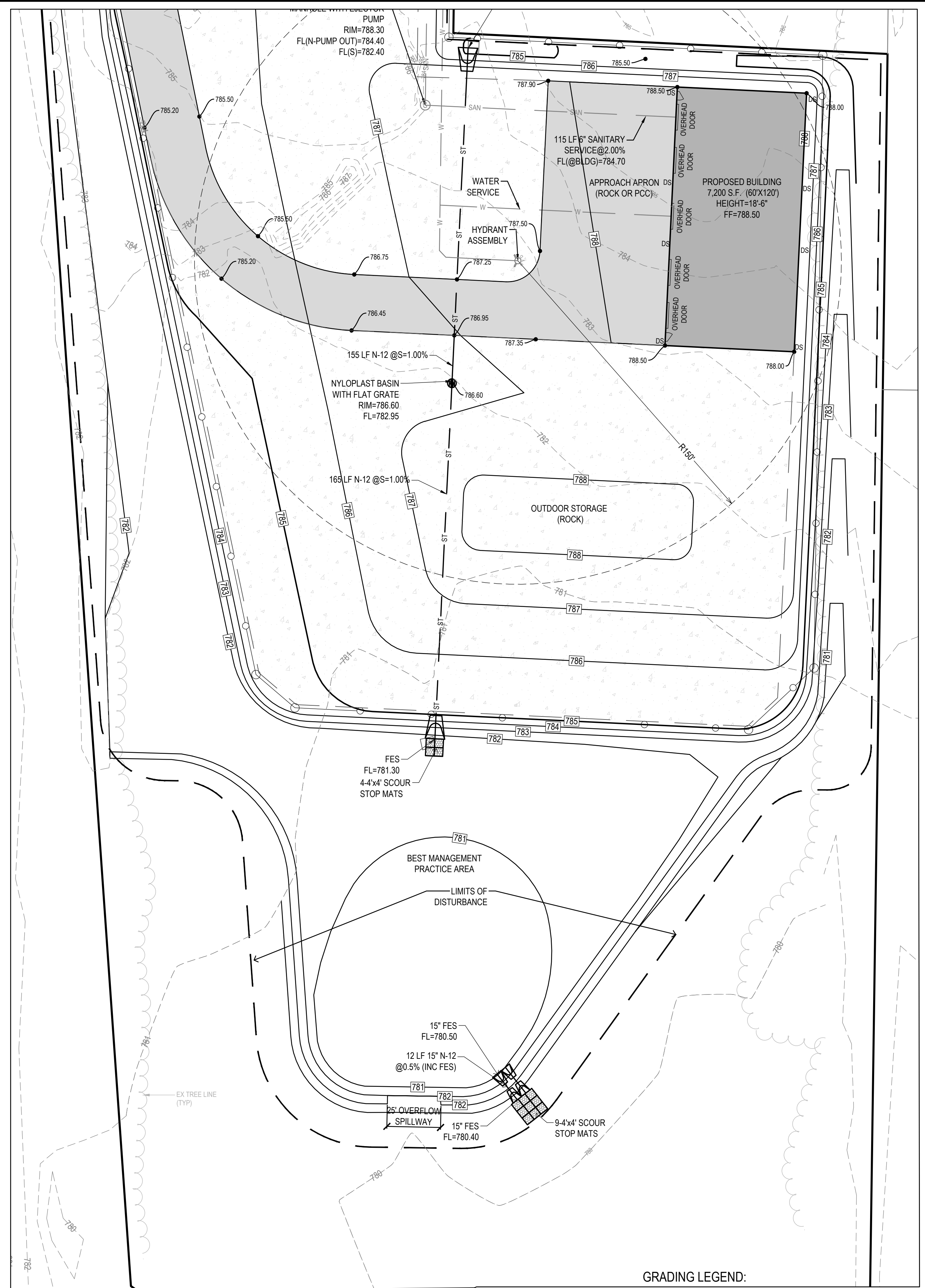
REFERENCE NUMBER: 190178 210106
DRAWN BY: BK
CHECKED BY: DB
REVISION DATE: 05/25/2023 CHECK 07/31/2023 CHECK 09/20/2023 CITY 03/25/2024 CITY 04/10/2024 CITY
PROJECT NUMBER: 210106-1
SHEET NUMBER: C3.1

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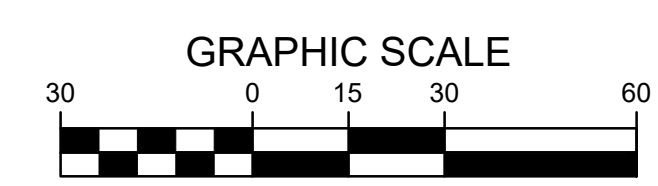
3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515)276-0467 Fax: (515)276-0217
Civil Engineering & Land Surveying Established 1959



CONNECT TO EXISTING WATER WITH TAPPING VALVE AND SLEEVE (FIELD VERIFY LOCATION)
 CONNECT SANITARY SERVICE TO EXISTING SANITARY SEWER WITH SADDLE WYE (FIELD VERIFY LOCATION AND DEPTH)
 NOTE: PATCH PAVEMENT AROUND EXISTING MANHOLE AT GATEWAY DRIVE WHERE ORIGINAL SERVICE CONNECTION WAS MADE. CONTACT CITY INSPECTOR FOR OBSERVATION



UTILITY NOTES:
 1. ALL STORM SEWER FLARED END SECTIONS SHALL HAVE FOOTINGS AND APRON GUARDS.
 2. DS = DOWNSPOUT LOCATION (TYP.) DISCHARGE TO CONCRETE SPLASH BLOCK. REFER TO DETAIL ON C3.1



TOPSOIL NOTES:
 1. STRIP AND STOCKPILE THE TOP 8\"/>

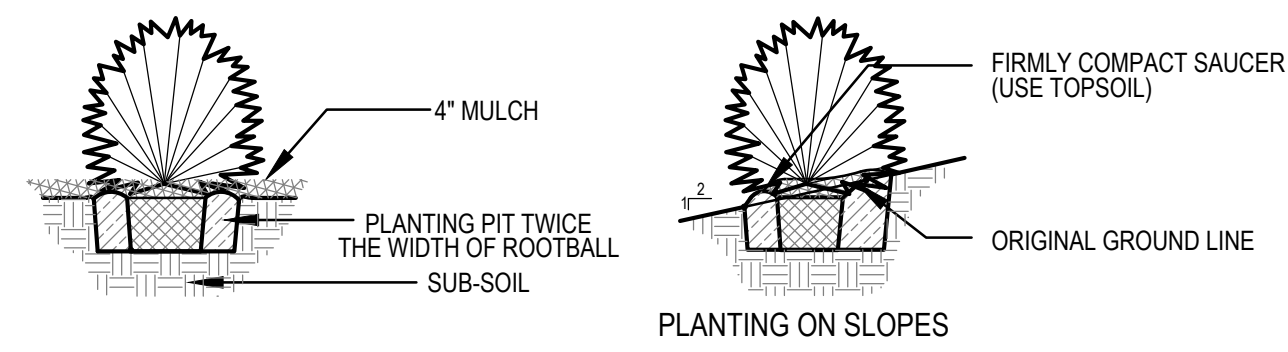
GRADING LEGEND:

EXISTING CONTOUR	---	150
PROPOSED CONTOUR	---	150
FINISHED GROUND ELEVATION	●	150.50
TOP OF CURB ELEVATION	●	150.50TC
GUTTER ELEVATION	●	150.50G
TOP OF WALL ELEVATION	●	150.50TW
BOTTOM OF WALL ELEVATION	●	150.50BW
EDGE OF WALK ELEVATION	●	150.50EW
TOP OF STAIR ELEVATION	●	150.50TS
BOTTOM OF STAIR ELEVATION	●	150.50BS

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.

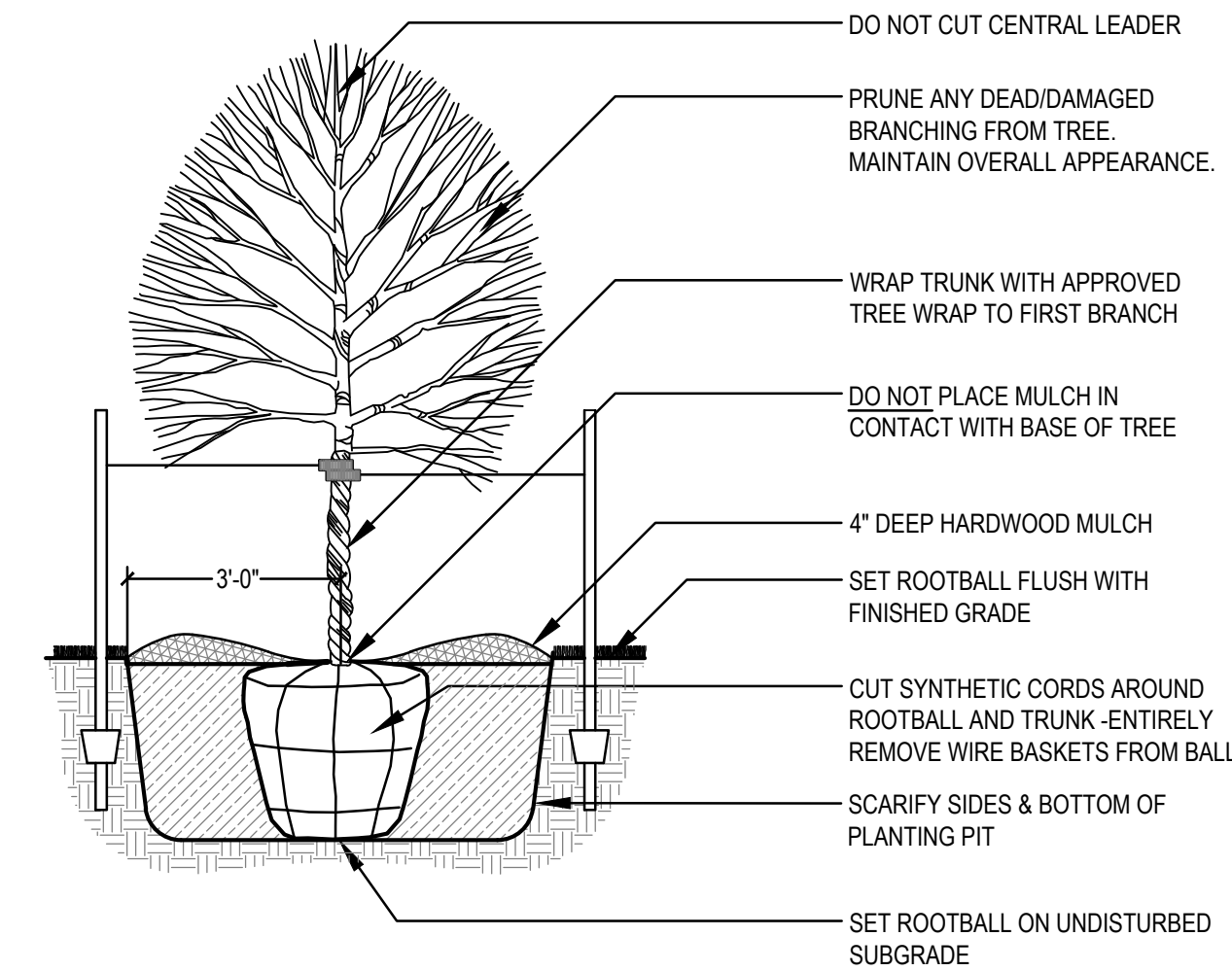
PARKING LOT SPECIALTIES - SOUTH BUILDING
CARLISLE, IOWA
GRADING & UTILITY PLAN

REFERENCE NUMBER: 190178 210106
DRAWN BY: BK
CHECKED BY: DB
REVISION DATE: 05/25/2023 CHECK 07/31/2023 CHECK 09/20/2023 CITY 03/25/2024 CITY 04/10/2024 CITY
PROJECT NUMBER: 210106-1
SHEET NUMBER: C3.2



SHRUB PLANTING (TYP)

SCALE: NOT TO SCALE



DECIDUOUS TREE PLANTING (TYP.)

SCALE: NOT TO SCALE

STAKING ORIENTATION

NORTH NORTH

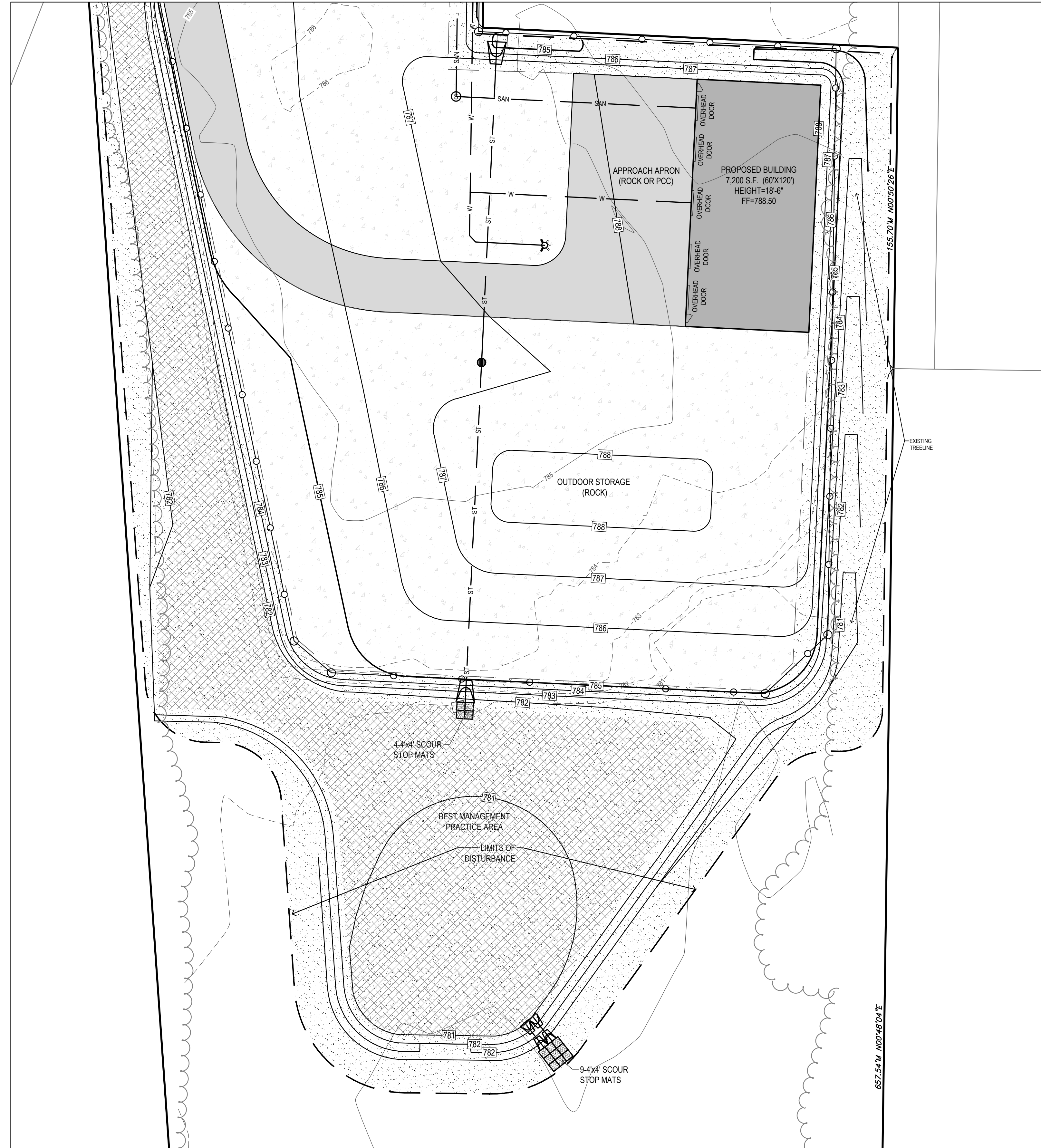
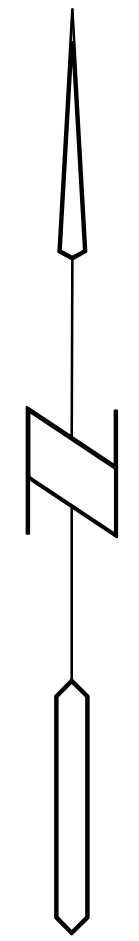
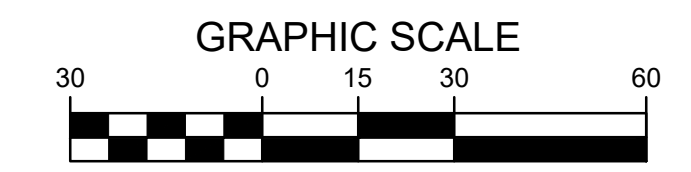
2 STAKES - 3" CAL. & LESS
3 STAKES - GREATER THAN 3" CAL.

USE HOSE GUARDS AROUND TRUNK ON STAKING WIRE. TIE WIRE TO STEEL POSTS PLACED OUTSIDE PLANT PIT.

LEAVE STAKES IN PLACE NO MORE THAN 1 YEAR FROM INSTALLATION. CONTRACTOR RESPONSIBLE FOR REMOVAL.

SEED TYPE 1: SEED TYPE TO BE "SUPER TURF II" SUPPLIED BY UNITED SEEDS (OR APPROVED EQUAL). INSTALL SEED WITH MECHANICAL DRILL TYPE SEEDER AT RATE SPECIFIED BY MANUFACTURER FOR NEW SEEDING. SEEDING DATES, SITE PREPARATION, SEEDING INSTALLATION, WATER REQUIREMENTS, FERTILIZING, AND MOWING PER UNITED SEEDS TECH BULLETIN FOR SEED TYPE. ALL SEEDED AREAS TO BE HYDRO-MULCHED.

SEED TYPE 2: SUDAS "WETLAND SEED MIX" SUPPLIED BY UNITED SEEDS (OR APPROVED EQUAL). INSTALL SEED WITH MECHANICAL DRILL TYPE SEEDER AT RATE SPECIFIED BY MANUFACTURER FOR NEW SEEDING. SEEDING DATES, SITE PREPARATION, SEEDING INSTALLATION, WATER REQUIREMENTS, FERTILIZING, AND MOWING PER UNITED SEEDS TECH BULLETIN FOR SEED TYPE. ALL SEEDED AREAS TO BE HYDRO-MULCHED.



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**PARKING LOT SPECIALTIES - SOUTH BUILDING
CARLISLE, IOWA**

LANDSCAPE PLAN

REFERENCE NUMBER:
190178
210106

DRAWN BY:
BK

CHECKED BY:
DB

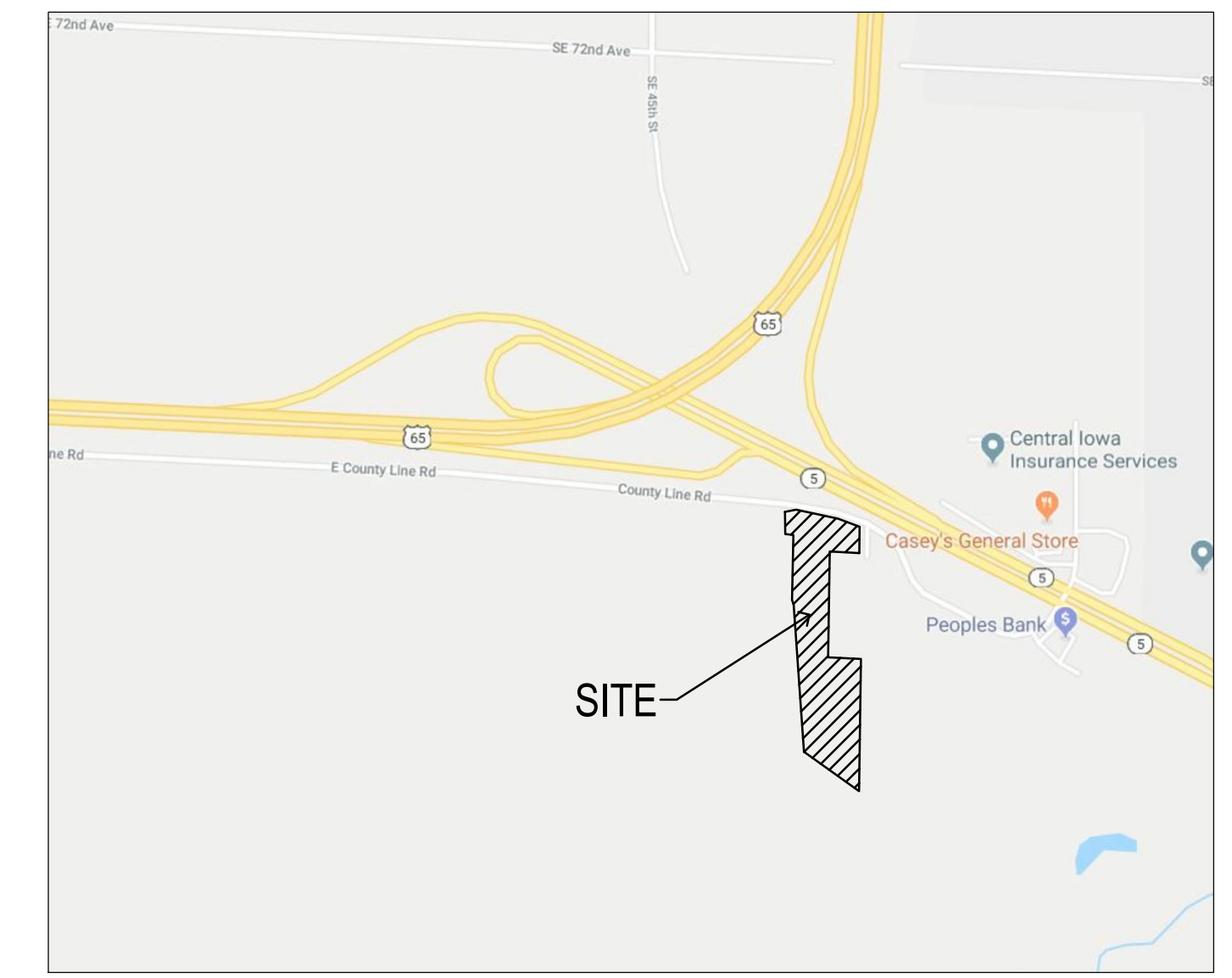
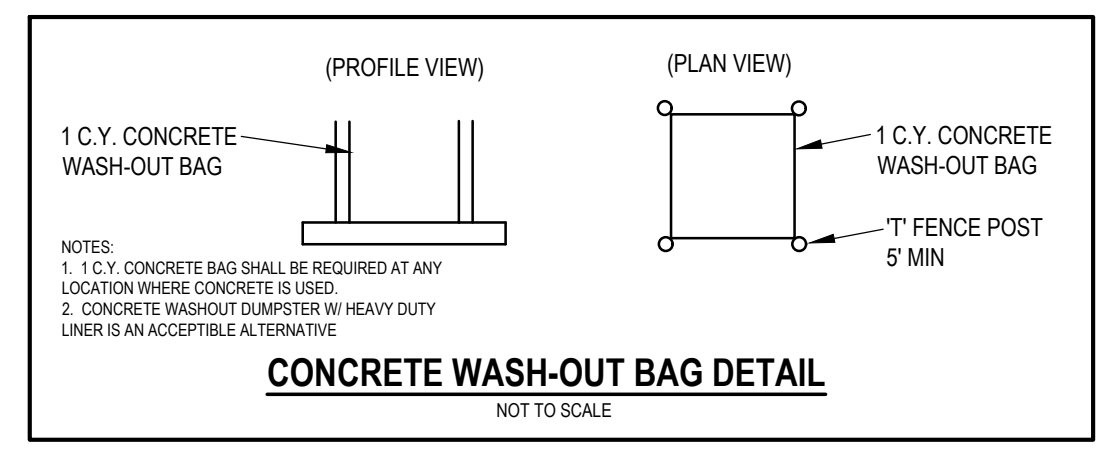
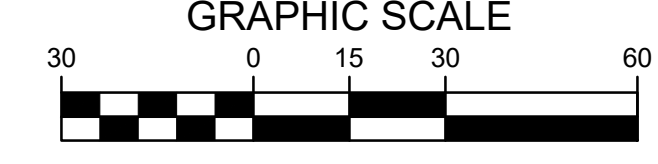
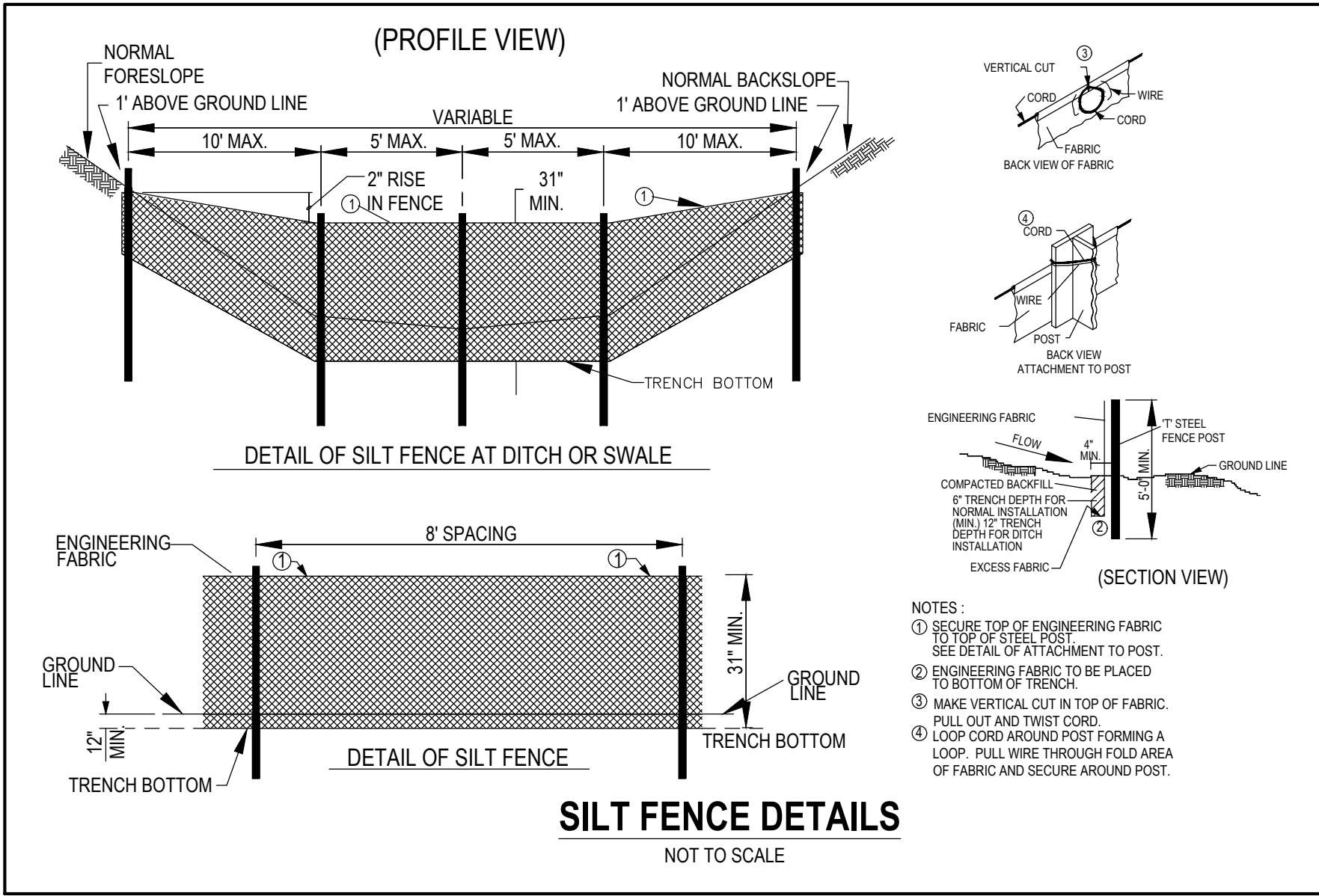
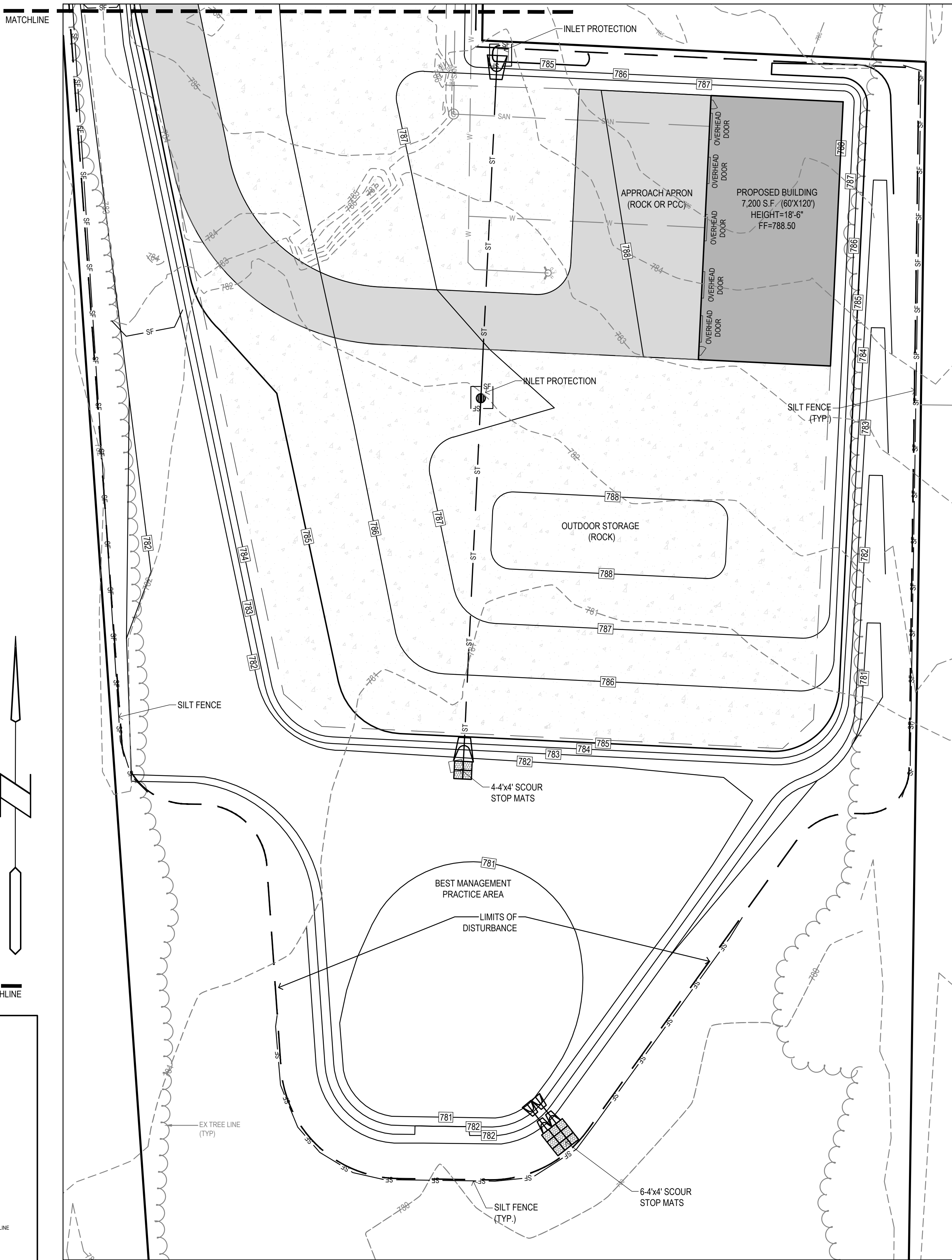
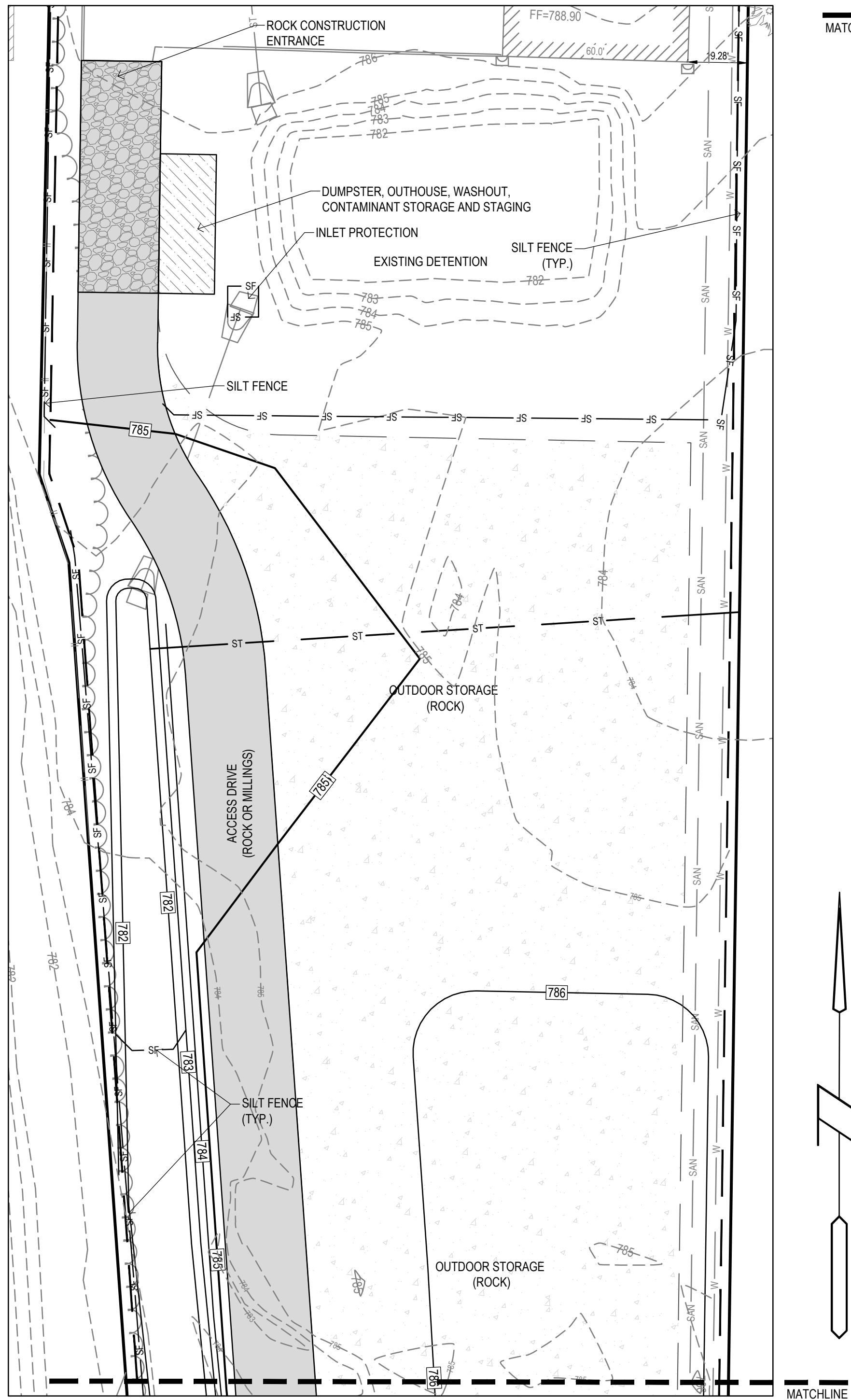
REVISION DATE:
05/25/2023 CHECK
07/31/2023 CHECK
09/20/2023 CITY
03/25/2024 CITY
04/10/2024 CITY

PROJECT NUMBER:
210106-1

SHEET NUMBER:

C5.2

STORM WATER POLLUTION PREVENTION PLAN



PROPERTY DESCRIPTION:
QUIT CLAIM DEED BOOK 2017, PAGE 05299
LOT 1, SCHRIER SUBDIVISION, AN OFFICIAL PLAT IN WARREN COUNTY, IOWA EXCEPT THAT PART THEREOF DEEDED TO THE STATE OF IOWA AS SHOWN IN WARRANTY DEED FILED IN BOOK 259 PAGE 510 IN THE OFFICE OF THE WARREN COUNTY RECORDER.

BENCHMARK:
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS
DATUM = NAD 83, IOWA SOUTH
BENCHMARK DATUM = NAVD88

CP # 9000
NORTHING = 550010.00
EASTING = 1634696.19
ELEVATION = 788.51
DESCRIPTION: NAIL SET IN CONCRETE, CENTRALLY BETWEEN THE THREE BUILDINGS.

TEMPORARY BENCHMARK - OFFSITE
ELEVATION = 791.33
DESCRIPTION: ARROW ON HYDRANT LOCATED APPROXIMATELY 90 FEET NORTHEASTERLY FROM NORTHEAST CORNER OF PROPERTY, ALONG NORTH ROW OF COUNTY LINE ROAD, NEAR THE END OF THE PAVED STREET.

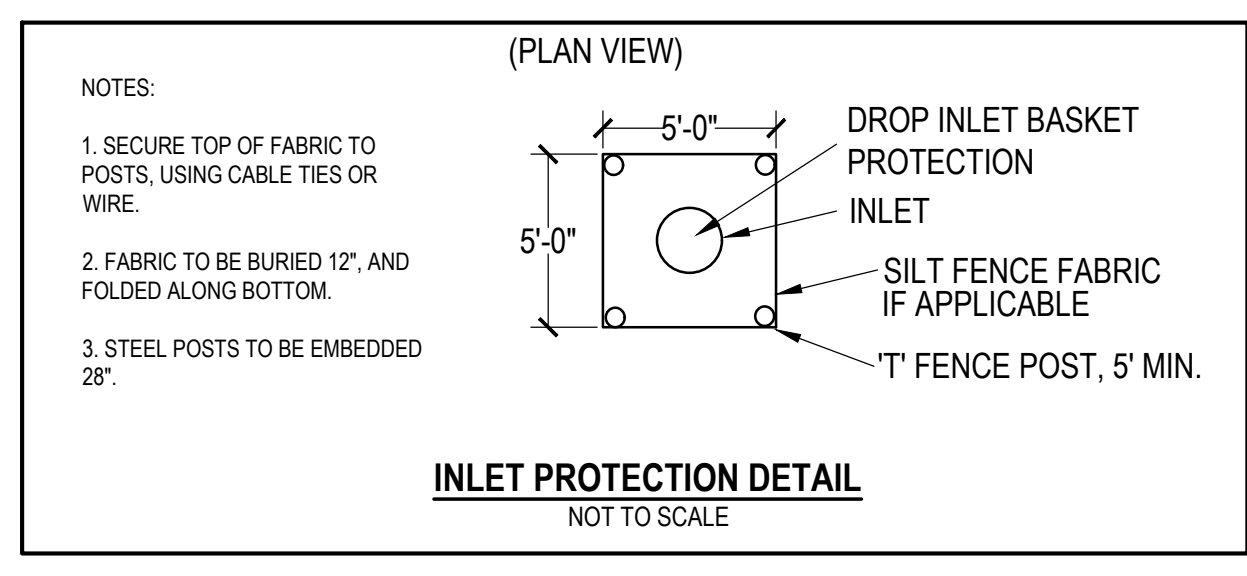
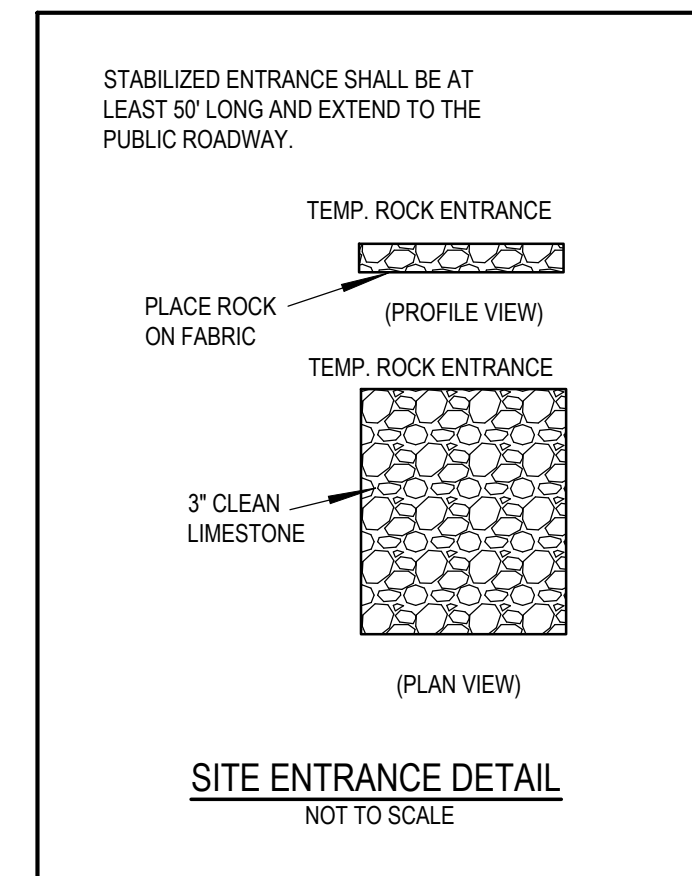
ADDRESS:
1054 150TH AVE
CARLISLE, IOWA

OWNER:
BROWN'S ENTERPRISES LLC
600 HOLCOMB AVE, SUITE A
DES MOINES, IA 50313
515-262-1155

SITE AREA:
489,124 S.F. (11.23 AC)

EROSION CONTROL NOTES:
1. SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES. ADDITIONAL DETAILS AND NOTE. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
2. SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
3. INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
4. INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
5. INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
6. OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

EROSION CONTROL REMOVAL NOTES:
1. AFTER FINAL STABILIZATION HAS OCCURRED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.



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Established 1959

PARKING LOT SPECIALTIES - SOUTH BUILDING
CARLISLE, IOWA

SWPP

REFERENCE NUMBER:
190178
210106

DRAWN BY:
BK

CHECKED BY:
DB

REVISION DATE:
05/25/2023 CHECK
07/31/2023 CHECK
09/20/2023 CITY
03/25/2024 CITY
04/10/2024 CITY

PROJECT NUMBER:
210106-1

SHEET NUMBER:
C7.1

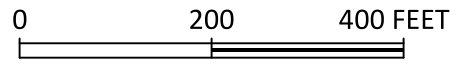
PLAT OF SURVEY

SURVEY LEGEND

- () - Recorded Distance/Bearing
- 20' Road Easement
- . - . - Section line

Monuments

- ▲ - Found section corner
- - Set 1/2" red plastic capped rebar, #17532
- - Set 12" spike w/ brass washer, #17532



BASIS OF BEARINGS IS IA RCS ZONE 8

INDEX LEGEND

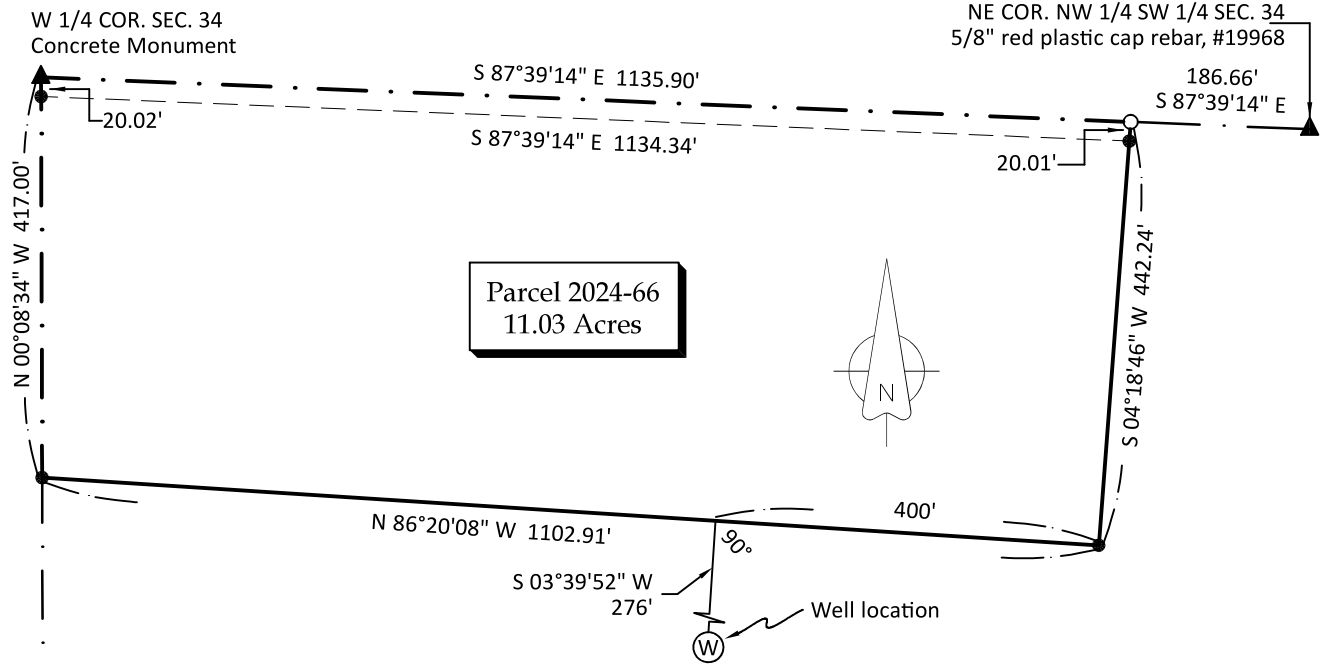
LOCATION: Part of the NW 1/4 of SW 1/4 of Section 34
T 78N, R 23W, City of Carlisle, Polk County, Iowa

OWNER: Goodhue Realty Company
PO Box 1000, Carlisle IA 50047

SURVEY FOR: (Owner)

ASSOCIATED DOCUMENT: Warranty Deed: Book 7933 Page 879

PREPARED BY: CHAD A. DANIELS
DANIELS LAND SURVEYING, 22470 18TH LN, NEW VIRGINIA IA 50210
RETURN TO: 515-577-2583



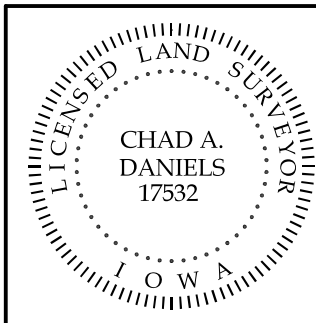
DESCRIPTION - PARCEL 2024-66:

That part of the Northwest Quarter of the Southwest Quarter of Section 34, Township 78 North, Range 23 West of the 5th P.M., City of Carlisle, Polk County, Iowa, described as follows;
Beginning at the West Quarter corner of said Section 34; thence South 87 degrees 39 minutes 14 seconds East, 1135.90 feet along the North line of said Northwest Quarter of the Southwest Quarter;
thence South 04 degrees 18 minutes 46 seconds West, 442.24 feet; thence North 86 degrees 20 minutes 08 seconds West, 1102.91 feet to the West line of said Northwest Quarter of the Southwest Quarter;
thence North 00 degrees 08 minutes 34 seconds West, 417.00 feet to the Point of Beginning, having an area of 11.03 Acres including 0.52 Acres of Road Easement.

N 00°08'34" W 914.44'

N 00°08'34" W 417.00'

SW COR. NW 1/4
SW 1/4 SEC. 34



I hereby certify that this surveying document was prepared by me and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

Signed 28 MAR 24
Chad A. Daniels Date

Iowa License No. 17532
My license renewal date is 12-31-2024
Page No.'s covered by this seal: 1



City of Carlisle Planning & Zoning Commission

2024 Meeting & Submittal Schedule (with applicable Council Dates)

P&Z Commission Meetings begin at 7:00 p.m.
in the Council Chambers, Carlisle City Hall, 100 N. 1st St.

Month	Submission Date (5:00 p.m.)	P&Z Packet Target	P&Z Meeting	Council Date No Public Hearing	Council Date Public Hearing (rezonings)
January	12/25/2023	01/11/2024	01/15/2024	01/22/2024	02/12/2024
February	01/29/2024	02/15/2024	02/19/2024	02/26/2024	03/11/2024
March	02/26/2024	03/14/2024	03/18/2024	03/25/2024	04/08/2024
April	03/25/2024	04/11/2024	04/15/2024	04/22/2024	05/13/2024
May	04/29/2024	05/16/2024	05/20/2024	05/27/2024	06/10/2024
June	05/27/2024	06/13/2024	06/17/2024	06/24/2024	07/08/2024
July	06/24/2024	07/11/2024	07/15/2024	07/22/2024	08/12/2024
August	07/29/2024	08/15/2024	08/19/2024	08/26/2024	09/09/2024
September	08/26/2024	09/12/2024	09/16/2024	09/23/2024	10/14/2024
October	09/30/2024	10/17/2024	10/21/2024	10/28/2024	11/11/2024
November	10/28/2024	11/14/2024	11/18/2024	11/25/2024	12/09/2024
December	11/25/2024	12/12/2024	12/16/2024	12/27/2023	01/13/2025

* Meeting dates are subject to change at the discretion of the Planning & Zoning Commission and the City Council, respectively

* City staff creates the agenda and is given discretion to forego including submissions for review on the agenda after consulting with the submitting party and the P&Z Chairperson or the Mayor, respectively.

* Failure to meet any of the above deadlines with the proper submittal materials may cause the project to be delayed until the next scheduled P&Z or Council meeting. The submission schedule may be adjusted to accommodate late submission of an application if circumstances exist that are beyond the control of the applicant, as determined by city staff.